

**ADDENDUM # 3
TO THE CONSTRUCTION DOCUMENTS
For
Lumber River State Park – Wire Pasture Access Development
SCO ID # 16-14432-01A
for the
Division of Parks and Recreation**

Date: July 25, 2024

To All Construction Documents Holders

The following changes, additions, and/or deletions are hereby made a part of the Construction Documents for the above noted project, fully and completely as if the same were fully contained therein. All other terms, conditions, drawings and specifications of the Construction Documents remain unchanged.

This Addendum must be acknowledged in the Form of Proposal (FOP).

DRAWINGS:

This Addendum includes the attached Addendum Drawings:

Civil Sheet - C101 – 108, C112, C601, C621, L101- Dated July 22,2024, reissued.

Architectural Sheet – A -103 - Dated July 22, 2024, reissued.

Architectural Sheet – A – 108 – Dated July 22, 2024, reissued.

Bulletin Drawing – BD001 – Dated July 22, 2024, new.

Bulletin Drawing – BD002 – Dated July 22, 2024, new.

Exhibit Drawing - X1.01 – Dated July 22, 2024, reissued.

Exhibit Drawing – X4.03 – Dated July 22, 2024, reissued.

Signage Schedule – Dated July 22, 2024, new.

Specification Section 08710 – Dated July 12,2024, reissued.

Specification Section 334200 – Dated July 24, 2024, reissued.

Commercial Driveway Permit – Dated January 30, 2024, new.

Septic Tank Permit – Dated September 16, 2019, new.

Questions:

1. Drawing C101 shows "Proposed 5' Information/Educational trails (Soil Surface) Alternate" westside of the roadway and Proposal Form calls "Alternate No. G-2 – Provide the Concrete Information/Education Trail. Does this mean construction of Soil Surface is part of Base Bid and construction of concrete trail in lieu of soil surface is Alternate G-2?"

Answer – Soil surface is part of base bid and concrete trail in lieu of soil surface trail is Alternate G-2. See revised drawing C101.

2. Does this project require the contractor to obtain and pay the Building and Trades permit from the County or City.

Answer – This project does not require the Contractor to obtain a Building Permit and Trades Permit from Robeson County or any City. See minutes from pre-bid meeting.

3. Are there any other permits such as underground utilities (Water, Sanitary, Storm), Erosion Control, Traffic Control where contractor is responsibility to pay?

Answer – The water usage fee has been waived by Robeson County, but all other fees are the responsibility of the Contractor. See minutes from pre-bid meeting.

4. Drawing C101: Drawing calls for 6" water meter to be furnished by the Robeson County Public Works Department. Please advise if this water meter is to be "Furnished and Installed" by Robeson County and "all associated meter fees including and utilities capital fees if any" for obtaining the meter are to be paid by Owner. Capital facility fees are typically substantial.

Answer – Meter will be furnished by Robeson County Water System, Installed by Contractor, Inspected by Robeson County Water System. See Revised sheets C101 & C621.

5. Drawing C101: There is no construction detail shown for the proposed septic drain field and repair area. In addition, drawing to see Permit #281325-1 for the septic drain field and septic tank. Can the permit documents with the construction details be provided?

Answer – Refer to Revised Sheet C601 for septic tank detail. Septic Tank Permit is attached.

6. Drawing 101: Does the entire site covered by 811 for locating the existing utilities or does the contractor need to include the cost associated with a private utility locator which are not covered by 811?

Answer - The Contractor is responsible for all costs associated with locating utilities.

7. Drawing C102: Drawing C102 description calls for H/C Parking Sign (Typ. of 10), whereas plan view shows a total of 9 H/C parking signs. Please clarify which one is to be considered.

Answer – Provide 9 H/C signs. See revised sheet C102.

8. Drawing C101: Please confirm the quantity of scattered picnic tables and quantity of ADA compliant picnic tables.

Answer – Provide 7 picnic tables at scattered sites and 2 ADA Tables with concrete pads 4" thick. Tables to be owner provided contractor installed. See Revised sheet C101.

9. Drawing A-112: Drawing A -112 calls for 8 trail signs for the Information/Education Trail are these signs to be included in the Base Bid or Alternate G-2.

Answer – The 8 trail signs are to be included in the Base Bid.

10. Drawing C102: Drawing C102 calls for about 6 palisades with tribal names. Please confirm their construction status.

Answer – Palisades are Not In Contract. See revised sheet C101.

11. Drawing C105: Disturbed Area (D.A.) # 6 & # 7 are missing. There are two D.A # 8 - .85 & .20.

Answer – Disturbed Area #8 (0.020 acres) has been redesignated as DA #6. See revised Sheet C105.

12. Drawing C101 & A –111: There is no elevation or description of fence provided approximately 30 feet either side.

Answer – Provide a 3-rail black PVC fence 30' long and 54" above ground with post spaced 6' on center on each side of the gate.

13. Drawing L101: Drawing L101 calls for 11 shrubs/16 trees and references sheet L100 that does not exist.

Answer – Reference to sheet L100 have been revised to indicate A-113 for the shrub/trees details and information. See Revised Sheet L101.

14. Drawing A – 102 & A - 102.1: Clarification Pavilion Floor Plan shows 8'x8' wood columns and Pavilion Cross Section shows HSS 7.5X.25 Steel columns.

Answer – There are no 8"x 8" wood columns. The columns are HSS 7.5 steel columns.

15. Drawing A – 102 & A - 102.1: Clarification Vertical Wall @ Opening shows 6"X8" wood posts and Pavilion Cross Section shows 6"x6" wood posts.

Answer – There are no 6"x 8" wood posts. The wood posts are 6"x6" wood posts.

16. Drawing A – 103: Contact Station north and south elevation in drawing A -103 there appears to be beams under the scissors truss please advise.

Answer - Those beams are 4" x 8" supported by the exterior wall with beam hangers. See note on attached revised sheet A – 103.

17. Drawing A – 102.1 & A – 105: Clarification Pavilion calls for 3/4" wood decking on all Pavilion roofs not curved; however, A – 105 Picnic Pavilion Roof Plan calls for 5/4" wood planks on all Pavilion roofs.
- Answer – All Pavilion Roofs are to have 5/4" wood planks.
18. See Specification Section of this Addendum.
19. Drawing A – 101 & A – 110.1: There is no Kitchen Cabinet elevation for the Breakroom.
- Answer – Refer to the attached Bulletin Drawing BD001 for the Cabinet Elevation.
20. Drawing A – 101 & 110.1.: Details 1 & 2 /A – 110.1 calls for a service desk display cabinet. Where is it located on the plan?
- Answer – Refer to sheet A – 110 and see Reception Desk Elevation details 4 / A -110 & 6 / A – 110.
21. Drawing A – 112: Drawing A – 112 shows a typical bollard detail. Where are the bollards located.
- Answer – Provide four (4) bollards at locations to be determined during construction.
22. Drawing A – 106: There is no detail for Dressing Area included in the drawings.
- Answer - Refer to the attached Bulletin Drawing BD001 for the Dressing Area Seat Detail.
23. Drawing A – 101 & A – 106: There is no material /section detail for lavatory counter.
- Answer - Refer to the attached Bulletin Drawing BD002 for material & section detail for the lavatories in the bathrooms.
24. See Specification Section of this Addendum.
25. See Specification Section of this Addendum.
26. Drawing A – 101: Drawing calls for the Contractor to provide and install a SS refrigerator and microwave. Please provide a make and model number.
- Answer – Refrigerator - LG - 26 cu. ft. – LRFXC2606S or equal.
- Microwave – LG – 2.0 cu. ft. – Countertop – MSER2090S or equal.
27. Drawing S1 & D1: Drawing S1 stipulates that the reinforcement of the steel column foundations should be #4s but Drawing D1 stipulates that the reinforcements should be #5s. Please advise.
- Answer – Provide (4) #4 rebar each way.
28. Drawing S1 & D1: There is no description in S1 for size of continuous footing of section 2/D1. Please advise.
- Answer – The footing size is 24"x12" for all walls.

29. **Drawing X1.01: Graphic schedule on drawing X1.01 shows 6 quantities for 6.1 - 6.3 AG whereas detail 10 on sheet X4.01 shows 7. Please advise.**
Answer – Quantity should be 7 as shown on Detail 10 Drawing X4.01.
30. **Drawing X4.03: Gasketing Requirements for Exhibit Display Case doors.**
Answer – Gasketing is not required on Exhibit Display Case doors vertical seems.
31. **Drawing X4.03: Drawing X4.03 specifies the use of ½” low-iron glass. Please clarify if Exhibit Fabricator should offer laminated or tempered safety glass?**
Answer – Provide ½” laminated glass.
32. **Drawing X4.03: Please confirm that the large Exhibit Display Case shown on Drawing X4.03 is not sealed against room air exchange and does not require built-in humidity control.**
Answer – Exhibit Display Case does not require independent humidity control.
33. **See Specification Section of this Addendum.**
34. **Drawing X4.03: Drawing X4.03 appears to be missing design information in several detail notes including 8,9,13,14,15 &16.**
Answer – See the attached Revised Sheet X4.03.
35. **Exhibit Graphics: Is Digital scanning required, if so is there an estimate of how many scans will be needed.**
Answer – Digital Scans are not required. All final production files for graphics are being provided by the Exhibit Designer and have already been reviewed for content and approved by the owner.
36. **Exhibit Graphics: Are custom illustrations required? Design style, size of final output.**
Answer – All files from Designer are production ready.
37. **Exhibit Graphics: If there is a difference between the drawing package and the listed graphic schedule which takes precedence?**
Answer – The drawing package and graphics schedule should be in alignment. Any discrepancies should be addressed case-by-case.
38. **Exhibit Graphics: will the supplied files be production ready with all text content flowing in and image links supplied.**
Answer – Yes.
39. **Exhibit Graphics: Please confirm that by production ready files have been assembled and fabricator is not building files from designer provided templates flowing in text and other design production type work other design production type work other than preparing files for final print production.**
Answer – All files from designer are production ready. The fabricator will provide digital proofs to verify size, quantity, layers etc. before production.

40. Exhibit Graphics: Text should be live not outlined or embedded.
Answer – Text is outlined.
41. Exhibit Graphics: Confirm format of files (Adobe Illustrator, InDesign, PhotoShop, etc.).
Answer – Illustrator files and PDF proofs for tracking will be available.
42. Exhibit Graphics: Do files have low resolution FPO correlated to linked images showing any final cropping.
Answer – All files from Designer are production ready.
43. Exhibit Graphics: Will any supplied linked images require retouching or any other type of graphic production, if so, is there an estimate for the extent of this work?
Answer – All files from Designer are production ready.
44. Exhibit Graphics: Please confirm that printed proofs are for each graphic typical and not all graphics.
Answer – Fabricator will provide printed samples of graphics by type before final production – per the project manual specifications. The fabricator will provide digital proofs of all graphics to verify size, quantity, layers, etc. before production.
45. Exhibit Graphics: Are all colors specified as PMS or are there CMYK custom color builds? Provide a PMS equivalent for each CMYK custom color build.
Answer - There are 7 specified PMS colors provided in the graphics package. All colors are custom CMYK builds. Exhibit Designer will not provide PMS equivalent for these.
46. Exhibit Graphics: How many CMYK custom color builds?
Answer – There are 7 custom color builds.
47. See Specification Section of this Addendum.
48. Audio Visual: Project Specification Section 115500 – Audio-Visual and Interactive Systems: Please confirm that the owner will provide any/fully produced and “authored” AV content, media, software, etc. that the exhibit fabricator is required to load onto the various Audio-Visual and Interactive systems – correct?
Answer - That is correct.
49. Audio Visual: Project Specification Section 115500 – Audio-Visual and Interactive Systems sub-section 1.2.B uses the word “support” while listing the Contractor’s Scope of Work. Please clarify what is meant by “support”? Does this mean the structural support of the AV equipment within the casework, or does it mean on-going AV systems operational support beyond the end of the contract?
Answer – “Support” is referencing structural support of AV equipment.

50. **Audio Visual: Project Specification Section 115500 – Audio-Visual and Interactive Systems:** Does the Electrical power plan direct the installation of sufficient dedicated, 115vAC x 15-amp electrical circuits with integrated noise filtering and surge protection to provide clean power to all of the Audio-Visual and Interactive Systems.

Answer – Provide surge protection to each of the 3 AV locations.

51. **Case Lighting:** Is the Exhibit Fabricator supposed to provide & install the Luxam H-Track & (10) Fixtures referenced for use in Key Notes #9 on Drawing X4.03?

Answer – Yes, the Exhibit Fabricator is supposed to provide and install the Luxam H-Track & 10 fixtures.

52. **Drawing A – 109.1:** Please clarify which type of framing and glazing material is to be used for the storefront and window.

Answer – Refer to details on sheet A – 109.1. The aluminum frame is to be 1 ¾” x 4 ½”.
The glazing is to be 1 “insulating glass with the two ¼” thick tempered glass lites.

53. **Drawing C112:** On plan sheet C112 the typical section for the paving is shown as 5.5” Asphalt Base course (B25.0B), 3.5 Asphalt Binder Course (I19.0B on one side and I19.0C on the other). Based on NCDOT specifications, the only base course mixes used is B25.0C and binder course is I19.0C. Just want to confirm these two types of mixes will be allowed to be placed since it is different than the plan sheet shows.

Answer – See attached revised Sheet C112.

54. **Drawing C112:** On plan sheet C112, there is a full width Overlay of the road with 2” Asphalt Surface Course (9.5B) specified. Given this road and the traffic that travels it, I would assume a S9.5C type surface course would be required, and it should be spelled on the driveway permit. Can we receive a copy of this permit to verify the mixes to be used according to NCDOT.

Answer – See the attached revised Sheet C112 and a copy of the driveway permit.

55. **Drawing C112:** On plan sheet C112, it is spelled out to saw cut the existing edge of the roadway prior to channeling for widening. The same desired result can be accomplished by using a milling machine to bite into the road a bit as the channeling is being done. Also, by using a milling machine for the majority of the widening, the soil material can be deposited straight into a dump truck to be hauled off rather than along the shoulder or et in the roadway. Would this method be acceptable to replace the saw cutting?

Answer – See attached revised Sheet C112.

56. **Drawing C601:** on plan sheet C601, for the Typical Road Section, the asphalt material spelled out is a type I-2. This is an old type of mix and no longer used by NCDOT. Can this be replaced by with a S9.5B type surface course mix to match the rest of the site paving.

Answer – See the attached revised Sheet C601.

57. **Drawing C601:** On plan sheet C601, the Medium Duty asphalt Pavement Detail shows a 2" I19.0B binder mix and 1.5" SF9.5A surface course. Can the binder mix be changed to I19.0C since there is no I19.0B and can the surface course be changed to S9.5B to match the rest of the site paving since SF9.5A is no longer a viable mix type?

Answer – See attached revised Sheet C601.

58. **Drawing C601:** Also concerning the I19.0C mix to be used for the Medium Duty Asphalt Pavement, according to NCDOT 2024 QMS Specifications this mix type should be placed a minimum 2.5" thickness because of the make-up of the materials. Can this be changed to meet NCDOT requirements and specifications since we will be held to those specifications?

Answer – See the attached revised Sheet C601.

59. **CAD File:** We would like to request the Cad File for the following plan sheets in order to produce a better takeoff of material and quantities: C101, C104 and C112.

Answer – No CAD files will be made available during the Bidding process.

60. **Pavement:** What is the pavement section supposed to be for the Staff Parking Area and the two Handicapped spaces near the end of the cul-de-sac? Same as the Typical Road or Medium Duty.

Answer – Light Duty Pavement. See attached revised Sheets C101 & C601.

61. **Pipe:** Pipe Companies no longer manufacturer 12" RCP. There is one run of 20 LF shown on plan sheet C104. Can this be substituted with 15" RCP instead?

Answer – Pipe revised to 15" RCP. See revised Sheet C101.

62. **Pipe:** What class of pipe should each of the sections be: Class III or Class IV?

Answer – Class III. See revised detail Sheet C601.

63. **Drawing L101:** On the landscape plan sheet, L101 there are 16 trees and 11 shrubs shown but no further information. Are these to be included in the base bid and if so, what size, type and installation method should be used.

Answer – Revised Sheet L101 to refer to Sheet A-113.

64. **Drawing C103,** there is a proposed 5' trail shown to be installed using soil. Under the Note it says, Alternate referring to concrete. Is the soil trail a part of the base bid and is the Alternate only pouring it with concrete. There is no Alternate for this item shown on the Form of Proposal either. Please advise.

Answer – Soil Surface Trail is part of the Base Bid and Concrete Surface Trail is Alternate G-2. See attached revised Sheet C103.

65. **Drawing C103:** Additionally with question #64, would the Alternate start at the roadway or inside the wooded area?

Answer – Alternate will start at the roadway. See attached revised Sheet C102

66. Drawing C601: On plan sheet C601, for the Septic Tank Permit # 281325-1, dated 9-16-2024. Can we receive a copy of this permit.

Answer – A copy of the Septic Tank Permit is included as an Attachment in this Addendum.

67. Our clearing sub would like to know if they can burn the clearing waste on the site there are no dwellings within 1,000' and it is a wide-open space. It would be faster and cheaper than hauling the material off site.

Answer – Burning is not allowed on NC State Property; therefore, clearing waste must be hauled offsite.

68. Will butt joint tie-ins need to be milled Alternate on Alternate – 74 as part of the overlay of the turn lane section.

Answer – See attached revised Sheet C112.

69. Will the excavation and grading be limited to how it is spelled out in the geotechnical report bid meeting: cut the template of where the new structures will be, report or will we be able to proceed as mentioned by Mr. Anderson at the pre-bid meeting: cut the template of where the new structures will be, proof roll those areas and repair as needed.

Answer – See Geotechnical Report addendum letter dated 11-7-2023 in Section 003132 of the Specification and minutes from the Pre-Bid meeting.

70. Who is responsible for all testing such as proof rolling, soil and stone compaction, concrete paving and asphalt paving?

Answer – The Owner will engage a third-party testing agency for all testing for this project.

71. What type of stone and thickness is needed for the gravel parking lot?

Answer - The stone is ABC Stone and is 8" thick.

72. What type of glass is needed for the storefront?

Answer – Tempered Glass 1/4" thick.

73. Is Original Mosaic Design premade. Wall tile installation.

Answer – The mosaic is not premade. All wall tiles is thin set on cement board and installed in accordance with manufacturers recommendations. Floor tile is thin set on concrete.

74. What are the size and types of trees and shrubs?

Answer – Refer to Sheet a -113 for information on the trees and shrubs.

75. What is the pavement leading to the handicapped parking spaces?

Answer – Light Duty Pavement. See attached revised Sheets C101 & C601.

SPECIFICATIONS:

- A. Specification Section 087100 Finish Hardware is replaced by Specification Section 08710 Finish Hardware dated July 12, 2024, and included as an attachment to this Addendum.**
- B. Specification Section 334200 Stormwater Conveyance is replaced with revised Specification Section 334200 Stormwater Conveyance dated July 24, 2024, and included as an attachment to this Addendum.**

Questions:

- 1. Question 18: There is no specification for ACT (Acoustical Ceiling Tile) included in the specifications.**

Answer - Refer to Specification Section 095113 Acoustical Ceiling Panels in Specifications. This specification section includes Acoustical Panels and Metal Suspension System.

- 2. Question 24: Specifications includes Panel signage and Room Identification does not include a Signage Schedule.**

Answer – Refer to the attached Signage Schedule dated July 22, 2024, included in this Addendum.

- 3. Question 25: Specification Sections 104413 & 104416 include Fire Protection Cabinets and Fire Extinguishers. Please provide the number of these items required.**

Answer – Two fire protection cabinets and fire extinguishers are required but the location is to be determined during the construction project.

- 4. Question 33: Specification Section 088000 – Glazing 2.2.B Safety Glazing Labeling requires that a visible label that “indicates manufacturer’s name, type of glass, thickness, and safety glazing standard with which glass complies” be used to permanently mark the glazing.**

Answer – Omit all brandings and markings from exhibit glazing.

- 5. Question 47: What will be the requirement for graphic samples/prototypes?**

Answer – See Specification section 101423 for details on printed samples.

END OF ADDENDUM #3



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WIRE PASTURE ACCESS DEVELOPMENT SITE DEVELOPMENT PLAN STATE ID #16-14432-01A MAXTON, NORTH CAROLINA ROBESON COUNTY

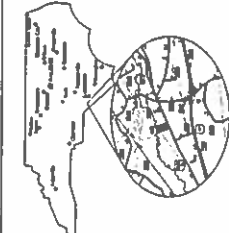


OVERALL SITE PLAN

DATE: 8-09-2011
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT NO.: [Number]
DRAWING FILE: [Number]
DATE: [Date]

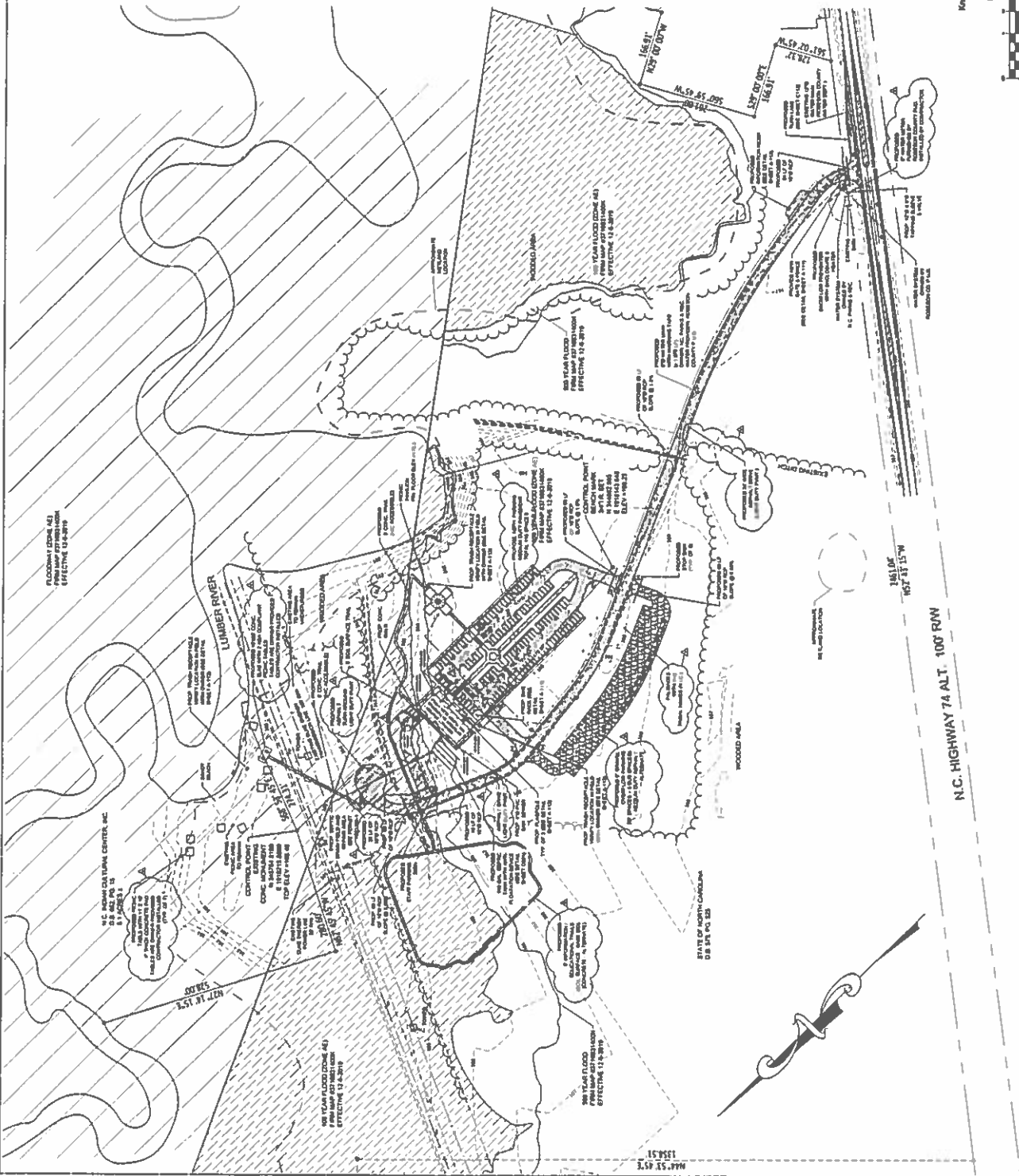
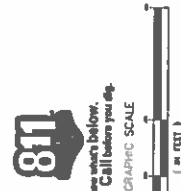
C101

1" = 100' (horizontal)
1" = 10' (vertical)



- #### SITE NOTES
1. ALL UTILITIES TO BE MAINTAINED UNLESS SPECIFICALLY NOTED OTHERWISE.
 2. THE PROJECT AREA IS ZONED R-1 (RESIDENTIAL SINGLE-FAMILY) AND THE DEVELOPMENT IS PERMITTED UNDER THIS ZONING.
 3. THE DEVELOPMENT SHALL BE CONFORMANT WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.
 4. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 5. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 6. THE DEVELOPER SHALL MAINTAIN THE PROPERTY IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND ORDINANCES.
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- #### GENERAL NOTES
1. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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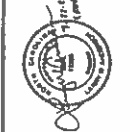


1" = 100' (horizontal)
1" = 10' (vertical)



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WIRE PASTURE ACCESS DEVELOPMENT
SITE DEVELOPMENT PLAN
 STATE ID #16-14432-01A
 MAXTON, NORTH CAROLINA
 ROBEESON COUNTY



ENLARGED SITE PLAN
 PART 1

DATE DATE: 6-16-2020
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT NO.: 16-14432-01A
SHEET NO.: 101
TOTAL SHEETS: 101
SCALE: AS SHOWN
PROJECT LOCATION: [Address]
CLIENT: [Name]
DESIGNER: [Name]
APPROVED BY: [Name]
DATE OF APPROVAL: [Date]

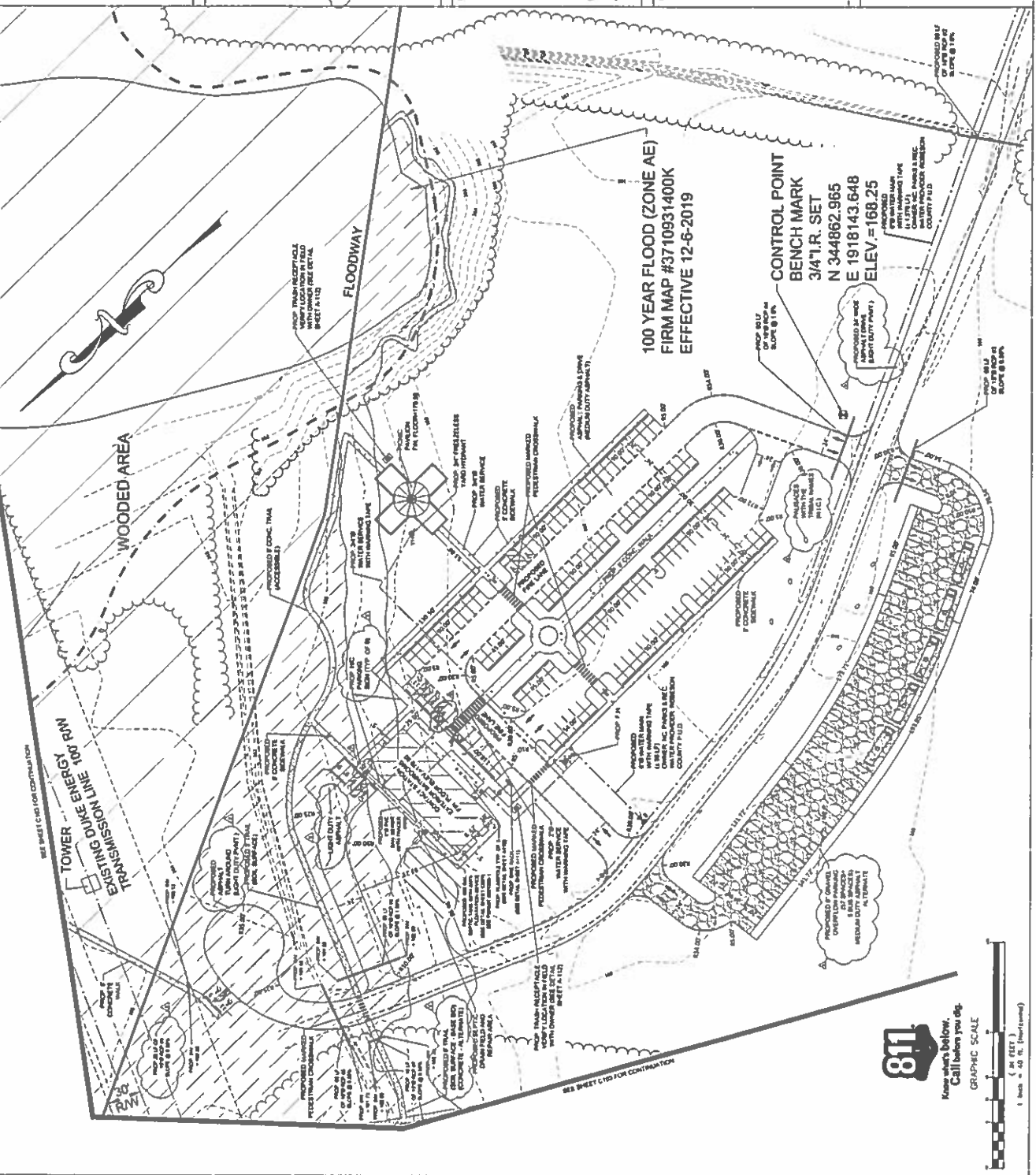
C102

GENERAL NOTES

- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- ALL UTILITIES SHOWN ON THIS PLAN ARE TO BE DELETED OR RELOCATED AS SHOWN ON THE AS-BUILT RECORD DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- ALL UTILITIES SHOWN ON THIS PLAN ARE TO BE DELETED OR RELOCATED AS SHOWN ON THE AS-BUILT RECORD DRAWINGS.
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LEGEND

- PROPOSED ASPHALT DRIVE
- PROPOSED CONCRETE DRIVE
- PROPOSED ASPHALT DRIVE WITH 10% GRADE
- PROPOSED CONCRETE DRIVE WITH 10% GRADE
- PROPOSED ASPHALT DRIVE WITH 5% GRADE
- PROPOSED CONCRETE DRIVE WITH 5% GRADE
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- PROPOSED ASPHALT DRIVE WITH 100% GRADE
- PROPOSED CONCRETE DRIVE WITH 100% GRADE



811

Know what's below.
 Call before you dig.

GRAPHIC SCALE

1 inch = 40 feet (horizontally)



308 W. Chapparral Street
Lenoir, NC 28553
Office: (757) 591-9300
Fax: (757) 591-9329
linlindsay@lindsay-engineering.com
Licensing #: C-0781

WIRE PASTURE ACCESS DEVELOPMENT
SITE DEVELOPMENT PLAN
LUMBER STATE PARK
STATE ID #26-14432-01A
MAXTON, NORTH CAROLINA
ROBESON COUNTY

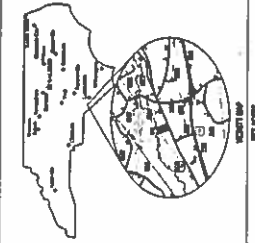


ENLARGED SITE PLAN
PART 2

ISSUE DATE: 6-20-2019
JOB SET

SCALE:	1" = 40'
DRAWN BY:	ES
CHECKED BY:	LBA
PROJECT NO.:	20-1573
CONTRACT NO.:	01-0000
CAD FILE:	1517
PLOT FILE:	1517

C103



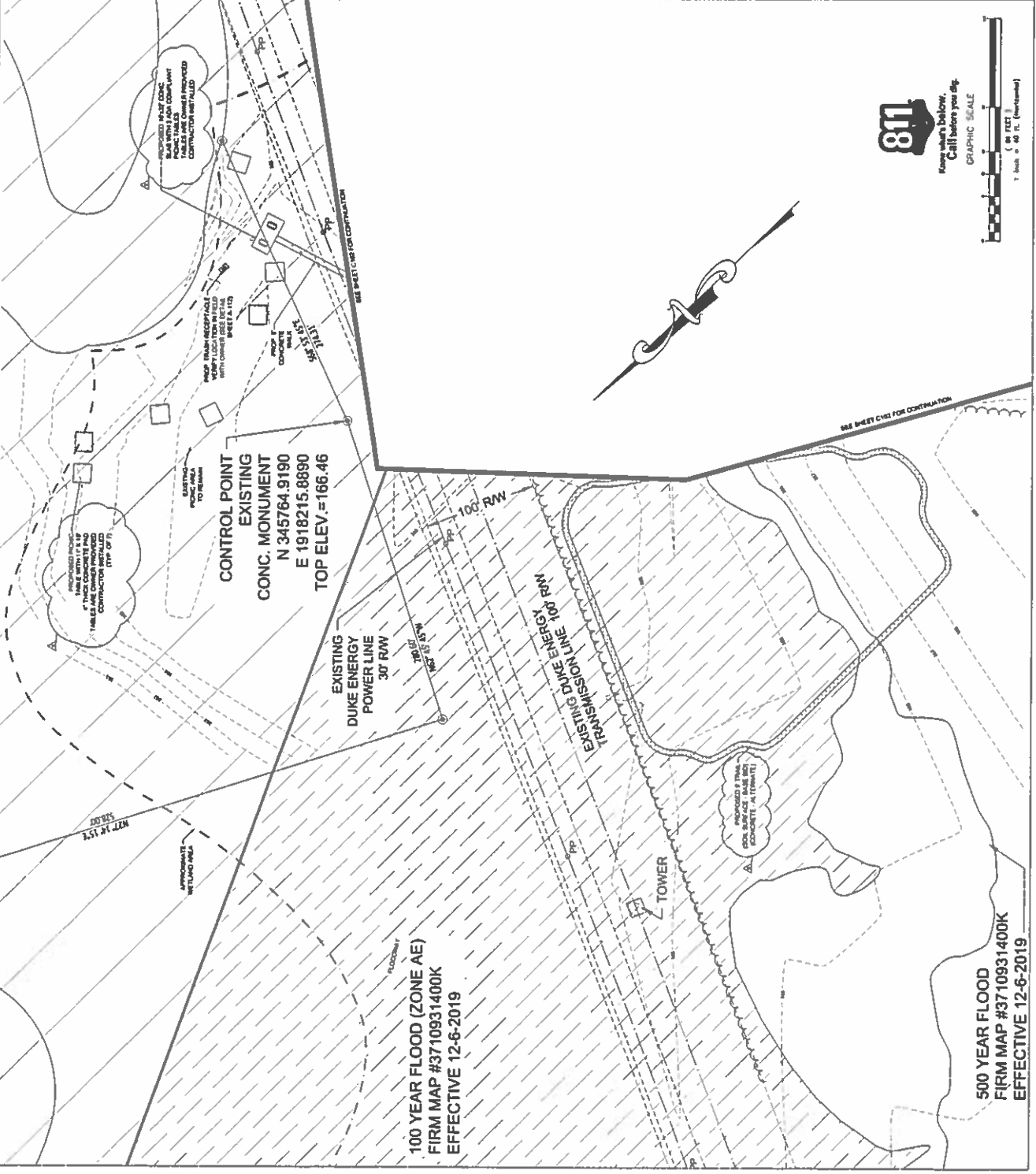
- SEE SHEET C102 FOR CONTINUATION**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE NATIONAL AND STATE CODES AND REGULATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
 3. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO ANY EXCAVATION OR CONSTRUCTION WORK.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS AT ALL TIMES.
 5. ALL EXCAVATION WORK SHALL BE PROTECTED WITH APPROVED SAFETY METHODS.
 6. THE CONTRACTOR SHALL MAINTAIN PROPER EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
 7. ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED AT AN APPROVED LOCATION.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL NEARBY NATURAL RESOURCES.
 9. ALL CONSTRUCTION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 10. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
- GENERAL CONTRACTOR NOTES**
1. THE CONTRACTOR IS ADVISED TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION WORK.
 2. ALL EXCAVATION SHALL BE PROTECTED WITH APPROVED SAFETY METHODS.
 3. THE CONTRACTOR SHALL MAINTAIN PROPER EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
 4. ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED AT AN APPROVED LOCATION.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL NEARBY NATURAL RESOURCES.
 6. ALL CONSTRUCTION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 7. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
 9. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO ANY EXCAVATION OR CONSTRUCTION WORK.
 10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS AT ALL TIMES.

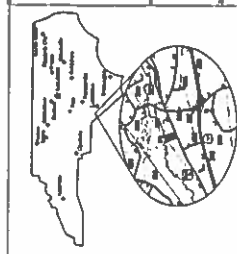
PROPERTY NOTES

1. ALL PROVISIONS AND CONDITIONS OF THE BIDDING CONTRACTS, EXCEPT WHERE SHOWN OTHERWISE HEREON, SHALL APPLY TO THE WORK HEREON.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
3. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO ANY EXCAVATION OR CONSTRUCTION WORK.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS AT ALL TIMES.
5. ALL EXCAVATION WORK SHALL BE PROTECTED WITH APPROVED SAFETY METHODS.
6. THE CONTRACTOR SHALL MAINTAIN PROPER EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
7. ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED AT AN APPROVED LOCATION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL NEARBY NATURAL RESOURCES.
9. ALL CONSTRUCTION WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORK SITE AT ALL TIMES.

LEGEND

—	Proposed Construction
---	Proposed Utility
---	Proposed Erosion Control
---	Proposed Right-of-Way
---	Proposed Road
---	Proposed Walkway
---	Proposed Driveway
---	Proposed Fencing
---	Proposed Retention Wall
---	Proposed Storm Drain
---	Proposed Culvert
---	Proposed Bridge
---	Proposed Tower
---	Proposed Monument
---	Proposed Control Point
---	Proposed Right-of-Way
---	Proposed Road
---	Proposed Walkway
---	Proposed Driveway
---	Proposed Fencing
---	Proposed Retention Wall
---	Proposed Storm Drain
---	Proposed Culvert
---	Proposed Bridge
---	Proposed Tower
---	Proposed Monument
---	Proposed Control Point
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---	Proposed Driveway
---	Proposed Fencing
---	Proposed Retention Wall
---	Proposed Storm Drain
---	Proposed Culvert
---	Proposed Bridge
---	Proposed Tower
---	Proposed Monument
---	Proposed Control Point





WIRE PASTURE ACCESS DEVELOPMENT
SITE DEVELOPMENT PLAN
 STATE OF NORTH CAROLINA
 LUMBER RIVER STATE PARK
 ROBESON COUNTY

305 W. Chippewal Street
 Lumberton, NC 28156
 Office: (715) 671-7630
 Fax: (715) 671-4634
 www.jonesandjones.com

DATE: 5/25/2018
 DRAWN BY: J.D. JONES
 CHECKED BY: J.D. JONES
 PROJECT NO.: 18-012
 SHEET NO.: 101-1
 SCALE: AS SHOWN
 SHEET TITLE: GRADING PLAN

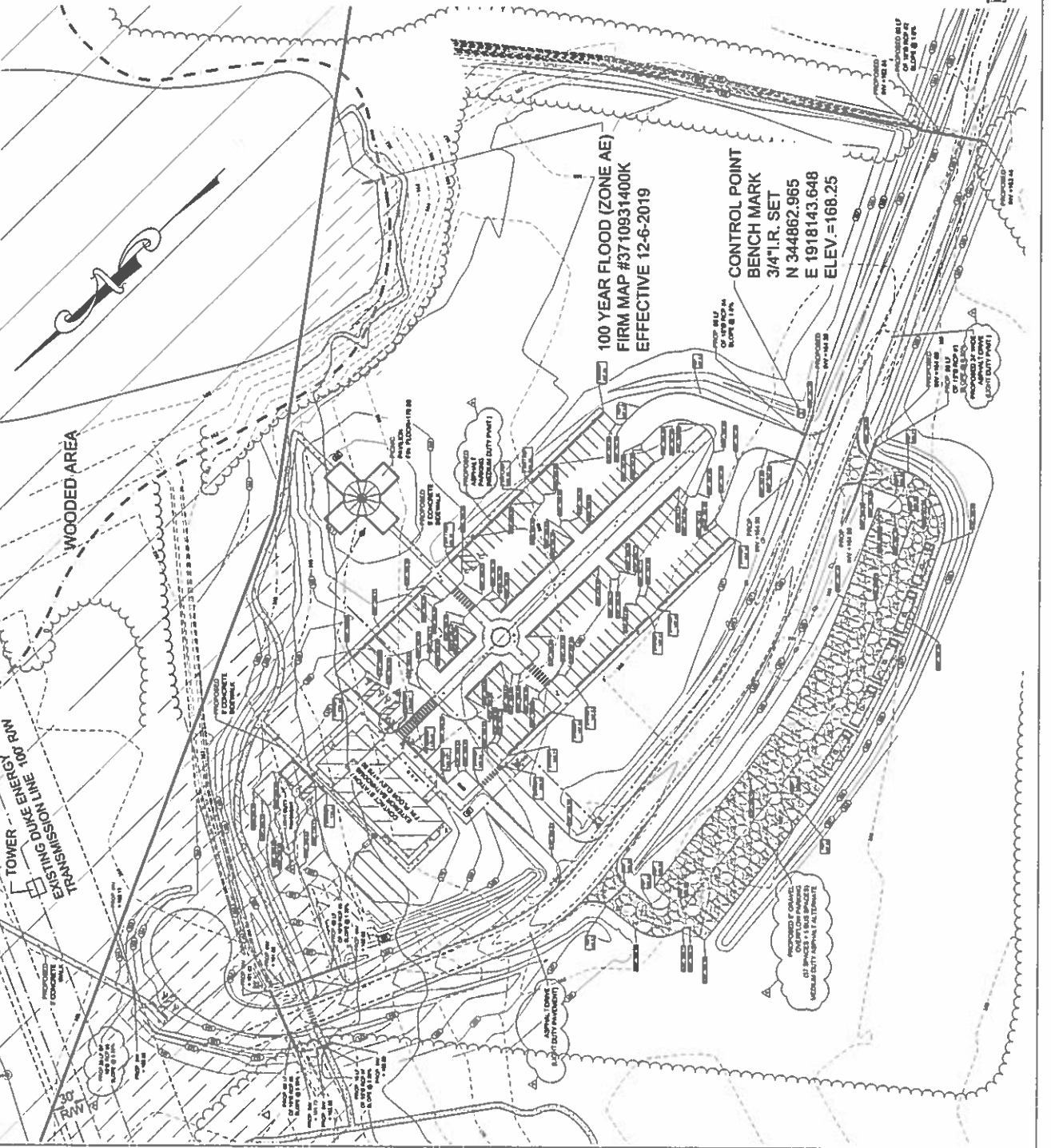
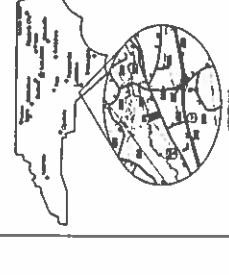
811
 Mark what's below.
 Call before you dig.
 GRAPHIC SCALE
 1" = 40' (Horizontal)

GENERAL NOTES	
1.	THE CONTRACTOR IS REQUIRED TO MAINTAIN EXISTING UTILITIES AND CONDUITS THROUGHOUT THE PROJECT.
2.	EXISTING UTILITIES SHALL BE MARKED PRIOR TO ANY EXCAVATION.
3.	ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 36" BELOW FINISHED GRADE.
4.	ALL UTILITIES SHALL BE COVERED WITH A MINIMUM OF 18" OF GRANULAR COVER.
5.	ALL UTILITIES SHALL BE MAINTAINED AT ALL TIMES.
6.	ALL UTILITIES SHALL BE MARKED AT THE CORNERS AND MIDPOINT OF EACH SEGMENT.
7.	ALL UTILITIES SHALL BE MAINTAINED AT ALL TIMES.
8.	ALL UTILITIES SHALL BE MARKED AT THE CORNERS AND MIDPOINT OF EACH SEGMENT.
9.	ALL UTILITIES SHALL BE MAINTAINED AT ALL TIMES.
10.	ALL UTILITIES SHALL BE MARKED AT THE CORNERS AND MIDPOINT OF EACH SEGMENT.

SITE LEVELS	
1.	EXISTING FINISH GRADE
2.	EXISTING SURFACE GRADE
3.	EXISTING SUBGRADE
4.	PROPOSED FINISH GRADE
5.	PROPOSED SUBGRADE
6.	PROPOSED CUT FILL GRADE
7.	PROPOSED ROADWAY GRADE
8.	PROPOSED SIDEWALK GRADE
9.	PROPOSED BIKEWAY GRADE
10.	PROPOSED TRAIL GRADE
11.	PROPOSED BENCH MARK GRADE
12.	PROPOSED CONTROL POINT GRADE
13.	PROPOSED UTILITY GRADE
14.	PROPOSED CONDUIT GRADE
15.	PROPOSED TOWER GRADE
16.	PROPOSED FOUNDATION GRADE
17.	PROPOSED RETENTION WALL GRADE
18.	PROPOSED EROSION CONTROL GRADE
19.	PROPOSED LANDSCAPE GRADE
20.	PROPOSED DRAINAGE GRADE
21.	PROPOSED SWALE GRADE
22.	PROPOSED BENCH MARK GRADE
23.	PROPOSED CONTROL POINT GRADE
24.	PROPOSED UTILITY GRADE
25.	PROPOSED CONDUIT GRADE
26.	PROPOSED TOWER GRADE
27.	PROPOSED FOUNDATION GRADE
28.	PROPOSED RETENTION WALL GRADE
29.	PROPOSED EROSION CONTROL GRADE
30.	PROPOSED LANDSCAPE GRADE
31.	PROPOSED DRAINAGE GRADE
32.	PROPOSED SWALE GRADE
33.	PROPOSED BENCH MARK GRADE
34.	PROPOSED CONTROL POINT GRADE
35.	PROPOSED UTILITY GRADE
36.	PROPOSED CONDUIT GRADE
37.	PROPOSED TOWER GRADE
38.	PROPOSED FOUNDATION GRADE
39.	PROPOSED RETENTION WALL GRADE
40.	PROPOSED EROSION CONTROL GRADE
41.	PROPOSED LANDSCAPE GRADE
42.	PROPOSED DRAINAGE GRADE
43.	PROPOSED SWALE GRADE
44.	PROPOSED BENCH MARK GRADE
45.	PROPOSED CONTROL POINT GRADE
46.	PROPOSED UTILITY GRADE
47.	PROPOSED CONDUIT GRADE
48.	PROPOSED TOWER GRADE
49.	PROPOSED FOUNDATION GRADE
50.	PROPOSED RETENTION WALL GRADE
51.	PROPOSED EROSION CONTROL GRADE
52.	PROPOSED LANDSCAPE GRADE
53.	PROPOSED DRAINAGE GRADE
54.	PROPOSED SWALE GRADE
55.	PROPOSED BENCH MARK GRADE
56.	PROPOSED CONTROL POINT GRADE
57.	PROPOSED UTILITY GRADE
58.	PROPOSED CONDUIT GRADE
59.	PROPOSED TOWER GRADE
60.	PROPOSED FOUNDATION GRADE
61.	PROPOSED RETENTION WALL GRADE
62.	PROPOSED EROSION CONTROL GRADE
63.	PROPOSED LANDSCAPE GRADE
64.	PROPOSED DRAINAGE GRADE
65.	PROPOSED SWALE GRADE
66.	PROPOSED BENCH MARK GRADE
67.	PROPOSED CONTROL POINT GRADE
68.	PROPOSED UTILITY GRADE
69.	PROPOSED CONDUIT GRADE
70.	PROPOSED TOWER GRADE
71.	PROPOSED FOUNDATION GRADE
72.	PROPOSED RETENTION WALL GRADE
73.	PROPOSED EROSION CONTROL GRADE
74.	PROPOSED LANDSCAPE GRADE
75.	PROPOSED DRAINAGE GRADE
76.	PROPOSED SWALE GRADE
77.	PROPOSED BENCH MARK GRADE
78.	PROPOSED CONTROL POINT GRADE
79.	PROPOSED UTILITY GRADE
80.	PROPOSED CONDUIT GRADE
81.	PROPOSED TOWER GRADE
82.	PROPOSED FOUNDATION GRADE
83.	PROPOSED RETENTION WALL GRADE
84.	PROPOSED EROSION CONTROL GRADE
85.	PROPOSED LANDSCAPE GRADE
86.	PROPOSED DRAINAGE GRADE
87.	PROPOSED SWALE GRADE
88.	PROPOSED BENCH MARK GRADE
89.	PROPOSED CONTROL POINT GRADE
90.	PROPOSED UTILITY GRADE
91.	PROPOSED CONDUIT GRADE
92.	PROPOSED TOWER GRADE
93.	PROPOSED FOUNDATION GRADE
94.	PROPOSED RETENTION WALL GRADE
95.	PROPOSED EROSION CONTROL GRADE
96.	PROPOSED LANDSCAPE GRADE
97.	PROPOSED DRAINAGE GRADE
98.	PROPOSED SWALE GRADE
99.	PROPOSED BENCH MARK GRADE
100.	PROPOSED CONTROL POINT GRADE

100 YEAR FLOOD (ZONE AE)
 FIRM MAP #3710931400K
 EFFECTIVE 12-6-2019
 CONTROL POINT
 BENCH MARK
 3/4" I.R. SET
 N 344862.965
 E 1918143.648
 ELEV. = 168.25

GRADING PLAN





ROBERT S. HESTER
 License No. 31093
 State of North Carolina
 10101 E. HICKORY STREET
 SUITE 100
 ROSELAND, NC 27068
 PHONE: 703-433-0838
 FAX: 703-433-0838
 Email: rshester@rshester.com

WIRE PASTURE ACCESS DEVELOPMENT
SITE DEVELOPMENT PLAN
 LUMBER RIVER STATE PARK
 STATE ID #16-14432-01A
 MAXTON, NORTH CAROLINA
 ROBESON COUNTY



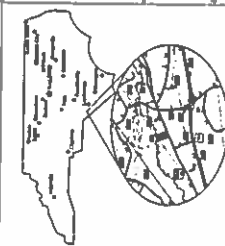
The project is located within the Wire Pasture Access Development in Robeson County, North Carolina. The project is situated within the Lumber River State Park. The project is subject to the North Carolina State Development Code and the Robeson County Zoning Ordinance. The project is subject to the North Carolina State Development Code and the Robeson County Zoning Ordinance. The project is subject to the North Carolina State Development Code and the Robeson County Zoning Ordinance.

EROSION CONTROL
PLAN - PART 2
 SHEET 2

DATE: 6-10-2019
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1" = 40'

PROJECT NO.	19093
DATE	6-10-2019
DRAWING FILE	19093
FILE NO.	19093
SHEET NO.	2

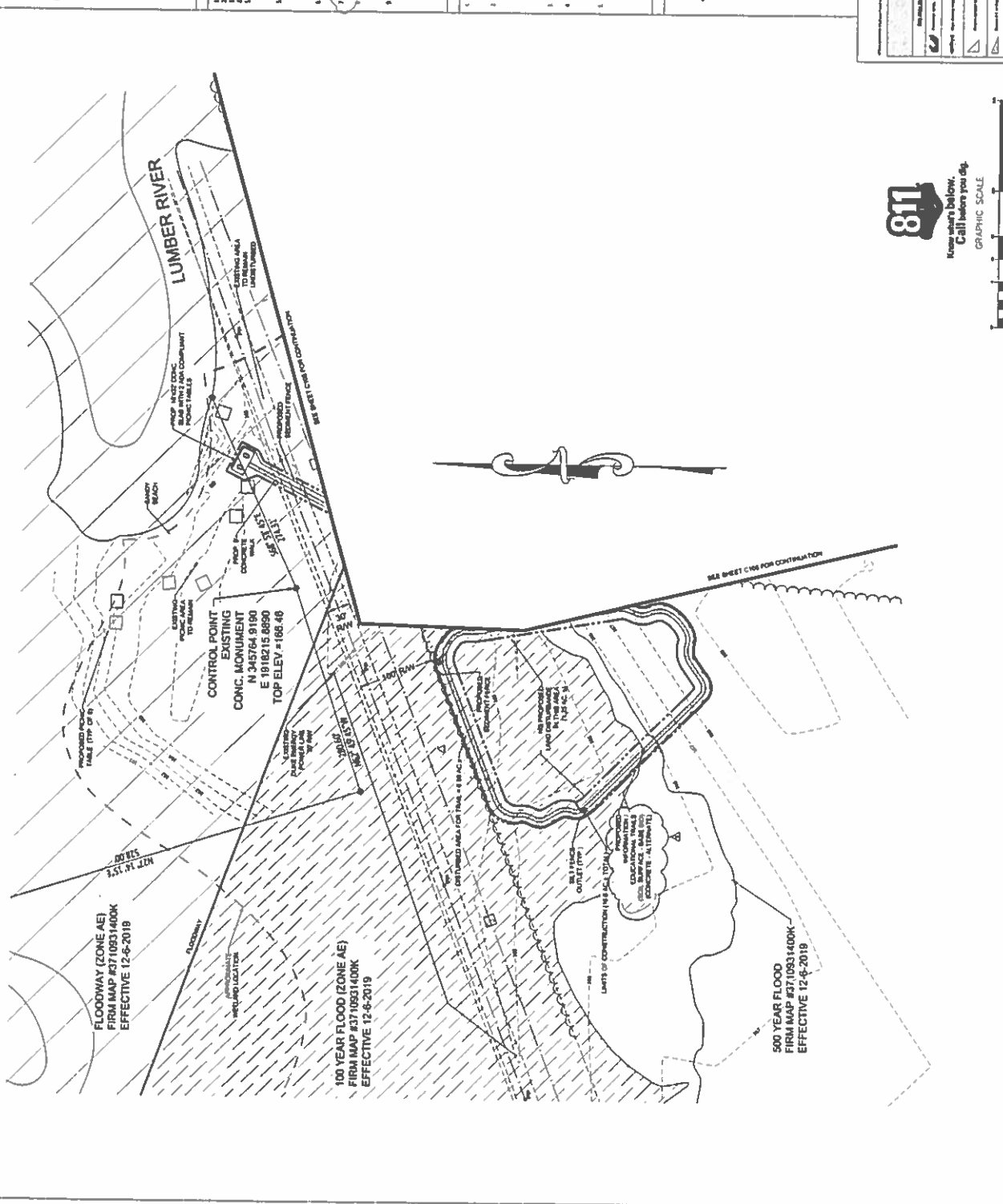
C106



1. THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES AND SHALL PROTECT ALL UTILITIES FROM DAMAGE OR DISRUPTION.
2. THE CONTRACTOR SHALL MAINTAIN EXISTING EROSION CONTROL MEASURES AND SHALL REPAIR OR REPLACE ANY DAMAGED EROSION CONTROL MEASURES.
3. THE CONTRACTOR SHALL MAINTAIN EXISTING VEGETATION AND SHALL REPAIR OR REPLACE ANY DAMAGED VEGETATION.
4. THE CONTRACTOR SHALL MAINTAIN EXISTING FENCING AND SHALL REPAIR OR REPLACE ANY DAMAGED FENCING.
5. THE CONTRACTOR SHALL MAINTAIN EXISTING DRIVEWAYS AND SHALL REPAIR OR REPLACE ANY DAMAGED DRIVEWAYS.
6. THE CONTRACTOR SHALL MAINTAIN EXISTING SIDEWALKS AND SHALL REPAIR OR REPLACE ANY DAMAGED SIDEWALKS.
7. THE CONTRACTOR SHALL MAINTAIN EXISTING STAIRS AND SHALL REPAIR OR REPLACE ANY DAMAGED STAIRS.
8. THE CONTRACTOR SHALL MAINTAIN EXISTING LIGHT FIXTURES AND SHALL REPAIR OR REPLACE ANY DAMAGED LIGHT FIXTURES.
9. THE CONTRACTOR SHALL MAINTAIN EXISTING SIGNAGE AND SHALL REPAIR OR REPLACE ANY DAMAGED SIGNAGE.

GENERAL NOTES

1. THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES AND SHALL PROTECT ALL UTILITIES FROM DAMAGE OR DISRUPTION.
2. THE CONTRACTOR SHALL MAINTAIN EXISTING EROSION CONTROL MEASURES AND SHALL REPAIR OR REPLACE ANY DAMAGED EROSION CONTROL MEASURES.
3. THE CONTRACTOR SHALL MAINTAIN EXISTING VEGETATION AND SHALL REPAIR OR REPLACE ANY DAMAGED VEGETATION.
4. THE CONTRACTOR SHALL MAINTAIN EXISTING FENCING AND SHALL REPAIR OR REPLACE ANY DAMAGED FENCING.
5. THE CONTRACTOR SHALL MAINTAIN EXISTING DRIVEWAYS AND SHALL REPAIR OR REPLACE ANY DAMAGED DRIVEWAYS.
6. THE CONTRACTOR SHALL MAINTAIN EXISTING SIDEWALKS AND SHALL REPAIR OR REPLACE ANY DAMAGED SIDEWALKS.
7. THE CONTRACTOR SHALL MAINTAIN EXISTING STAIRS AND SHALL REPAIR OR REPLACE ANY DAMAGED STAIRS.
8. THE CONTRACTOR SHALL MAINTAIN EXISTING LIGHT FIXTURES AND SHALL REPAIR OR REPLACE ANY DAMAGED LIGHT FIXTURES.
9. THE CONTRACTOR SHALL MAINTAIN EXISTING SIGNAGE AND SHALL REPAIR OR REPLACE ANY DAMAGED SIGNAGE.



811
 Know what's below.
 Call before you dig.
 GRAPHIC SCALE
 1 inch = 40 feet (horizontal)



WIRE PASTURE ACCESS DEVELOPMENT
LUMBER RIVER STATE PARK
 STATE ID #16-14432-01A
 MAXTON, NORTH CAROLINA
 ROBESON COUNTY



MAIN ROAD
PLAN & PROFILE #1
 SHEET DATE: 6-29-2011

1. Scale	1" = 40'
2. Date	6-29-2011
3. Project No.	16-14432-01A
4. Sheet No.	1 of 1
5. Drawing No.	16-14432-01A
6. Revision	
7. Designer	
8. Checker	
9. In Charge	
10. Date	
11. Project No.	16-14432-01A
12. Drawing No.	16-14432-01A
13. Sheet No.	1 of 1

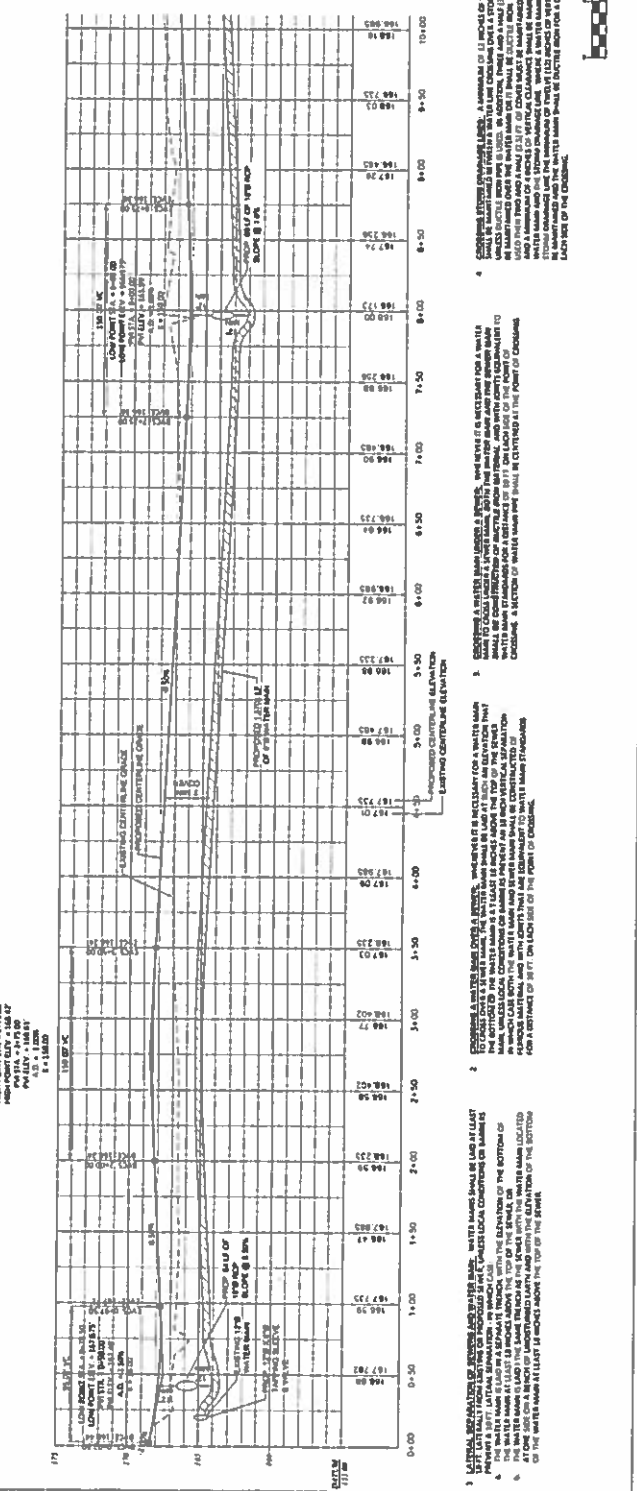
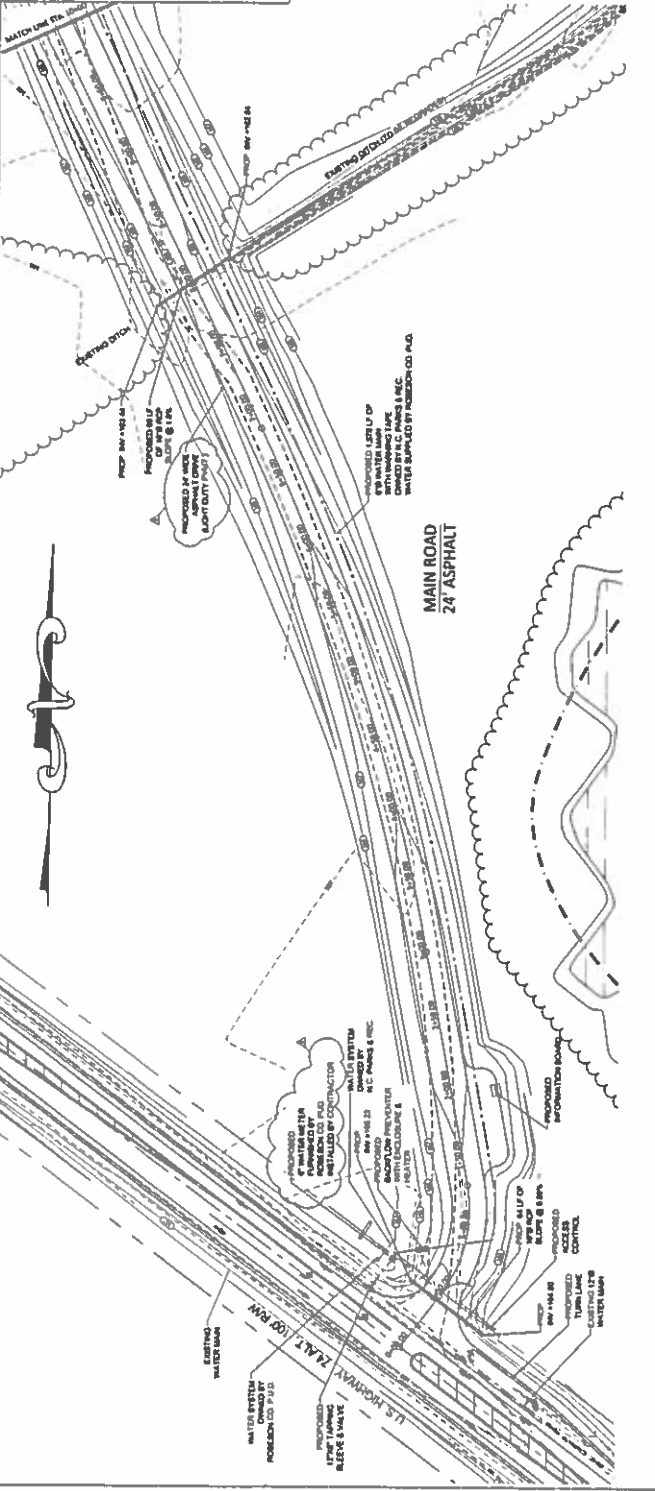
C107

- REMARKS:**
1. ALL INFORMATION DEVELOPED FOR THIS PROJECT IS BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND HAS NOT CONDUCTED TESTS OR ANALYSES TO VERIFY THE ACCURACY OF THE DATA.
 2. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS AND HAS NOT CONDUCTED TESTS OR ANALYSES TO VERIFY THE ACCURACY OF THE DATA.
 3. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS AND HAS NOT CONDUCTED TESTS OR ANALYSES TO VERIFY THE ACCURACY OF THE DATA.
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 9. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS AND HAS NOT CONDUCTED TESTS OR ANALYSES TO VERIFY THE ACCURACY OF THE DATA.
 10. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS AND HAS NOT CONDUCTED TESTS OR ANALYSES TO VERIFY THE ACCURACY OF THE DATA.

NOTE:
 SEE SHEET 16-14432-01B FOR REMAINING DRAWINGS.

811
 Know what's below.
 Call before you dig.

GRAPHIC SCALE
 1" = 40' (Horizontal)
 1" = 10' (Vertical)



1. THE WATER MAIN SHALL BE LAD AT LAST... (Vertical location of water main and other lines)
2. THE WATER MAIN SHALL BE LAD AT LAST... (Vertical location of water main and other lines)
3. THE WATER MAIN SHALL BE LAD AT LAST... (Vertical location of water main and other lines)
4. THE WATER MAIN SHALL BE LAD AT LAST... (Vertical location of water main and other lines)
5. THE WATER MAIN SHALL BE LAD AT LAST... (Vertical location of water main and other lines)
6. THE WATER MAIN SHALL BE LAD AT LAST... (Vertical location of water main and other lines)
7. THE WATER MAIN SHALL BE LAD AT LAST... (Vertical location of water main and other lines)
8. THE WATER MAIN SHALL BE LAD AT LAST... (Vertical location of water main and other lines)
9. THE WATER MAIN SHALL BE LAD AT LAST... (Vertical location of water main and other lines)
10. THE WATER MAIN SHALL BE LAD AT LAST... (Vertical location of water main and other lines)



WIRE PASTURE ACCESS DEVELOPMENT
SITE DEVELOPMENT PLAN
 STATE ID #16-14432-01A
 MAXTON, NORTH CAROLINA
 ROBESON COUNTY

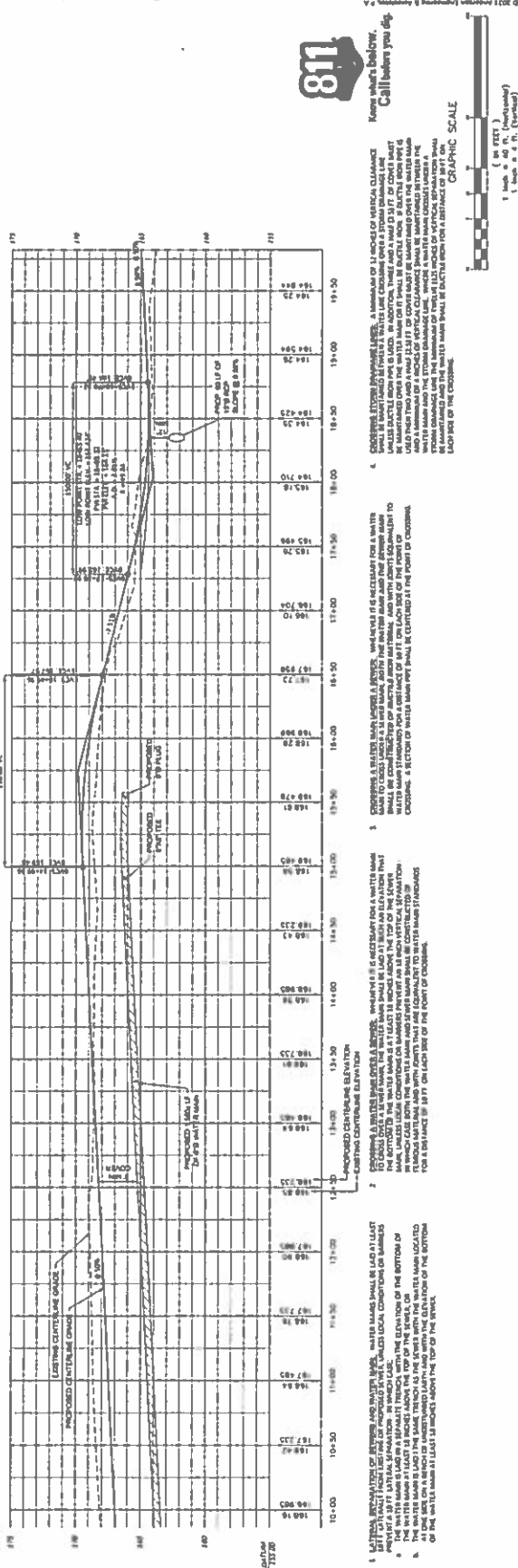
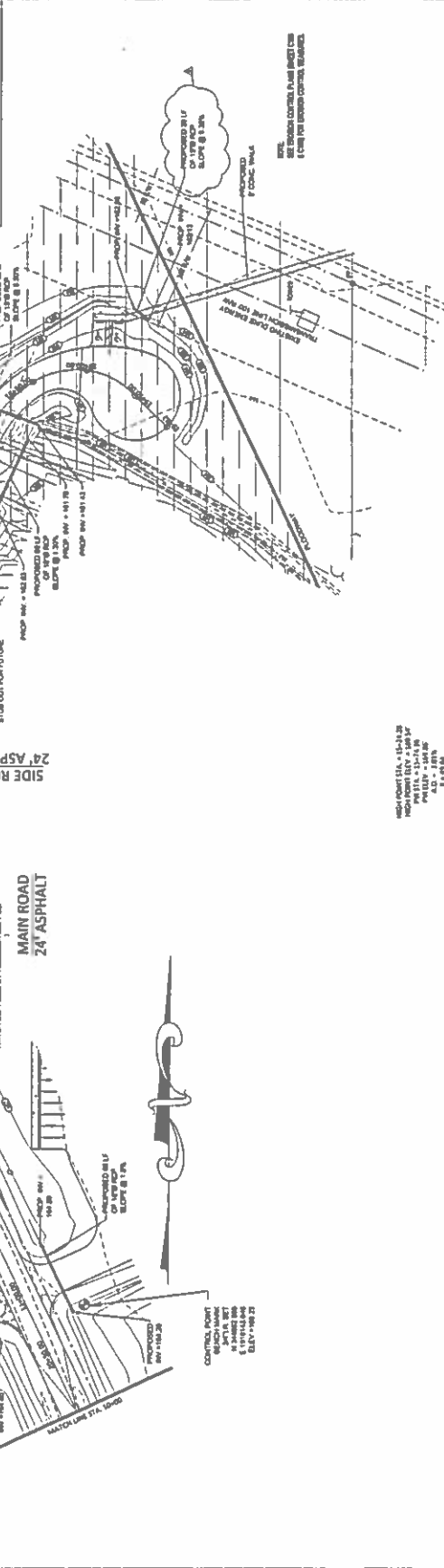


PLAN & PROFILE #2

DATE:	08/14/2014
PROJECT NO.:	16-14432-01A
SHEET NO.:	22 OF 24
SCALE:	AS SHOWN
DESIGNED BY:	R.R. CHAPMAN
CHECKED BY:	R.R. CHAPMAN
DATE:	08/14/2014

C108

- NOTES:**
- ALL UTILITIES AND EXISTING STRUCTURES SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
 - ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.
 - ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.
 - ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.
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 - ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.
 - ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.



GRAPHIC SCALE
 1" = 40' HORIZONTAL
 1" = 10' VERTICAL

811
 Call before you dig.

Know what's below.

1. EXISTING UTILITIES AND STRUCTURES SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

2. ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.

3. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.

4. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.

5. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.

6. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.

7. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.

8. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.

9. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.

10. ALL UTILITIES SHALL BE PROTECTED BY CONCRETE OR METAL CASING WITH 18" MINIMUM COVER.



309 N. Chippewa Street
Lumberton, NC 28358
Office: (710) 671-8530
Fax: (710) 671-8538
lumbermen@ncsla.org
Lumbermen St. Corp.

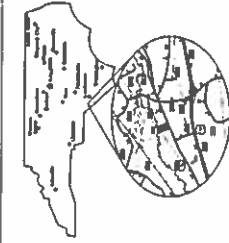
SITE DEVELOPMENT PLAN
WIRE PASTURE ACCESS DEVELOPMENT
LUMBER RIVER STATE PARK
STATE ID #16-1443-01A
ROBESON COUNTY



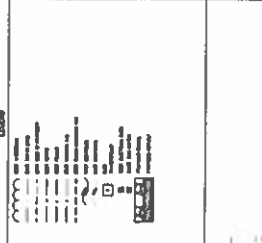
WIDENING PLAN
NO. 811
DATE: 6/20/2011

SCALE	1"=40'
DRAWN BY	CD
CHECKED BY	LBA
PROJECT NO.	09-1571
DRAWING FILE	
FILE NO.	1571

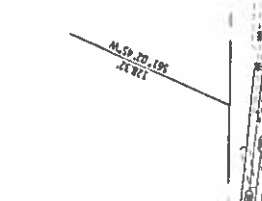
C112



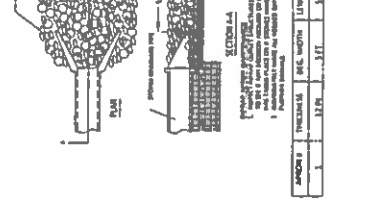
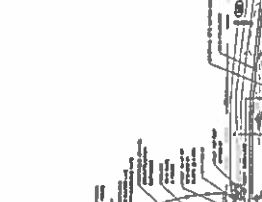
- GENERAL NOTES:**
- THE SITE PLAN IS TO BE CONSIDERED AS A GENERAL GUIDE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NORTH CAROLINA CONSTRUCTION CODES AND REGULATIONS.
 - ALL UTILITIES SHALL BE PROTECTED AND DEEPENED AS NECESSARY TO MAINTAIN ADEQUATE CLEARANCE AND COVER.
 - ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
 - ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NORTH CAROLINA CONSTRUCTION CODES AND REGULATIONS.



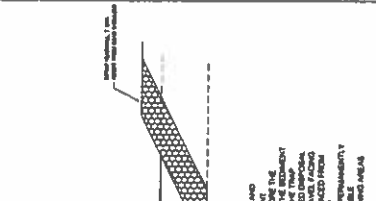
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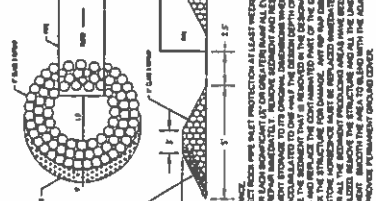
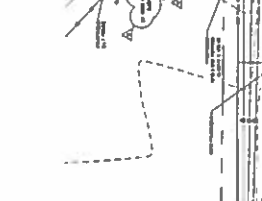
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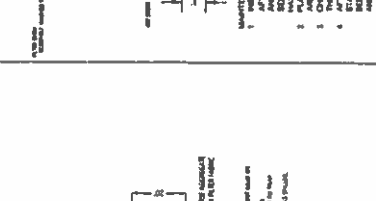
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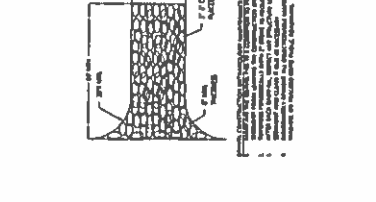
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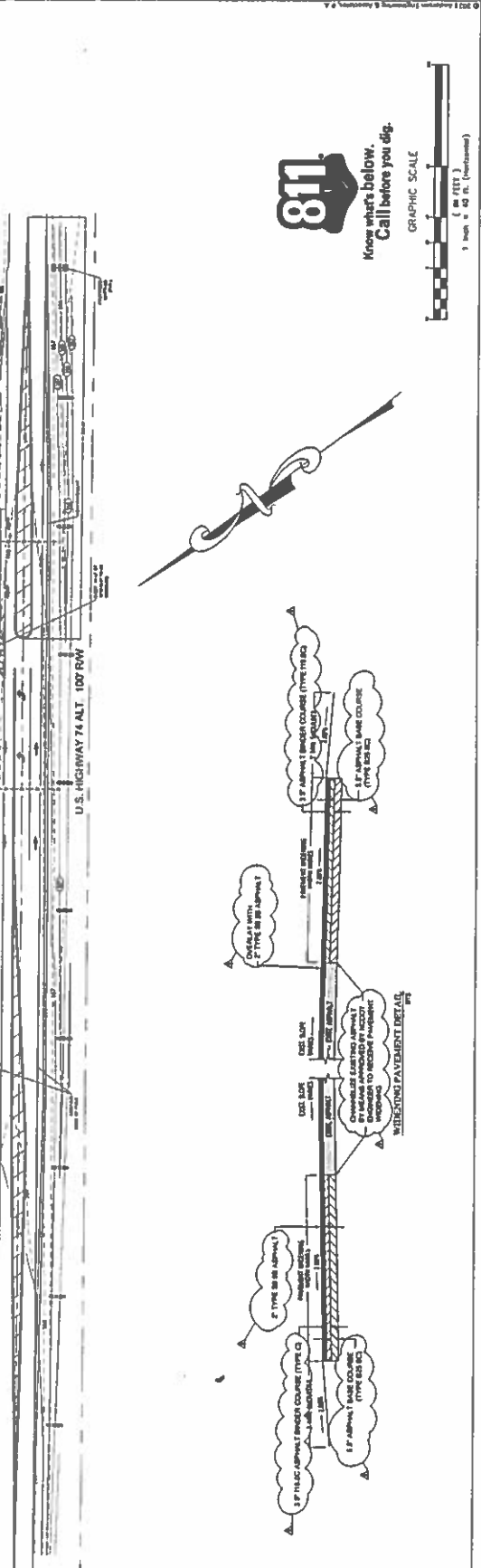
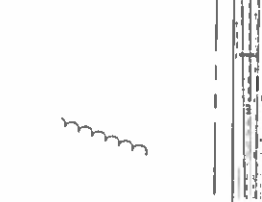
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1.00	1.00	1.17	1.17	1.17	1.17	1.17



GRADE	THICKNESS	REL. WIDTH	LENGTH	6" DIA. WIDTH	6" DIA. GRADE	6" DIA. GRADE
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1.00	1.00	1.17	1.17	1.17	1.17	1.17



GRADE	THICKNESS	REL. WIDTH	LENGTH	6" DIA. WIDTH	6" DIA. GRADE	6" DIA. GRADE
1.00	1.00	1.17	1.17	1.17	1.17	1.17
1.00	1.00	1.17	1.17	1.17	1.17	1.17





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License No. 14432-01A
Mechanical Engineering

WIRE PASTURE ACCESS DEVELOPMENT
STATE ID #16-14432-01A
MAXTON, NORTH CAROLINA
ROBESON COUNTY



THIS PLAN IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

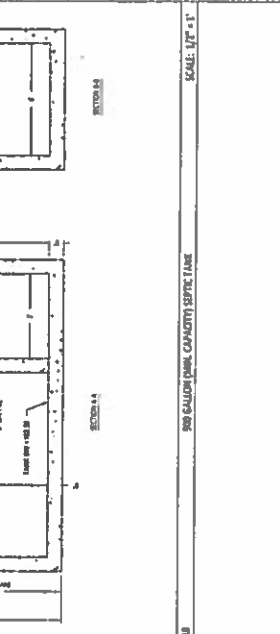
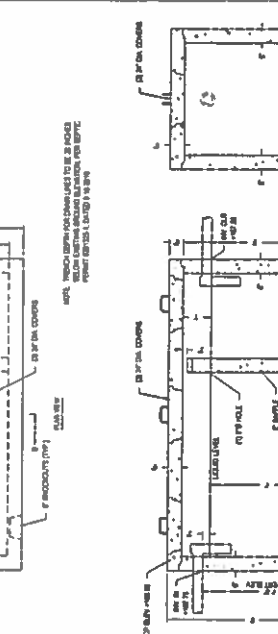
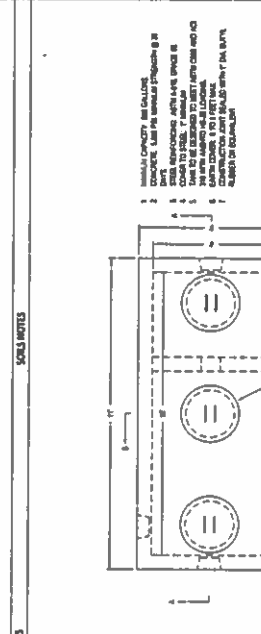
SITE DETAILS

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PROJECT NO.: [Blank]	DRAWING TITLE: [Blank]
SHEET NO.: [Blank]	TOTAL SHEETS: [Blank]
SCALE: 1/8" = 1'-0" 1/8" = 1'-0" 1/4" = 1'-0" 1/2" = 1'-0" 3/4" = 1'-0" 1" = 1'-0" 1 1/4" = 1'-0" 1 1/2" = 1'-0" 1 3/4" = 1'-0" 2" = 1'-0" 2 1/4" = 1'-0" 2 1/2" = 1'-0" 2 3/4" = 1'-0" 3" = 1'-0" 3 1/4" = 1'-0" 3 1/2" = 1'-0" 3 3/4" = 1'-0" 4" = 1'-0" 4 1/4" = 1'-0" 4 1/2" = 1'-0" 4 3/4" = 1'-0" 5" = 1'-0" 5 1/4" = 1'-0" 5 1/2" = 1'-0" 5 3/4" = 1'-0" 6" = 1'-0" 6 1/4" = 1'-0" 6 1/2" = 1'-0" 6 3/4" = 1'-0" 7" = 1'-0" 7 1/4" = 1'-0" 7 1/2" = 1'-0" 7 3/4" = 1'-0" 8" = 1'-0" 8 1/4" = 1'-0" 8 1/2" = 1'-0" 8 3/4" = 1'-0" 9" = 1'-0" 9 1/4" = 1'-0" 9 1/2" = 1'-0" 9 3/4" = 1'-0" 10" = 1'-0" 10 1/4" = 1'-0" 10 1/2" = 1'-0" 10 3/4" = 1'-0" 11" = 1'-0" 11 1/4" = 1'-0" 11 1/2" = 1'-0" 11 3/4" = 1'-0" 12" = 1'-0" 12 1/4" = 1'-0" 12 1/2" = 1'-0" 12 3/4" = 1'-0" 13" = 1'-0" 13 1/4" = 1'-0" 13 1/2" = 1'-0" 13 3/4" = 1'-0" 14" = 1'-0" 14 1/4" = 1'-0" 14 1/2" = 1'-0" 14 3/4" = 1'-0" 15" = 1'-0" 15 1/4" = 1'-0" 15 1/2" = 1'-0" 15 3/4" = 1'-0" 16" = 1'-0" 16 1/4" = 1'-0" 16 1/2" = 1'-0" 16 3/4" = 1'-0" 17" 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C601

SOIL NOTES

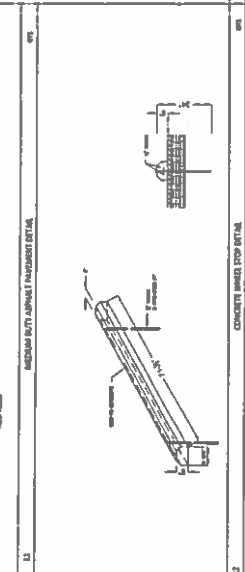
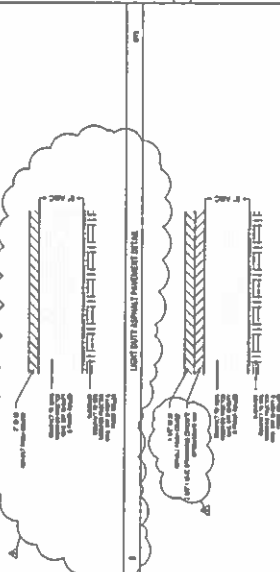
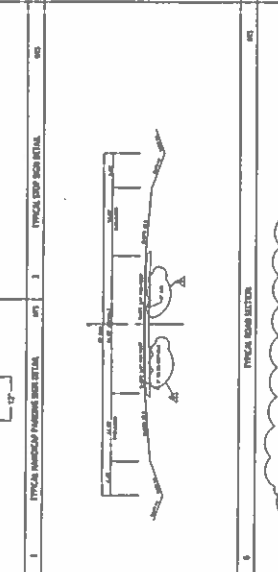
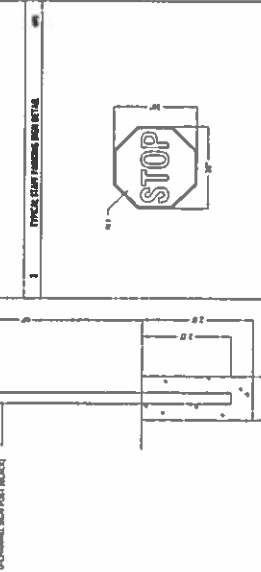
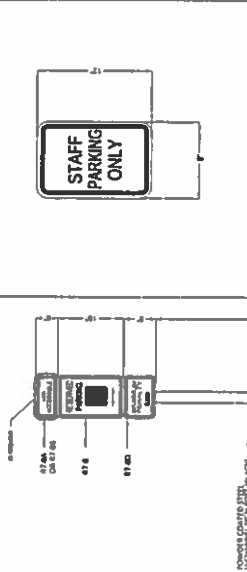
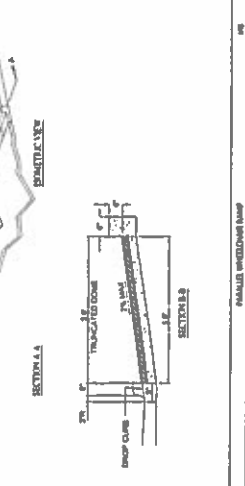
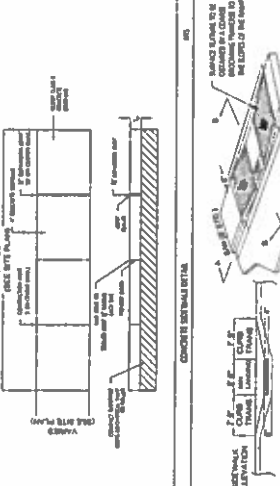
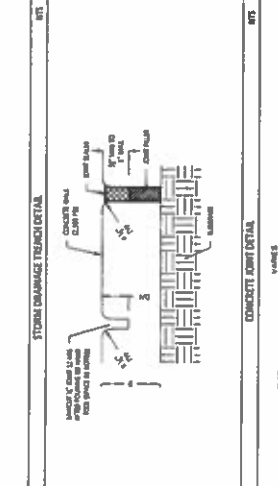
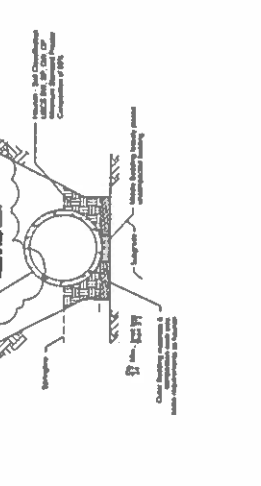
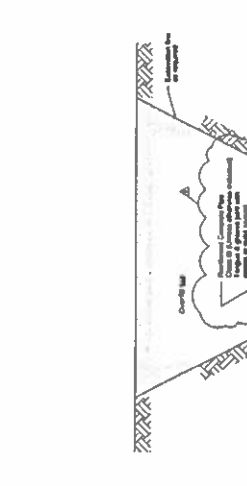
1. SEE THE PREVIOUS SET OF PLANS FOR SOIL TEST RESULTS AND SOIL CLASSIFICATION. ALL SOILS SHOULD BE TESTED TO DETERMINE THE PRESENT AND PROPOSED SOIL CLASSIFICATION. THE PRESENT SOIL CLASSIFICATION IS SHOWN ON THE PREVIOUS SET OF PLANS. THE PROPOSED SOIL CLASSIFICATION IS SHOWN ON THIS SET OF PLANS. THE SOIL CLASSIFICATION IS BASED ON THE PREVIOUS SET OF PLANS AND THIS SET OF PLANS. THE SOIL CLASSIFICATION IS BASED ON THE PREVIOUS SET OF PLANS AND THIS SET OF PLANS. THE SOIL CLASSIFICATION IS BASED ON THE PREVIOUS SET OF PLANS AND THIS SET OF PLANS.



900 GALLON (SMALL CAPACITY) SEPTIC TANK

SCALE: 1/4" = 1'-0"

1. SEE THE PREVIOUS SET OF PLANS FOR SOIL TEST RESULTS AND SOIL CLASSIFICATION. ALL SOILS SHOULD BE TESTED TO DETERMINE THE PRESENT AND PROPOSED SOIL CLASSIFICATION. THE PRESENT SOIL CLASSIFICATION IS SHOWN ON THE PREVIOUS SET OF PLANS. THE PROPOSED SOIL CLASSIFICATION IS SHOWN ON THIS SET OF PLANS. THE SOIL CLASSIFICATION IS BASED ON THE PREVIOUS SET OF PLANS AND THIS SET OF PLANS. THE SOIL CLASSIFICATION IS BASED ON THE PREVIOUS SET OF PLANS AND THIS SET OF PLANS. THE SOIL CLASSIFICATION IS BASED ON THE PREVIOUS SET OF PLANS AND THIS SET OF PLANS.





305 N. Oldover Street
Lumberton, NC 28158
Office: (719) 719-9820
Fax: (719) 719-9825
Email: jhp@jhp.com

WIRE PASTURE ACCESS DEVELOPMENT SITE DEVELOPMENT PLAN LUMBER RIVER STATE PARK STATE ID 16-1432-01A MAXTON, NORTH CAROLINA ROBESON COUNTY



1. All work shall be done in accordance with the Robeson County Ordinance No. 14-001, which sets forth the minimum standards for the design and construction of water supply systems. The engineer shall be responsible for the design and construction of the water supply system, and shall be responsible for the inspection and approval of the construction of the water supply system.

WATER DETAILS

DATE: 6/8/2011

SCALE:	AS SHOWN
PROJECT NO.:	16-1432-01A
DRAWING NO.:	16-1432-01A-001
SHEET NO.:	16-1432-01A-001
PROJECT NAME:	WIRE PASTURE ACCESS DEVELOPMENT
CLIENT:	ROBESON COUNTY
DESIGNER:	JAMES H. P. A. C.
CHECKED BY:	JHP
DATE CHECKED:	6/8/2011

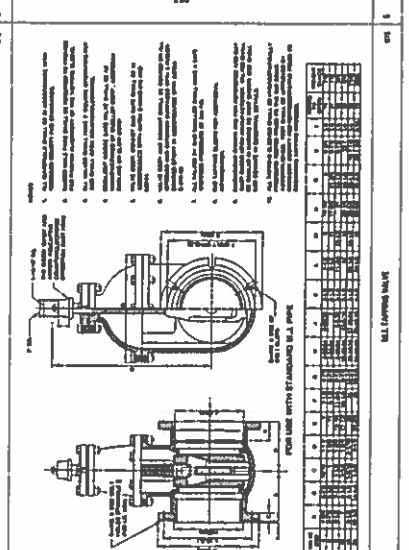
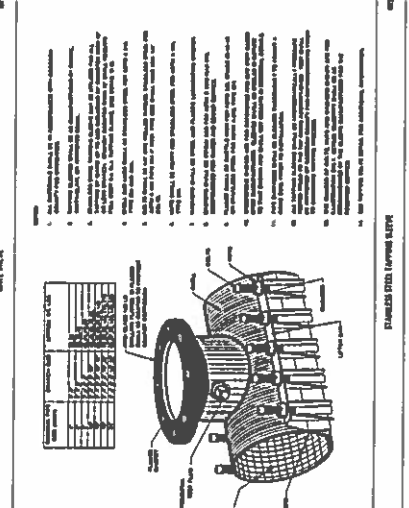
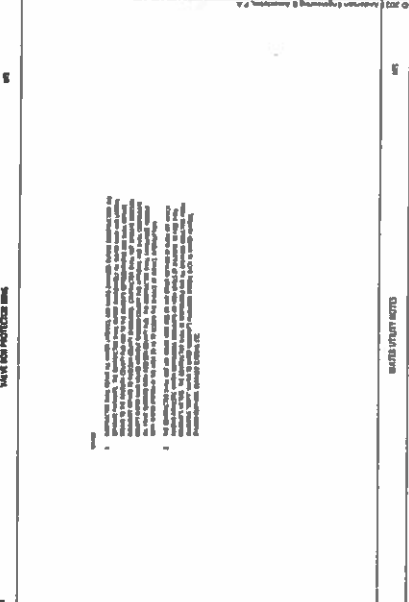
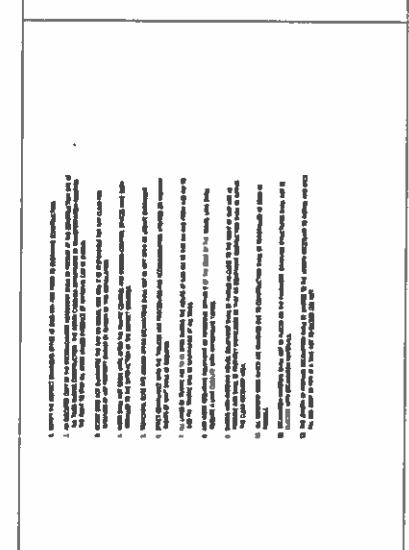
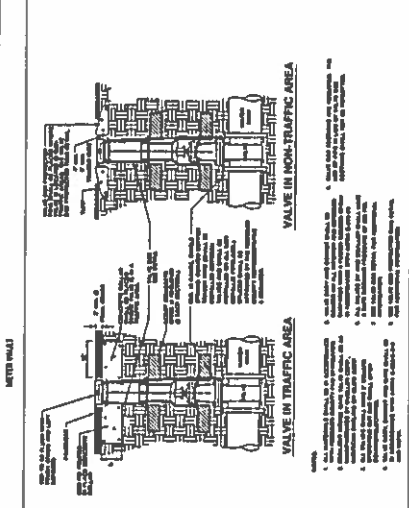
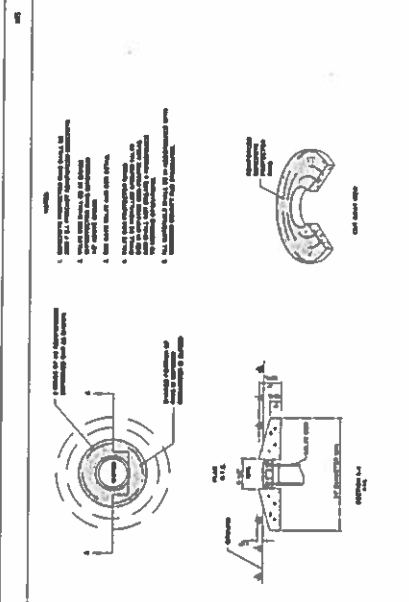
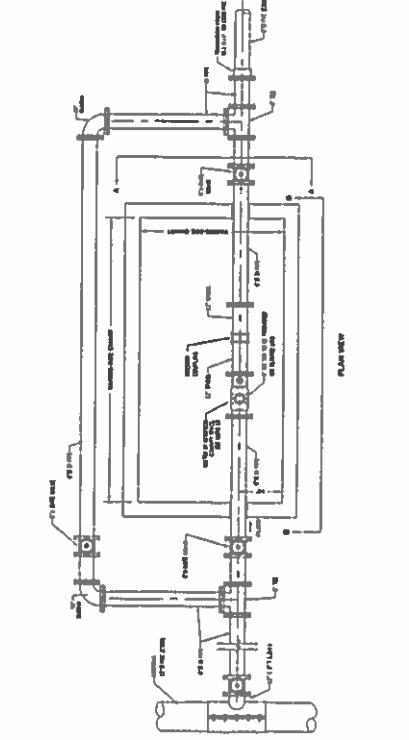
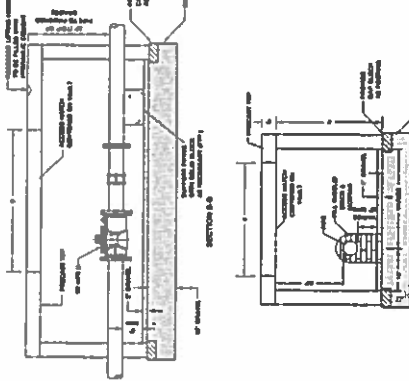
DATE:	6/8/2011
SCALE:	AS SHOWN
PROJECT NO.:	16-1432-01A
DRAWING NO.:	16-1432-01A-001
SHEET NO.:	16-1432-01A-001
PROJECT NAME:	WIRE PASTURE ACCESS DEVELOPMENT
CLIENT:	ROBESON COUNTY
DESIGNER:	JAMES H. P. A. C.
CHECKED BY:	JHP
DATE CHECKED:	6/8/2011

C621

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE
1
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- ### NOTES:
1. The water meter shall be installed in a location that is accessible to the water utility and is protected from damage by vehicles, equipment, and other obstructions.
 2. The water meter shall be installed in a location that is accessible to the water utility and is protected from damage by vehicles, equipment, and other obstructions.
 3. The water meter shall be installed in a location that is accessible to the water utility and is protected from damage by vehicles, equipment, and other obstructions.
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 7. The water meter shall be installed in a location that is accessible to the water utility and is protected from damage by vehicles, equipment, and other obstructions.

WATER METER TO BE SUPPLIED BY ROBESON COUNTY WATER SYSTEM
INSTALLED BY CONTRACTOR INSPECTED BY ROBESON COUNTY WATER SYSTEM



DATE: 6/8/2011

SCALE: AS SHOWN

PROJECT NO.: 16-1432-01A

DRAWING NO.: 16-1432-01A-001

SHEET NO.: 16-1432-01A-001

PROJECT NAME: WIRE PASTURE ACCESS DEVELOPMENT

CLIENT: ROBESON COUNTY

DESIGNER: JAMES H. P. A. C.

CHECKED BY: JHP



305 N. Chapparral Street
Lumberton, NC 28358
Phone: (704) 833-7400
Fax: (704) 833-7428
Email: ras@rasinc.com
www.rasinc.com

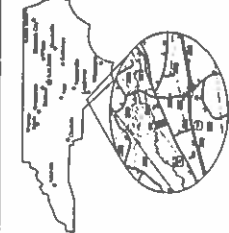
WIRE PASTURE ACCESS DEVELOPMENT
SITE DEVELOPMENT PLAN
STATE ID #16-14432-01A
MAXTON, NORTH CAROLINA
ROBESON COUNTY



LANDSCAPING PLAN
DATE: 08/20/2014
SHEET NO. 1 OF 1

NO.	DESCRIPTION	DATE	BY	CHKD BY
1	PREPARED	08/20/2014	RS	RS
2	CHECKED	08/20/2014	RS	RS
3	APPROVED	08/20/2014	RS	RS
4	REVISIONS			
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L101



- GENERAL NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES.
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES.
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 10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

GENERAL CONDITIONS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES.

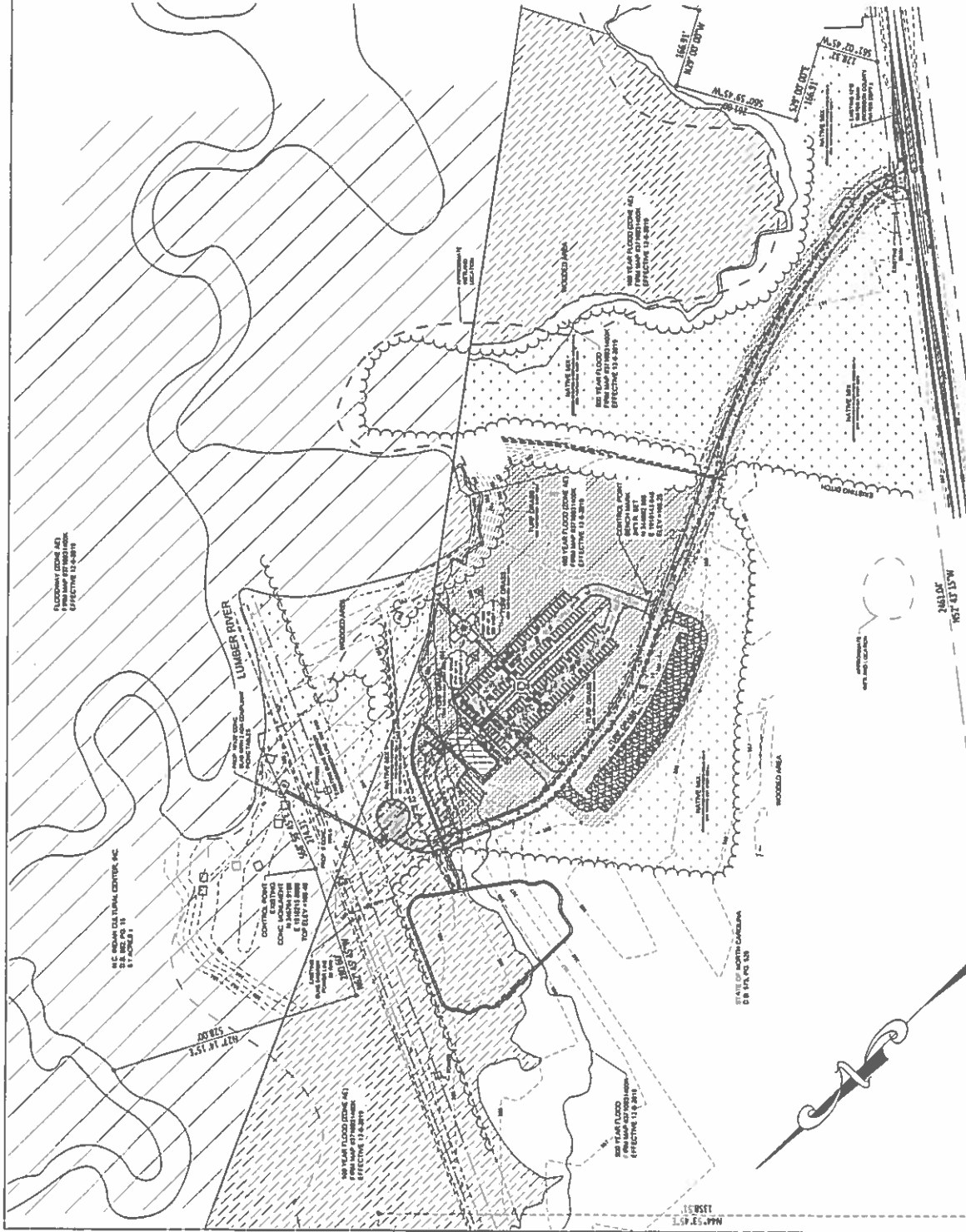
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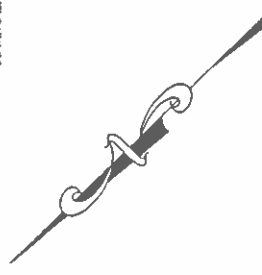
THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.



811
Know what's below.
Call before you dig.
GRAPHIC SCALE
1 inch = 100 feet (not to scale)



N.C. HIGHWAY 74 ALT. 100' ROW





Native American Design Services
Architecture + Planning
1000 N. 1st St., Suite 100
Mankato, MN 56001
507-835-1111
www.nativeamericandesign.com

CONTRACT NAME

CONTRACT NO.

DATE

SCALE

PROJECT NO.

DATE OF ISSUE

BY

CHECKED BY

DATE



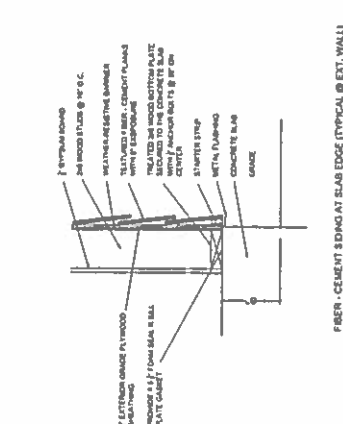
WOOD RIVER STATE PARK WIRE PASTURE ACCESS DEVELOPMENT
500 DR 161433 01A
MANKATO, MN

BD SET
6-10-2024

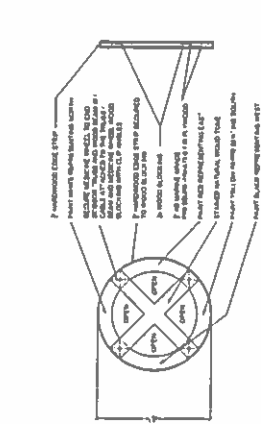
NO.	DATE	DESCRIPTION
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2	6-10-2024	ISSUED FOR PERMIT
3	6-10-2024	ISSUED FOR PERMIT
4	6-10-2024	ISSUED FOR PERMIT
5	6-10-2024	ISSUED FOR PERMIT
6	6-10-2024	ISSUED FOR PERMIT
7	6-10-2024	ISSUED FOR PERMIT
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9	6-10-2024	ISSUED FOR PERMIT
10	6-10-2024	ISSUED FOR PERMIT

ELEVATIONS

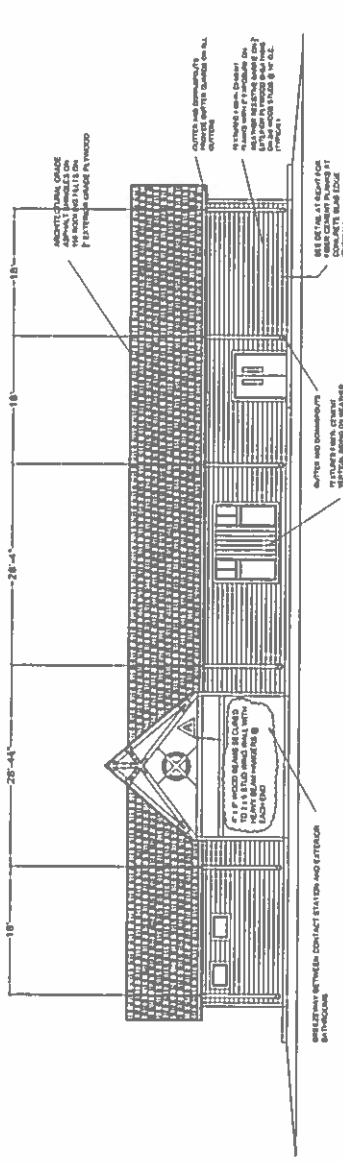
A - 103
SHEET OF



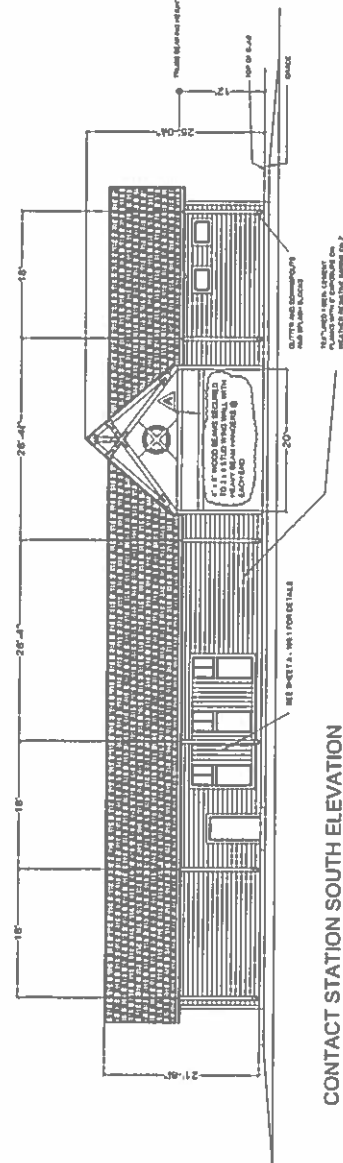
FIBER - CEMENT SIDING AT SLAB EDGE (TYPICAL @ EXT. WALL)
SCALE: 1/4\"/>



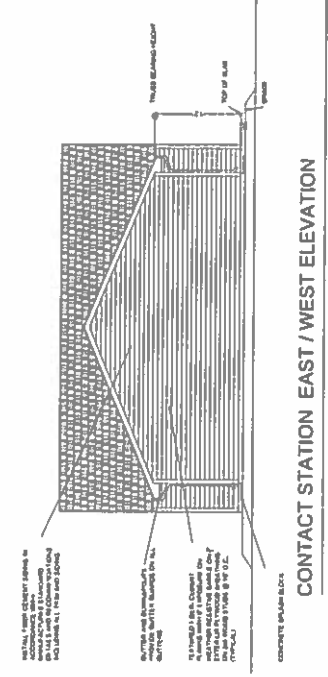
MEDICINE WHEEL MOTIF
SCALE: 1/4\"/>



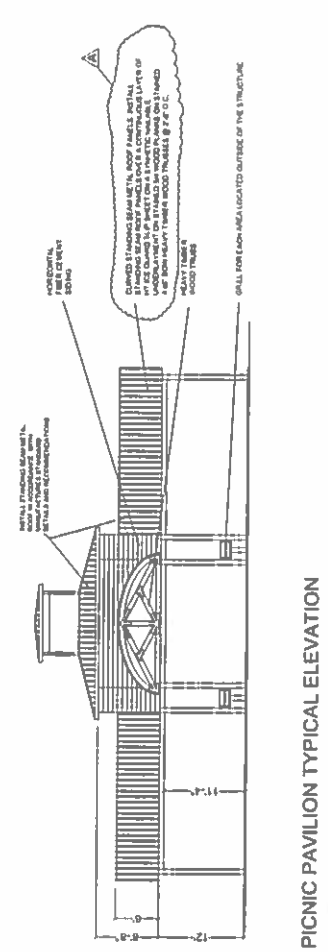
CONTACT STATION NORTH ELEVATION



CONTACT STATION SOUTH ELEVATION



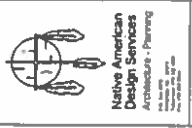
CONTACT STATION EAST / WEST ELEVATION



PICNIC PAVILION TYPICAL ELEVATION



ELEVATIONS



Native American Design Services
Architecture • Planning
Interior Design • Construction Administration
1100 N. 1st St., Suite 200
Tulsa, Oklahoma 74103
Phone: 918.438.1111
Fax: 918.438.1112
www.nativeamericandesign.com



LUMBER RIVER
STATE PARK
ACCESS
WIRE PASTURE
DEVELOPMENT
SCD 0416-1432 01A
MAXTON, NC

80 SET
6-15-2024

DATE: 6/15/2024
PROJECT: 24-0028
DRAWING: 24-0028-01
SHEET: 118 OF 118

DOOR SCHEDULE

A - 108

SHEET OF

DOOR/HARDWARE SCHEDULE

MARK	DOOR SIZE			FRAME			HARDWARE											MARK						
	WIDTH	HEIGHT	THICKNESS	MATERIAL	TYPE	UNDERCUT	FUNCTION	FIRE RATING	KEY SIDE	ROOM NO.	HINGES	EXIT DEVICE	PUSH	PULL	CLOSER	HOLD OPEN	STOP		KICK PLATE	THRESHOLD	WEATHERSTRIP	REMARKS		
100	PR 3'-0"	7'-0"	1 3/4"	AL	FNG-2	..	OSNL	..	EXT	..	BBG	RIM	..	..	PAA	..	..	..	ALUM	THR	..	100	
101	3'-0"	4'-0"	1 3/4"	WD	..	..	PAS	..	..	..	DSD SPRING LOADED	..	..	..	..	..	WLL	..	..	..	..	DOUBLE SWING DOOR	101
102	3'-0"	7'-0"	1 3/4"	WD	F	..	20 MIN A	..	..	..	BBG	..	..	..	..	..	WLL	..	..	..	..	..	102
103	3'-0"	7'-0"	1 3/4"	WD	F	..	20 MIN A	..	..	..	BBG	..	..	..	..	..	WLL	..	..	..	..	..	103
104	3'-0"	7'-0"	1 3/4"	HM	FNG-1	..	OSNL	..	EXT	..	BBG	RIM	..	..	PAA	..	..	..	ALUM	THR	..	..	104
105	3'-0"	7'-0"	1 3/4"	WD	F	..	20 MIN A	..	..	..	BBG	..	..	..	..	..	WLL	..	..	..	..	..	105
106	3'-0"	7'-0"	1 3/4"	WD	F	..	20 MIN A	..	..	..	BBG	..	..	..	..	..	..	..	..	..	..	..	106
107	PR 3'-0"	7'-0"	1 3/4"	HM	FNG-2	..	OSNL	..	EXT	..	BBG	RIM	..	..	PAA	..	..	..	ALUM	THR	..	..	107
108	PR 3'-0"	7'-0"	1 3/4"	WD	F	..	STO	..	..	..	BBG	..	..	..	..	..	WLL	..	..	..	..	..	108
109	3'-0"	7'-0"	1 3/4"	WD	F	..	STO	..	..	..	BBG	..	..	..	..	..	..	..	..	..	..	..	109
110	3'-0"	7'-0"	1 3/4"	HM	FNG-1	..	OSNL	..	EXT	..	BBG	RIM	..	..	PAA	..	..	..	ALUM	THR	..	..	110
111	PR 3'-0"	7'-0"	1 3/4"	HM	F	..	CLR	..	EXT	..	BBG	..	..	..	..	..	..	..	ALUM	ADB	..	..	111
112	3'-0"	7'-0"	1 3/4"	HN	F	..	OSNL	..	EXT	..	BBG	RIM	..	..	PAA	..	..	..	ALUM	THR	..	..	112
113	3'-0"	7'-0"	1 3/4"	HM	F	..	CLR	..	EXT	..	BBG	..	..	..	..	..	..	..	ALUM	THR	..	..	113
114	3'-0"	7'-0"	1 3/4"	HM	F	..	CLR	..	EXT	..	BBG	..	..	..	..	..	..	..	ALUM	ADB	..	..	114
115	3'-0"	7'-0"	1 3/4"	HM	F	..	OSNL	..	EXT	..	BBG	RIM	..	..	PAA	..	..	..	ALUM	THR	..	..	115
116	3'-0"	7'-0"	1 3/4"	WD	F	..	STO	..	..	..	BBG	..	..	..	..	..	..	..	..	..	..	..	116
117	3'-0"	7'-0"	1 3/4"	WD	F	..	CLR	..	100 C	..	BBG	RIM	..	..	PAA	..	..	..	ALUM	..	..	..	117
118	4'-0"	7'-0"	1"	WD	L	..	..	..	..	..	..	..	..	..	..	..	..	..	..	..	..	WOOD BIFOLD DOOR	118
119																								119
120																								120
121																								121

ABBREVIATIONS:
FUNCTION:
OFF - OFFICE
CLR - CLASSROOM
PRI - PRIVATE
PAS - PASSAGE
STO - STORAGE
OSNL - PANIC DEVICE

HINGES:
BBG - BALL BEARING

STOPS:
WLL - WALL BUMPER

WEATHERSTRIP:
THR - THERMAL
ADB - AUTOMATIC
DOOR BOTTOM

CLOSERS:
PAA - PARALLEL ARM
PST - PARALLEL ARM
W/ STOP

Graphic Scale 1/8" = 1'

0 2 4 6 8 12

LAVATORY

1" SOLID THICK SURFACING LAVATORY COUNTER SECURED TO FRAMING WITH ANGLES SCREWED ATTACHED TO THE 2 x 4 WOOD FRAMING FROM THE UNDERSIDE

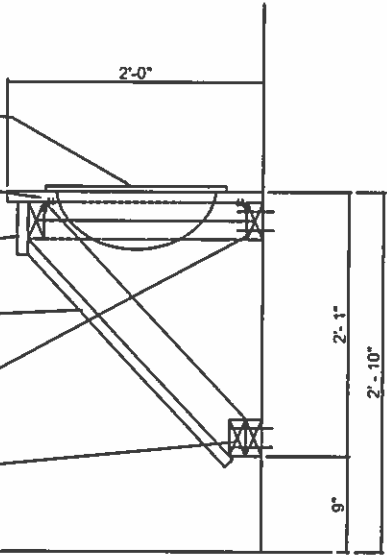
1" THICK X 5" SOLID SURFACING TRIM SECURED TO 2 x 4 FRAMING WITH SCREWS

1" THICK SOLID SURFACING PANEL SECURED TO 2 x 4 WOOD SUPPORT STUD WITH COUNTER SUNK SCREWS



2 x 4 WOOD SUPPORT LEDGER SECURED 2 x 4 WOOD STUD WALL

2 - 2 x 4 SUPPORT STUD SECURED TO WOOD FRAME AND 2 x 4 WOOD SUPPORT LEDGER WITH SCREWS

FINISH FLOOR MATERIAL



LAVATORY COUNTER DETAIL

 <p>Native American Design Services Architecture - Planning</p>	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION																												<p>LUMBER RIVER STATE PARK - WIRE PASTURE ACCESS DEVELOPMENT SCO ID # 16-14432 - 01A MAXTON, NC</p>		 <p>NORTH CAROLINA PROFESSIONAL SEAL 6622 ARCHITECT MICHAEL CLARK 7/22/2024</p>
	NO.	DATE	DESCRIPTION																															
<p>DRAWING SCALE - NTS</p>	<p>SECTION DETAIL FOR LAVATORY COUNTER IN BATHROOMS</p>		<p>BD002</p>																															



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J.R. "JOEY" HOPKINS
SECRETARY

January 30, 2024

COUNTY: Robeson

**SUBJECT: Commercial Driveway Agreement D061-078-21-00089 Wire Pasture
Access Development**

Wire Pasture Access Development, Lumber River State Park
Justin Williamson
1615 Mail Service Center
Raleigh, NC. 27699

Dear Mr. Williamson:

Attached for your files is a copy of the above-referenced Commercial Driveway Agreement properly executed. This agreement covers the following:

Installation of a driveway along **US74 Alternate** for Lumber River State Park.

APPROVED SUBJECT TO: Attached Special Provisions

DocuSigned by:

Brice Bell, PE
FB057F975F844A7...

Brice Bell, PE
District Engineer

BB/cwo
Attachment

Cc: W. L. "Lee" Jernigan, Jr., PE Acting Division Engineer (copy of agreement)
Mr. Phil Pittman, County Maintenance Engineer (copy of agreement)

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DIVISION 6, DISTRICT 1
P.O. BOX 2157
LUMBERTON, NC 28359

Telephone: (910) 618-5546
Fax: (910) 618-5586
Customer Service: 1-877-368-4968

Website: www.ncdot.gov

Location:
872 NC 711 HWY
LUMBERTON, NC 28360

PRE-CONSTRUCTION

1. This driveway permit is valid for one year from the date of this letter.
2. Approval may be rescinded upon failure to follow any of the provisions in this permit and may be considered a violation of the driveway permit.
3. This permit covers the proposed access onto US74 Alternate for the Lumber River State Park that:
 - 3.1. Is located on US74 Alternate approximately 2885-foot from SR1354 (Recreation Center Rd.).
 - 3.2. Has a 24-foot throat with 30-foot radii.
 - 3.3. Requires 64 feet of 18-inch reinforced concrete pipe (RCP) at 0.05% slope.
 - 3.3.1. Pipe shall be placed on grade and backfilled with suitable material.
 - 3.4. Must be paved from US74 (Alternate) edge of pavement to, a minimum, the end of the radius.
 - 3.5. Requires roadway improvements that includes the construction of right and left turning lanes.
 - 3.5.1. Turn lanes shall be constructed by widening US74 to provide 12-foot lanes with 2-foot paved shoulders.
 - 3.5.2. Shall consist of a 330-foot approach and departure tapers, 220-foot bay taper, a 150-foot left turn storage lane, and a 100-foot right turn lane.
 - 3.5.3. Overlay entire length of the widened area with 2" of S9.5B Asphalt Concrete Surface Course.
4. The minimum design for roadway improvements and access shall be:
 - 4.1. Asphalt
 - 2.0" S9.5B Asphalt Concrete Surface Course
 - 3.5" I19.0C Asphalt Concrete Surface Course
 - 5.5" B25.0C Asphalt Concrete Surface Course

5. The Applicant or their contractor shall provide the following notices prior to construction activity within the NCDOT Right of Way:

- 5.1. Two (2) business days advance phone call at telephone (910) 702-6060 or email to dwstrickland@ncdot.gov at the Maintenance Engineer's office.

Failure to provide these notifications prior to beginning construction is subject to the District Engineer's discretion to cease construction activity for this installation. NCDOT reserves the right to cease any construction or maintenance work associated with this installation by the encroaching party until the construction or maintenance meets the satisfaction of the District Engineer or their representative.

6. Roadway improvements are required on US74 Alternate at this time. Any expansion of the development or change in use will require further review to determine if improvements are warranted. Failure to obtain a review prior to any such changes or expansions may result in closure of roadway access to the subject parcel.
7. The applicant is required to contact the appropriate Utility Companies involved and make satisfactory arrangements to adjust the utilities in conflict with the proposed work prior to beginning construction.
8. The encroaching party shall notify the appropriate municipal office prior to beginning any work within the municipality's limits of jurisdiction.
9. The applicant is responsible for identifying project impacts to waters of the United States (wetlands, intermittent streams, perennial streams, and ponds) located within the NCDOT right-of-way. The discharge of dredged or fill material into waters of the United States requires authorization from the United States Army Corps of Engineers (USACE) and certification from the North Carolina Division of Water Quality (NCDWQ). The applicant is required to obtain pertinent permits or certification from these regulatory agencies if construction of the project impacts waters of the United States within the NCDOT right-of-way. The applicant is responsible for complying with any river or stream Riparian Buffer Rule as regulated by the NCDWQ. The Rule regulates activity within a 50-foot buffer along perennial streams, intermittent streams, and ponds. Additional information can be obtained by contacting the NCDWQ or the USACE.
10. Encroaching party shall be responsible for obtaining all necessary permanent and/or temporary construction, drainage, utility and/or sight distance easements.
11. Any REVISIONS marked in RED on the attached non-PE sealed plans shall be incorporated into and made part of the approved driveway permit.

CONSTRUCTION

12. An executed copy of the driveway agreement, provisions and approved plans shall always be present at the construction site. If safety or traffic conditions warrant such an action, NCDOT reserves the right to further limit, restrict or suspend operations within the right of way.
13. A certified pavement structure report, signed by a Professional Engineer, shall be submitted to the District Engineer's office and shall indicate the following:
 - Pavement thickness by type
 - Base thickness
 - Base density
 - Subgrade density
 - Core and/or test locations

Test frequency and method shall be in conformance with the NCDOT "Materials and Tests" Manual. A letter of approval, or recommendations for compliance, will be provided upon receipt and review of the report.

14. A 1/4-inch per foot pavement slope, based on the existing centerline in tangent sections, is required. In addition, a smooth transition must be maintained along areas of super-elevation. The proposed widening may necessitate wedging or resurfacing one half of the existing roadway to accomplish this requirement. **Widened areas less than 6 foot wide shall utilize a full depth asphalt pavement design. Widening is measured from the edge of existing pavement.**
15. **Prior to installing pavement markings, please contact Mr. James Flowers, Division Traffic Engineer, shall be notified at (910) 364-0606 with the NCDOT Division Six Traffic Services Unit to review the proposed pavement-marking layout. This notification should take place a minimum of 48 hours in advance of the pavement marking installation.**
16. Failure to contact the Traffic Services Unit to review the pavement-marking layout prior to installation may result in the removal and reinstallation of the markings at the expense of the Permittee.
17. All traffic control, asphalt mixes, structures, construction, workmanship and construction methods, and materials, shall be, in compliance with the most-recent versions of the following resources: *Policy on Street and Driveway Access, ASTM Standards, Manual on Uniform Traffic Control Devices, NCDOT Utilities Accommodations Manual, NCDOT Standard Specifications for Roads and Structures, NCDOT Roadway Standard Drawings, NCDOT Asphalt Quality Management System manual, and the attached plans.*
18. No employee/contractor parking or equipment parking shall be permitted on the roadway shoulders during construction.

19. Positive shoulder drainage shall be required as a condition of approval. Failure to correct drainage issues in a timely manner may result in closure of the entrance by the Department of Transportation.
20. All fill areas/backfill shall be compacted to 95% density in accordance with AASHTO T99 as modified by the NCDOT. All material to a depth of 8 inches below the finished surface of the subgrade shall be compacted to a density equal to at least 100% of that obtained by compacting a sample of the material in accordance with AASHTO T99 as modified by the Department. The subgrade shall be compacted at a moisture content which is approximately that required to produce the maximum density indicated by the above test method. The contractor shall dry or add moisture to the subgrade when required to provide a uniformly compacted and acceptable subgrade.
21. **Stabilization** for this project shall comply with the time frame guidelines as specified by the NCG-010000 general construction permit effective August 3, 2011, issued by the North Carolina Department of Environment and Natural Resources Division of Water Quality. Temporary or permanent ground cover stabilization shall occur within 7 calendar days from the last land-disturbing activity, with the following exceptions in which temporary or permanent ground cover shall be provided in 14 calendar days from the last land-disturbing activity:
 - 21.1. Slopes between 2:1 and 3:1, with a slope length of 10 ft. or less
 - 21.2. Slopes 3:1 or flatter, with a slope of length of 50 ft. or less
 - 21.3. Slopes 4:1 or flatter

The stabilization timeframe for High Quality Water (HQW) Zones shall be 7 calendar days with no exceptions for slope grades or lengths. High Quality Water Zones (HQW) Zones are defined by North Carolina Administrative Code 15A NCAC 04A.0105 (25). Temporary and permanent ground cover stabilization shall be achieved in accordance with the provisions in this contract and as directed.
22. Vegetative cover shall be established on all disturbed areas in accordance with and the recommendations of the Division Roadside Environmental Engineer (910) 364-0603.
23. It is the responsibility of the encroaching party or their contractor to prevent any mud/dirt from tracking onto the roadway. Any dirt which may collect on the roadway pavement from equipment and/or truck traffic on site shall be immediately removed to avoid any unsafe traffic conditions.
24. Any gate or fence shall be placed so that vehicles entering site will not park on right of way to open gate nor shall the gate project into the highway right of way upon opening.

25. Drainage collected by ditches, gutters or pipes on private property shall not be discharged into the highway drainage system unless expressly approved by the Department of Transportation. No discharge from any water sources heating and air conditioning system shall be discharged into the highway drainage system. The applicant shall convey these conditions in any lease or conveyance.
26. The applicant shall not place or cause to be placed any commercial sign, permanent fixture, parking area or other subject on or over the public right of way.
27. The applicant and/or their contractor shall employ traffic control measures that are in accordance with the prevailing federal, state, local, and NCDOT policies, standards, and procedures. These policies, standards, and procedures include, but are not limited to the following:
 - Manual on Uniform Traffic Control Devices (MUTCD) – North Carolina has adopted the MUTCD to provide basic principles and guidelines for traffic control device design, application, installation, and maintenance.
 - NCDOT Maintenance / Utility Traffic Control Guidelines – This document enhances the fundamental principles and best practices established in MUTCD Part 6, Temporary Traffic Control, incorporating NCDOT-specific standards and details. It also covers important safety knowledge for a wide range of work zone job responsibilities.

POST-CONSTRUCTION

28. All other unapproved driveways to the subject parcel shall be removed as a condition of approval.
29. All disturbed areas are to be fully restored to current NCDOT minimum roadway standards or as directed by the Division Engineer or their representative. Disturbed areas within NCDOT Right-of-Way include, but not limited to, any excavation areas, pavement removal, drainage, or other features.
30. If the actual construction differs from the attached plans associated with this encroachment, a copy of "as-built" plans shall be submitted to the District Engineer's office in a PDF format and in a current ESRI GIS format within 4 weeks of construction.

APPLICATION IDENTIFICATION		N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION
Driveway Permit No. D061-078-23-00089	Date of Application 8-25-2023	
County: Robeson		
Development Name: Wire Pasture Access Dev. Lumber River State Park		

LOCATION OF PROPERTY:

Route/Road: US74 34.694471, -79.271528

Exact Distance 2885 +/- Miles Feet N S E W

From the Intersection of Route No. US 74 Alternate and Route No. SR1354 Recreation Center Rd. Toward Maxton

Property Will Be Used For: Residential /Subdivision Commercial Educational Facilities TND Emergency Services Other
 Property: is is not within Pembroke City Zoning Area.

AGREEMENT

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during and following construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- I agree that the entire cost of constructing and maintaining an approved private street or driveway access connection and conditions of this permit will be borne by the property owner, the applicant, and their grantees, successors, and assignees.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**

SIGNATURES OF APPLICANT

<p>PROPERTY OWNER (APPLICANT)</p> <p>COMPANY <u>State of North Carolina</u></p> <p>SIGNATURE <u>Same as below</u></p> <p>ADDRESS _____</p> <p>Phone No. _____</p>	<p>WITNESS</p> <p>NAME <u>Charles W. Overstreet</u></p> <p>SIGNATURE <u>872 NC Hwy 711</u></p> <p>ADDRESS <u>Lumberton NC 28360</u></p>
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<p>AUTHORIZED AGENT</p> <p>COMPANY <u>Justin Williamson, Project Manager</u></p> <p>SIGNATURE <u>[Signature]</u></p> <p>ADDRESS/6 <u>4001 Mail Service Center</u></p> <p><u>Raleigh NC. 27699</u> Phone No. <u>919-707-9329</u></p>	<p>WITNESS</p> <p>NAME <u>Jerry Howerton</u></p> <p>SIGNATURE <u>[Signature]</u></p> <p>ADDRESS <u>01615-456</u></p> <p><u>Raleigh, NC 27699-1615</u></p>
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APPROVALS

<p>APPLICATION RECEIVED BY DISTRICT ENGINEER</p> <p style="text-align: right;"><small>DESIGNED BY:</small></p> <p><u>Bria Bell, PE</u></p> <p><small>EB657E975F844A7</small></p> <p>SIGNATURE</p>	<p align="center"><small>DS</small></p> <p align="center"><u>[Signature]</u></p> <p align="center">08/25/2023</p> <p align="center">DATE</p>
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APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)

SIGNATURE	TITLE	DATE
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<p>APPLICATION APPROVED BY NCDOT</p> <p style="text-align: right;"><small>DESIGNED BY:</small></p> <p><u>Bria Bell, PE</u></p> <p><small>EB657E975F844A7</small></p> <p>SIGNATURE</p>	<p align="center"><small>DS</small></p> <p align="center"><u>[Signature]</u></p>	<p align="center">District Engineer</p> <p align="center">01/30/2024</p> <p align="center">TITLE</p> <p align="center">DATE</p>
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INSPECTION BY NCDOT

SIGNATURE	TITLE	DATE
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COMMENTS:



Native American
Design Services
Architecture - Planning
PO Box 100
Lumberton, NC 27856
TEL: (704) 835-1000
FAX: (704) 835-1001
WWW: www.nadss.com

DATE: 11/11/11



riggs ward
ARCHITECT

100 W. MAIN ST. SUITE 101
LUMBERTON, NC 27856
TEL: (704) 835-1000
FAX: (704) 835-1001
WWW: www.riggsward.com

LUMBER RIVER
STATE PARK
WIRE PASTURE
ACCESS
DEVELOPMENT
PROJECT
PEMBROKE, NC

Sheet	Date	Description
A	11/11/11	EXHIBIT WALL

Scale	Notes
1/4" = 1'-0"	
1/8" = 1'-0"	
1/2" = 1'-0"	
3/4" = 1'-0"	
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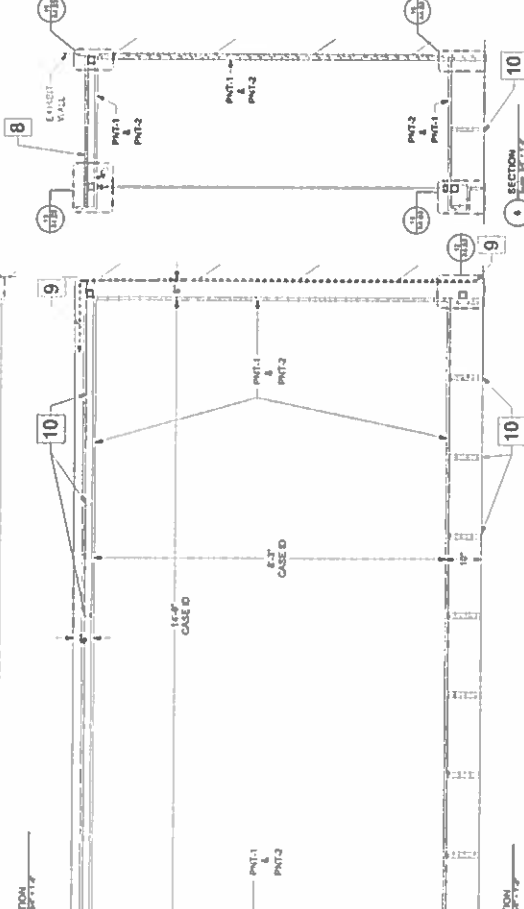
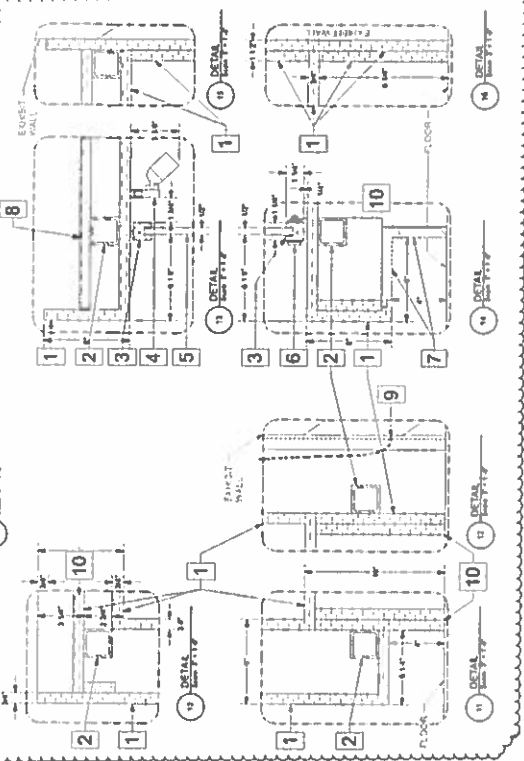
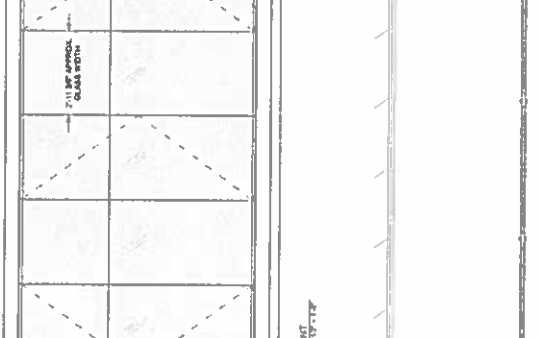
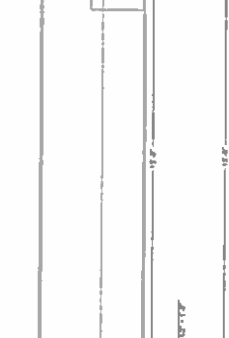
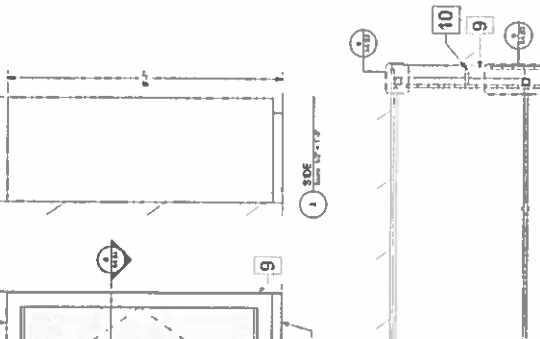
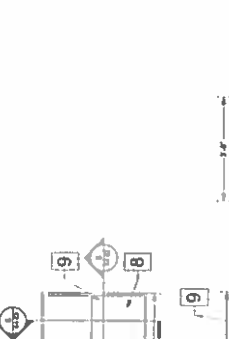
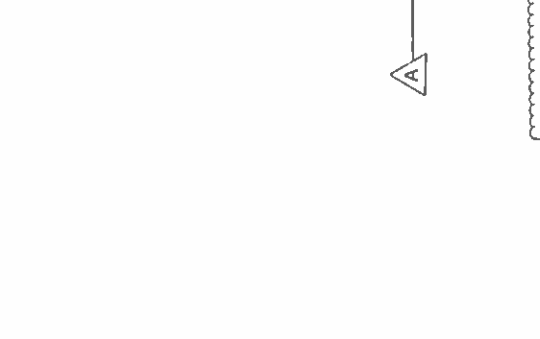
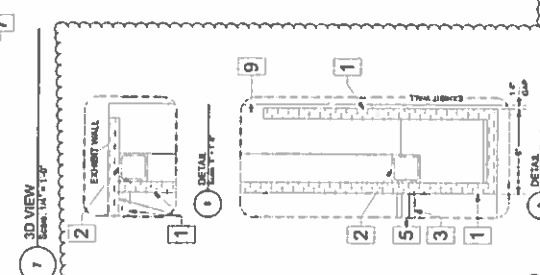
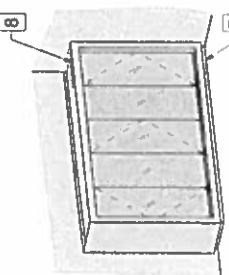
PROJECT NAME
PROJECT NUMBER
DRAWING NUMBER
DATE
DRAWN BY
CHECKED BY
APPROVED BY
SCALE

EXHIBIT
DETAILS

X4.03
SHEET OF

GENERAL NOTES
 1. ALL MEDIATE SURFACES TO BE FINISHED WITH PMT-2
 GARDEN-115 MEDIATE 8 PRIMER/SEALER
 2. BRUSH ALL CORNERS

KEY NOTES
 1. WPC - MEDITE 8 (MAY) FOR CASE INTERIOR SURFACES
 • 1/2" DOOR ROSEBURG
 • 1/2" DOOR ROSEBURG
 • 2" SQ ST. TUBE FRAME
 2. AL-1
 • 1/4" ALUMINUM EXTRUSION
 • 1-3/4" SQ ALUMINO
 3. LIGHTING
 • INTERNAL LIGHT TRK. 12 FEET TOTAL
 • LIGHTING TRUCK TO BE INSTALLED
 • FEATURES (CITY RELATIVES) MICRO TRACK SW
 4. GLAZING
 • 1/2" LOW IRON GLASS
 • 1/2" GLAZING
 • 3/4" ACCESS PANEL - BELOW JOCK FOR ACCESS TO JOCK
 • 3/4" ACCESS PANEL - BELOW JOCK FOR ACCESS TO JOCK
 • ACCESS TO JOCK TO LIGHT TRACK
 5. POWER RUN
 • ENDS ON TOP OF CASE
 10 STRUCTURAL REINFORCEMENT
 • 3"X MEDIATE 8



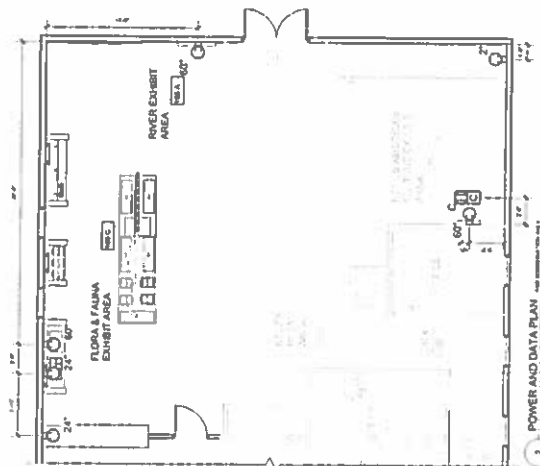


riggs ward
ARCHITECTS
1000 W. 10TH STREET
PEMBROKE, NC 28572
TEL: 252.338.1111
WWW.RIGGSWARD.COM

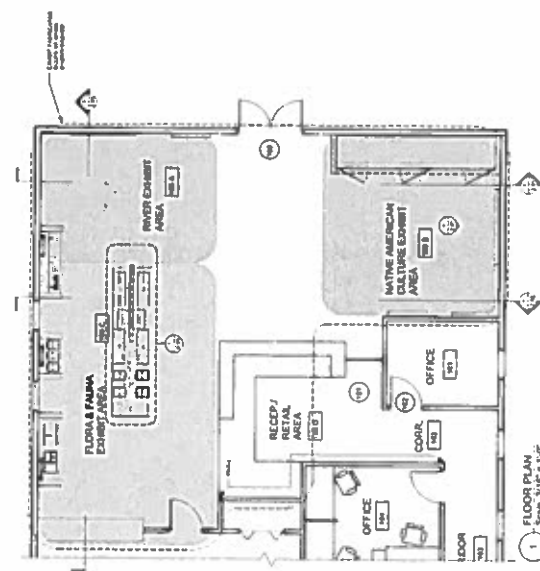
LUMBER RIVER
STATE PARK
WIRE PASTURE
ACCESS
DEVELOPMENT
PROJECT
PEMBROKE, NC

NO.	DATE	DESCRIPTION
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2	11/15/11	REVISED PER COMMENTS
3	12/15/11	REVISED PER COMMENTS
4	01/15/12	REVISED PER COMMENTS
5	02/15/12	REVISED PER COMMENTS
6	03/15/12	REVISED PER COMMENTS
7	04/15/12	REVISED PER COMMENTS
8	05/15/12	REVISED PER COMMENTS
9	06/15/12	REVISED PER COMMENTS
10	07/15/12	REVISED PER COMMENTS
11	08/15/12	REVISED PER COMMENTS
12	09/15/12	REVISED PER COMMENTS
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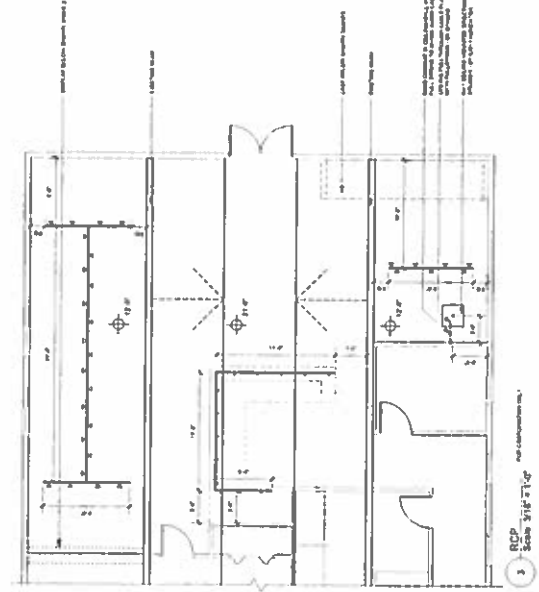
PLANS AND SCHEDULES
X1.01
SHEET OF



1 FLOOR PLAN
Scale 3/16" = 1'-0"



2 POWER AND DATA PLAN
Scale 3/16" = 1'-0"



3 RCP
Scale 3/16" = 1'-0"

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE NATIONAL ELECTRICAL CODE (NEC).
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
3. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
4. ALL DATA WORK SHALL BE PERFORMED BY A LICENSED NETWORK ENGINEER.
5. ALL DIMENSIONS SHALL BE SHOWN ON ALL PLANS.
6. ALL FINISHES SHALL BE AS SHOWN ON THE FINISH SCHEDULE.
7. ALL FIXTURES SHALL BE AS SHOWN ON THE FIXTURE SCHEDULE.
8. ALL EQUIPMENT SHALL BE AS SHOWN ON THE EQUIPMENT SCHEDULE.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED BUDGET.

MATERIAL & FINISH SCHEDULE

NO.	DESCRIPTION	FINISH	NOTES
1	CEILING	Acoustic Tile	1/2" x 1/2" x 5/8"
2	WALL	Paint	White
3	FLOOR	Carpet	Commercial Grade
4	DOOR	Wood	1/2" x 6" x 2"
5	WINDOW	Wood	1/2" x 4" x 2"
6	TRIM	Wood	1/2" x 4" x 2"
7	EXHIBIT CASE	Wood	1/2" x 4" x 2"
8	RECEPTION COUNTER	Wood	1/2" x 4" x 2"

AV SCHEDULE

NO.	DESCRIPTION	TYPE	NOTES
1	CEILING MOUNTED SPEAKER	2" x 4"	1 per room
2	RECEPTION COUNTER PHONE	1"	1 per counter
3	DATA PORT	1"	1 per room

GRAPHIC TYPES

NO.	DESCRIPTION	TYPE	NOTES
1	EXHIBIT CASE	Wood	1/2" x 4" x 2"
2	RECEPTION COUNTER	Wood	1/2" x 4" x 2"
3	OFFICE DESK	Wood	1/2" x 4" x 2"

GRAPHIC SCHEDULE

NO.	DESCRIPTION	TYPE	NOTES
1	EXHIBIT CASE	Wood	1/2" x 4" x 2"
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49	RECEPTION COUNTER	Wood	1/2" x 4" x 2"
50	RECEPTION COUNTER	Wood	1/2" x 4" x 2"

SECTION 334200 – STORMWATER CONVEYANCE

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Stormwater drainage piping
 - 2. Bedding and cover materials

1.2 UNIT PRICES

- A. Pipe and Fittings:
 - 1. Basis of Measurement: By linear foot
 - 2. Basis of Payment:
 - a. Includes excavating, hand trimming, removing soft subsoil, bedding and fill, pipe and fittings, accessories.

1.3 SUBMITTALS

- A. Product Data: Manufacturer information describing pipe, pipe accessories, and structures.
- B. Manufacturer's Certificate: Products meet or exceed specified requirements.
- C. Manufacturer Instructions: Special procedures required to install specified products.
- D. Field Quality Control Submittals: Indicate results of Contractor-furnished tests and inspections.
- E. Qualifications Statement: Qualifications for manufacturer.

1.4 CLOSEOUT SUBMITTALS

- A. Project Record Documents: Record actual locations of pipe runs, connections, and invert elevations.
- B. Identify and describe unexpected variations to subsoil conditions or discovery of uncharted utilities.

1.5 QUALITY ASSURANCE

- A. Perform Work according to Robeson County Public Utilities Department standards.
- B. Manufacturer: Company specializing in manufacturing products specified in this Section with three years' experience.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Store materials according to manufacturer instructions.
- B. Protection:
 - 1. Protect materials from moisture and dust by storing in clean, dry location remote from construction operations areas.
 - 2. Provide additional protection according to manufacturer instructions.

1.7 EXISTING CONDITIONS

- A. Field Measurements:
 - 1. Verify field measurements prior to fabrication.
 - 2. Indicate field measurements on Shop Drawings.

PART 2 - PRODUCTS

2.1 STORM DRAINAGE PIPING

- A. Reinforced Concrete Piping:
 - 1. Pipe:
 - a. Comply with ASTM C76, ASTM C361, ASTM C655.
 - b. Reinforcement: Mesh
 - c. Inside Nominal Diameter: As shown.
 - d. End Connections: Bell and spigot
 - 2. Fittings: Reinforced Concrete
 - 3. Joints:
 - a. Mastic or Butyl sealant

2.2 MATERIALS:

- A. Bedding and Cover
 - 1. Bedding: Fill Type Select, as specified in Section 310516 – Aggregates for Earthwork
 - 2. Cover: Fill Type Select, as specified in Section 310516 – Aggregates for Earthwork
 - 3. Soil Backfill from above Pipe to Finish Grade: Soil Type Select Fill as specified in Section 310513 – Aggregates for Earthwork
 - 4. Subsoil: No rocks, frozen earth, or foreign matter.

2.3 MIXES

- A. Grout: As required.

2.4 FINISHES:

- A. Steel Galvanizing: As required
 - 1. Comply with ASTM A123/A123M
 - 2. Hot-dip galvanized after fabrication
- B. Galvanizing for Nuts, Bolts, and Washers: Comply with ASTM A153/A153M.

2.5 ACCESSORIES

- A. Geotextile Filter Fabric:
 - 1. Comply with AASHTO M288 for subsurface drainage.
 - 2. Type: Class A, non-biodegradable, woven
 - 3. See ESC Southeast Geotechnical Engineering Report

PART 3 - EXECUTION:

3.1 EXAMINATION

- A. Verify that excavation base is ready to receive Work of this Section.
- B. Verify that excavations, dimensions, and elevations are as indicated.

3.2 PREPARATION

- A. Correct over-excavation with fine aggregate.
- B. Remove large stones and other hard matter that could damage piping or impede consistent backfilling or compaction.

3.3 INSTALLATION

- A. Excavation and Bedding:
1. Excavate trench to 6 inches below pipe invert, and as specified in Section 312316 – Excavation and 312316.13 – Trenching.
 2. Hand trim excavation for accurate placement of piping to indicated elevations.
 3. Maintain optimum moisture content of bedding material to attain required compaction density.
 4. Level fills materials in continuous layers not exceeding 8 inches in depth, and compact to 98 percent maximum density.
- B. Piping:
1. Pipe, Fittings, and Accessories: Comply with ASTM D2321.
 2. Seal joints watertight.
 3. Place pipe on minimum 6 inch deep bed of filter aggregate.
 4. Install aggregate at sides.
 5. Install top cover to minimum compacted thickness of 8 inches, and compact to 98 percent maximum density.
 6. Backfilling and Compaction: As specified in Section 312323 – Fill.
 7. Installation Standards: Install Work according to Robeson County Public Utilities Department standards.

3.4 TOLERANCES

- A. Maximum Variation From Indicated Pipe Slope: One inch in 10 feet.

3.5 FIELD QUALITY CONTROL

- A. Inspection:
1. Request inspection by Engineer prior to and immediately after placing aggregate cover over pipe.
- B. Testing:
1. Compaction Test: Comply with ASTM D698.
 - a. Testing Frequency: One test per 100 linear feet per lift.
 2. Piping: Infiltration and Exfiltration Testing: As specified
 3. If tests indicated that Work does not meet specified requirements, remove Work, replace, and retest.
 4. Records: Maintain records of placed pipe and inverts.

3.6 PROTECTION

- A. Protect pipe and aggregate cover from damage or displacement until backfilling operation is in progress.

END OF SECTION 334200

**SECTION 08710
FINISH HARDWARE**

PART 1 - GENERAL

1.1 QUALITY ASSURANCE

- A. **Acceptable Designs:** Specified products and their manufacturers establish acceptable design, material, type, grade, size, function, and finish of hardware items required. Do not substitute other products, except with Architect's and Owner's acceptance.
- B. **Manufacturer:** Obtain each kind of hardware [latch and locksets, hinges, closers] from only one manufacturer, although several may be indicated as offering products complying with the manufacturer's requirements.
- C. **Supplier:** The hardware supplier shall be a full member of the Society of Architectural Hardware Consultants and shall be available during normal working hours during the course of the project for hardware consultation to the Owner, Architect, and Contractor.

1.2 SUBMITTALS

- A. **Product Data:** Submit in accordance with the requirements of Section 01300. Include installation and maintenance instructions for operating parts and finish. Transmit copy of applicable data to Installer.
- B. **Certificates:** Any hardware that is furnished other than that scheduled on the drawings shall have manufacturer's certificates certifying that the hardware meets this specification submitting the hardware shop drawings.
- C. **Hardware Schedule:** Submit final hardware schedule in the manner and format indicated below. Hardware schedules are intended for coordination of work.
 - 1. Organize hardware schedule into "hardware sets" indicating complete designations of every item required for each door or opening, including:
 - a. Type, style, function, size and finish of each hardware item.
 - b. Name and manufacturer of each item.
 - c. Fastenings and other pertinent information.
 - d. Location of hardware set cross-referenced to indications on Drawings both of floor plans and in door and frame schedule.
 - e. Explanation of all abbreviations, symbols, code, etc. contained in schedule.
 - f. Mounting locations for hardware.
 - g. Door and frame sizes and materials.
 - 2. Submit schedule at earliest possible date particularly where acceptance of hardware schedule must precede fabrication of other work [e.g. hollow metal frames], which is critical in the project construction schedule.

3. Include product data, samples, shop drawings of other work affected by builder's hardware, and other information essential to the coordinated review of hardware schedule.
 4. Templates: Furnish for the installation of all hardware and to the manufacturer of related equipment for his preparation of that equipment for all hardware that must be attached thereto. Templates shall also be furnished to the manufacturer of wood doors for use on all wood doors that are factory fitting and factory machined for hardware.
- D. Keying Schedule: Submit separate detail schedule indicating clearly how the Owner's final instruction on keying of locks has been fulfilled. Prior to submittal, submit a blank key schedule to be completed by maintenance personnel.
- E. Samples: Prior to submittal of the final hardware schedule and prior to final ordering of builders hardware, submit one sample of each type of exposed hardware unit, finished as required, and tagged with full description for coordination with schedule.

1.3 JOB CONDITIONS:

- A. Coordinate hardware with other work. Tag each item or package separately with identification related to the final hardware schedule. Furnish hardware items of proper design for use on doors and frames of the thickness, profile, swing, security, and similar requirements indicated as necessary for proper installation and function. Deliver individually packaged hardware items at the proper times to the proper location [shop or project site] for installation.
- B. Packing and Marking: Package each item of hardware separately in individual containers, complete with necessary screws, keys, instructions and installation templates for spotting mortising tools. Mark each container with item's number corresponding to number shown on hardware supplier's schedule and properly tag each cylinder's key.
- C. Provide secure lock-up for hardware delivered to the project but not the installed. Control the handling and installation of hardware items, which are not immediately replaceable, so that the completion of the work will not be delayed by hardware losses, both before and after installation.
- D. Templates: Furnish hardware templates to each fabricator of doors, frames and other work to be factory-prepared for the installation of hardware. Upon request, check the shop drawings of such other work to confirm that adequate provisions are made for the proper installation of hardware.
- E. The hardware supplier shall visit the project when the hardware is delivered and check it before it is installed. After the hardware is installed, the hardware supplier shall meet with the Owner or his representative and explain the functions, uses, and maintenance of all types of hardware installed. The Contractor shall turn over to the owner, after completion of the work, all tools, wrenches and templates that come packaged with the hardware for the Owner's use in servicing the hardware.

PART 2 - PRODUCTS

2.1 PRODUCTS:

A. Acceptable Manufacturers:

1. Hinges: Best, Hager, Mckinney
2. Continuous Gear Hinges: ABH, Best, NGP
3. Cylinders: Best (no substitution)
4. Door Closers: Best HD8016, LCN 4040, Norton 7500
5. Locks, Latches: Best, Schlage, Sargent
6. Silencers, Stops & Flush Bolts: Baldwin, Burns, Trimco
7. Kick Plates, & Misc.: Baldwin, Burns, Trimco
8. Weatherstrip: National Guard, Reese, Zero
9. Push/Pulls: Baldwin, Burns, Trimco
10. Exit Devices: Precision, Sargent, Von Duprin
11. Thresholds: National Guard, Reese, Zero
12. Overhead Stops/holders: ABH, Rixson, Sargent

2.2 MATERIALS, FABRICATION AND FINISHES:

A. General:

1. Manufacturer's Name Plate: Do not use products which have manufacturer's name or trade name displayed in a visible location except in conjunction with required UL labels.
2. Unless otherwise noted, exposed hardware items shall receive satin stainless steel finish.
3. Furnish screws of type as required for substrates indicated with each hardware item. Finish exposed screws to match the hardware finish or, if exposed in surfaces of other work, to match the finish of such other work as closely as possible.
4. Unless otherwise noted, provide concealed fasteners for hardware units that are exposed when door is closed. Where fasteners must remain exposed when door is closed. Where fasteners must remain exposed, provide vandal resistant fasteners.
5. Finish shall be as scheduled. Dull Chrome [US26D], Dull Stainless Steel [US32D] Aluminum Lacquer [AL], Extruded Aluminum [Alum] and Prime Coat [USP] as listed.
6. Tools for maintenance: Furnish a complete set of specialized tools as needed for Owner's continued adjustment, maintenance and removal and replacement of builder's hardware.
7. Hardware Operation: Force required to activate door hardware shall be not greater than 5 lbf.
8. Door Opening Force: Maximum force for pushing or pulling open a door shall comply with this paragraph. For hinged doors the force shall be applied perpendicular to the door at the door opener or 30 inches from the hinged side whichever is farther from the hinge.
 - a. Exterior hinged doors shall not exceed 8.5 lbf. Slight increases in opening force shall be allowed where 8.5 lbf. is insufficient to compensate for air pressure differentials.

- b. Interior hinged doors shall not exceed 5.0 lbf.
- c. Fire doors shall be adjusted to meet the minimum opening force permitted by governing fire safety standards.

B. Hinges:

- 1. Provide template-produced hinges complying with ANSI A156.1.
- 2. Provide stainless steel pins, non-removable type for exterior doors and non-rising types for interior doors. Pins shall have flat button ends finished to match hinge leaves.
- 3. Hinges shall be full-mortised, 4½” x 4½” unless otherwise noted; five knuckle ball bearing type, heavy duty rated.

C. Keys and Keying:

- 1. All cylinders/Cores shall be Best 7-pin Cormax Patented interchangeable cores and keyed into the existing factory registered Grand Master Key System.
- 2. All keying must be approved by the Native American Design Services key shop, during a keying conference, before cylinders/locks are ordered. A “key schedule” will be determined at this time. Three keys shall be supplied with each core combination.
- 3. On all projects the exterior locksets, locksets on mechanical and electrical rooms and exit devices shall be provided with construction key cores. Construction keyed cores are to be replaced with “permanent” cores in the presence of owner and turn over all building keys.
- 4. Hardware Installer shall install permanent cores at substantial completion.
- 5. All keys shall be stamped with appropriate key symbols and “DO NOT DUPLICATE.” No biting numbers are to be stamped on the key.
- 6. All Cores and keys shall be transmitted to the Native American Design Services key shop by UPS with a delivery confirmation request.
- 7. Furnish keys in the following quantities:
 - 2 each Grand Masterkey
 - 2 each Masterkeys per set
 - 3 each Change Key per each keyed core
 - 6 each Construction masterkeys
 - 2 each Control Keys

D. Locksets and Latchsets:

- 1. Base Specification: Best Access Systems components as listed.

2. Locksets and latchsets of other acceptable manufacturers must conform to the requirements of Subparagraphs 3 and 4.
3. Cylindrical Type:
 - a. Locksets must be extra heavy-duty cylindrical type with 2 ¼ inch backset, or greater as specified, with a 9/16 inch throw latchbolt.
 - b. Provide locksets with 14D lever and Cormax Patented interchangeable core.
 - c. Locksets and latchsets must conform to ANSI A156.2, Series 4000, Grade 1 or 2 as scheduled and be UL listed.
 - d. Locksets must be available with tactile lever for identification of hazardous areas.
 - e. Locks to have solid shank with no opening for access to keyed lever keeper.
 - f. Keyed lever to be removable only after core is removed, by authorized control key, to allow access to lever "keeper".
 - g. Permanent cores face must be the same finish as the lockset finish.
 - h. Levers must be zinc material with a minimum wall thickness of .060.
- E. Exit Devices: Exit devices shall be as scheduled with no substitutes accepted. Exit devices shall comply with ANSI Standard 156.3 Grade 1 modified as follows:
 1. The devices shall be "touchpad" type and include sound reduction dampening for both depression and extension of the touchpad. The touchpad shall extend a minimum of 1/2 of the door width.
 2. Devices should have a ¼" gap between the face of the door and the touchbar unit eliminating the need for shims or cutting away the glass moulding.
 3. Lock stile chassis shall be investment cast steel. Stamped steel units will not be accepted. All device latchbolts shall be stainless steel and shall be deadlocking type.
 4. Device strikes shall be investment cast stainless steel.
 5. Device end cap shall be all metal and secured with bracket that completely inserts into device housing. Mounting bracket shall interlock both at the touchbar channel and hinge side filler to prevent end cap "peel-back".
 6. All outside device trim shall be cast or forged brass full escutcheon. Lever trim shall be "vandal resistant" with substantial resistance to rotation when locked. Lever shall return to home position when released.
 7. Device housing and all exposed surfaces of the device shall be manufactured from Brass, Bronze or Stainless Steel.
 8. Devices must be non-handed and convertible from one function to another in the field. .

9. Device shall be secured to the door with sex bolts and through bolting at both ends.
 10. All devices shall be UL approved for all types and functions indicated in the Hardware Schedule.
 11. Devices shall have published five-year warranty.
 12. All exit devices shall be by the same manufacturer.
 13. Mullions shall be "keyed removable" type with only a key required for take down. No key or tools shall be required to reinstall. Mullions shall be by the same manufacturer as the exit devices.
- F. Closers: Shall be as scheduled with no substitutes accepted. Closers shall comply with ANSI Standard A156.4 Grade 1 modified as follows:
1. Closer shall be non-handed and have adjustable spring power range from size 1 to 6 plus 50% (ANSI PT-4C).
 2. Closer shall have R14 high silicone aluminum alloy cylinder body with 1 ½" diameter steel piston.
 3. Closer shall have 3 hydraulic adjustments to control backcheck, closing and latching speeds. Adjustment shall be by means of non-critical "v-slot" regulating valves. Closer shall not incorporate pressure relief valves on the opening or closing cycle.
 4. Closer shall have hydraulic fluid with a consistent viscosity range of no less than 0 to 100 degrees Fahrenheit to eliminate seasonal adjustment.
 5. Closer shall be U.L. Listed and meet positive pressure testing requirements of UL10C and UBC 7-2.
 6. Closers shall have forged main arms. Parallel mounted closers shall have Extra Duty (EDA) arm incorporating forged main and forearms, and a cast mounting shoe.
 7. Closer shall have ten-year warranty.
- G. Overhead Stops/ HOLDERS: Shall be as scheduled.
1. Units shall have metal/plated end plugs.
 2. Units mounting screws shall be designed so that they go through housing and end plug.
 3. Units shall have metal slide.
 4. All stops shall be by same manufacturer.
- H. Silencers, Stops & Flush Bolts: Shall be as scheduled.
1. Silencers: Provide plug-type [not adhered type] silencers in all metal door frames unless continuous bumper-type weather-stripping is shown or specified. Provide 3 silencer units in door frames.
 2. All Stops [wall and floor] shall be by the same manufacturer.

3. Flush bolts shall have 3/4" throw with 2" vertical adjustment. Shall have override feature and stainless steel cams and rubplates. All flush bolts shall be by the same manufacturer.
- I. Door Stripping and Seals: Unless otherwise indicated, provide full-length weather-stripping at each edge of every exterior swing door leaf. All weather-stripping to be by same manufacturer.
- J. Thresholds: Extruded aluminum, smooth commercial mill finish, grooved tread, 4" minimum tread by full door width. Thickness of threshold shall be 0.5" at primary tread surfaces, 0.1875" for secondary tread surfaces, and 0.125" for concealed flanges and legs.
- K. Kick Plates, Mop Plates and Armor Plates: .050 material sized as follows:
 - Kick Plates: 8 x 2 LDW
 - Mop Plates: 4 x 2 LDW
 - Armor Plates: 16 x 2 LDW

2.3 SCHEDULE OF HARDWARE

- A. See Hardware Schedule attached to this section.

PART 3 – EXECUTION

3.1 INSTALLATION

- A. General: Apply hardware in accordance with templates and manufacturer's instructions; mortise and fit accurately; apply securely and adjust carefully.
 1. All hardware (except aluminum door hardware) and cylinders/cores shall be installed by the hardware supplier. Final adjustments of all hardware shall be performed prior to building turn over. Installation shall be preformed by the hardware supplier using personnel that are experienced in the installation of hardware for schools. Personnel shall have a minimum of 5 years of documented experience doing this type of work.
 2. Mount hardware units at heights recommended in "Recommended Locations for Builders Hardware" by DHI, except where shown otherwise on drawings.
 3. Install each hardware item in compliance with the manufacturer's instructions and recommendations. Do not install surface mounted items until finishes have been completed on the substrate.
 4. Set units level, plumb, and true to line and location. Adjust and reinforce the attachment substrate as necessary for proper installation and operation.
 5. Exercise care not to injure work when applying hardware. Review shop drawings and Contract Drawings for proper location. Cover door hardware with a heavy cloth until painting is completed. At completion of the work, examine doors and hardware, adjust as

required and leave hardware in proper working order, free from defects.

6. At all times be responsible for the distribution of keys for hardware installed during construction, and cause all keys to be returned prior to final completion of the building

B. Preparation:

1. Do not install finish hardware until the wet trades have been fully completed.
2. Supplier shall mark each item of hardware for location. Protect markings until each item is installed. If any item of hardware is delivered to the Project not properly marked, return it to the supplier for marking before attempting to install it.
3. Install and make necessary adjustments for proper working order. Hardware damaged by improper adjustments or abuse will be rejected.
4. Provide clean, properly sized, and accurately placed mortises and drilled holes for all mortise and surface mounted finish hardware. Use appropriate jigs, templates, and power mortising equipment for the installation of all mortised hardware items.
5. Metal frames to receive hardware items shall be drilled and tapped accurately.
6. Removal for Painting:
 - a. Before painters' finish is applied, remove all finish hardware except prime-coated items.
 - b. After final paint and finish coats are dry, permanently replace and adjust finish hardware for proper operation.

C. Thresholds:

1. Cut and fit threshold to profile door frames, with mitered corners and hairline joints. Screw thresholds to substrate with No. 10 or larger bronze or stainless steel screws.
2. Set thresholds in a bed of either butyl/rubber sealant or polyisobutylene mastic sealant to completely fill concealed voids and exclude moisture from every source. Do not plug drainage holes or block weeps. Remove excess sealant.

D. Weatherstrip: Accurately install weatherstrip to the door or frames where scheduled using proper type flush fasteners spaced not over 18" o.c. Installed work shall make continuous contact with the abutting surfaces and shall function for use intended. Adjust seals as required.

E. Mounting Heights: Shall be as follows, measured from finished floor except for top hinge which is measured from door top:

1. Bottom hinge: 10-3/8" [hinge center].
2. Top hinge: 9-3/4" [hinge center].
3. Intermediate hinges: Equally spaced between top and bottom hinges.
4. Locks and latches: 38" [operating spindle].

5. Pulls, pull and push plates: 42" [center].

3.2 ADJUST AND CLEAN:

- A. Adjust and check each operating item of hardware and each door to ensure proper operation or function of every unit. Lubricate moving parts with type lubricant recommended by manufacturer [graphite-type if no other recommended]. Replace units that cannot be adjusted and lubricated to operate freely and smoothly as intended for the application made.
- B. Upon completion of the work and before final acceptance demonstrate that all hardware is in satisfactory working order, that all keys fit in their respective locks, and upon acceptance of the work, tag and deliver all keys to the Owner.
- C. Final Adjustment: Wherever hardware installation is made more than one month prior to acceptance or occupancy of a space or area, return to the work during the week prior to acceptance or occupancy and make a final check and adjustment of all hardware items in such space or area. Clean and re-lubricate operating items as necessary to restore proper function and finish of hardware and doors. Adjust door control devices to compensate for final operation of heating and ventilating equipment.
- D. Instruct Owner's personnel in proper adjustment and maintenance of hardware and hardware finish during the final adjustment of hardware.

**Native American Design Services
Contact Station
Pembroke, NC**

2.3 SCHEDULE OF HARDWARE

Hardware Set #1 – Door# 100

Each to have:

2 ea. Continuous Hinges

A110HD x Clear

ABH

Native American Design Services
Contact Station
Pembroke, NC

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1 ea. Exit Device	2103 x 1703A x US32D	PHI
1 ea. Exit Device	2102 x 1702A x US32D	PHI
1 ea. Mullion	KR822 x MCS822 x Alum	PHI
2 ea. Cylinders	Rim	BES
2 ea. Closers	HD8016-SDS-BSHD-NFHD-689	BES
2 ea. Stops	1209	TRM
1 ea. Threshold	896SA	NGP
1 ea. Mullion Seal	5100	NGP
1 set Weatherstrip	A625A	NGP
2 ea. Door Bottoms	600A	NGP

Hardware Set #2 – Doors# 107, 111

Each to have:

2 ea. Continuous Hinges	A110HD x Clear	ABH
1 ea. Exit Device	2103 x 1703A x US32D	PHI
1 ea. Exit Device	2102 x 1702A x US32D	PHI
1 ea. Mullion	KR822 x MCS822 x Alum	PHI
2 ea. Cylinders	Rim	BES
2 ea. Closers	HD8016-SDS-689	BES
2 ea. Kick Plates	8 x 2 LDW x .050 x B4E x CSK x US32D	TRM
2 ea. Stops	1209	TRM
1 ea. Threshold	896SA	NGP
1 ea. Mullion Seal	5100	NGP
1 set Weatherstrip	A625A	NGP
2 ea. Door Bottoms	600A	NGP

Hardware Set #3 – Doors# 104, 110

Each to have:

1 ea. Continuous Hinge	A110HD x Clear	ABH
1 ea. Exit Device	2103 x 1703A x US32D	PHI
1 ea. Cylinder	Rim	BES
1 ea. Closer	HD8016-SDS-689	BES
1 ea. Kick Plate	8 x 2 LDW x .050 x B4E x CSK x US32D	TRM
1 ea. Stop	1209	TRM
1 ea. Threshold	896SA	NGP
1 set Weatherstrip	A625A	NGP
1 ea. Door Bottom	600A	NGP

Hardware Set #4 - Door# 114

Each to have:

1 ea. Continuous Hinge	A110HD x Clear	ABH
1 ea. Lockset	9K3-7D-14D x US26D	BES
1 ea. Closer	HD8016-SDST-689	BES
1 ea. Kick Plate	8 x 2 LDW x .050 x B4E x CSK x US32D	TRM
1 ea. Threshold	896SA	NGP
1 set Weatherstrip	A625A	NGP
1 ea. Door Bottom	600A	NGP
1 ea. Lock Guard	5001 x US32D	TRM
1 ea. Rain Drip	16A	NGP

Hardware Set #5 – Doors# 112, 115

Each to have:

1 ea. Continuous Hinge	A110HD x Clear	ABH
1 ea. Deadlock	48H 7R x US26D	BES
1 ea. Handsfree Push/Pull Plate	1835-3 4 x 16 710CU	TRM
1 ea. Foot Pull	UFP x 316S	TRM
1 ea. Closer	HD8016-SPA-689	BES
1 ea. Kick Plate	8 x 2 LDW x .050 x B4E x CSK x US32D	TRM
1 ea. Threshold	896SA	NGP
1 set Weatherstrip	A625A	NGP
1 ea. Door Bottom	600A	NGP
1 ea. Stop	1270CV x US26D	TRM
1 ea. Rain Drip	16A	NGP

Hardware Set #6 – Door# 113

Each to have:

1 ea. Continuous Hinge	A110HD x Clear	ABH
1 ea. Deadlock	48H 7R x US26D	BES
1 ea. Handsfree Push/Pull Plate	1835-3 4 x 16 710CU	TRM
1 ea. Foot Pull	UFP x 316S	TRM
1 ea. Closer	HD8016-AF80P-689	BES
1 ea. Kick Plate	8 x 2 LDW x .050 x B4E x CSK x US32D	TRM
1 ea. Threshold	896SA	NGP
1 set Weatherstrip	A625A	NGP
1 ea. Door Bottom	600A	NGP
1 ea. Stop	1270CV x US26D	TRM
1 ea. Rain Drip	16A	NGP

Hardware Set #7 – Door# 105

Each to have:

1 ½ pr. Hinges	FBB179 x US26D 4 ½ x 4 ½	STA
1 ea. Privacy Set	9K3-0L-14D x US26D	BES
1 ea. Closer	HD8016-AF80P-689	BES
1 ea. Kick Plate	8 x 2 LDW x .050 x B4E x CSK x US32D	TRM
1 ea. Mop Plate	4 x 1 LDW x .050 x B4E x CSK x US32D	TRM
1 ea. Stop	1270CV x US26D	TRM
1 set 20 Min. Seal	5050B	NGP

Hardware Set #8 – Door# 106

Each to have:

1 ½ pr. Hinges	FBB179 x US26D 4 ½ x 4 ½	BES
1 ea. Lockset	9K3-7R-14D x US26D	BES
1 ea. Closer	HD8016-AF80P-689	BES
1 ea. Kick Plate	8 x 2 LDW x .050 x B4E x CSK x US32D	TRM
1 ea. Stop	1270CV x US26D	TRM
1 set 20 Min. Seal	5050B	NGP

Hardware Set #9 – Doors# 102, 103

Each to have:

1 ½ pr. Hinges	FBB179 x US26D 4 ½ x 4 ½	BES
1 ea. Lockset	9K3-7A-14D x US26D	BES
1 ea. Closer	HD8016-AF80P-689	BES
1 ea. Kick Plate	8 x 2 LDW x .050 x B4E x CSK x US32D	TRM
1 ea. Stop	1270CV x US26D	TRM
1 set 20 Min. Seal	5050B	NGP

Hardware Set #10 – Door# 116

Each to have:

1 ½ pr. Hinges	FBB179 x US26D 4 ½ x 4 ½	BES
1 ea. Lockset	9K3-7D-14D x US26D	BES
1 ea. Overhead Stop	4400 x US32D	ABH
3 ea. Silencers	1229A	TRM

Hardware Set #11 – Door# 109

Each to have:

1 ½ pr. Hinges	FBB179 x US26D 4 ½ x 4 ½	BES
1 ea. Lockset	9K3-7D-14D x US26D	BES
1 ea. Stop	1270CV x US26D	TRM
3 ea. Silencers	1229A	TRM

Hardware Set #12 – Door# 108

Each to have:

3 pr. Hinges	FBB179 x US26D 4 ½ x 4 ½	BES
1 ea. Lockset	9K3-7D-14D x US26D	BES
2 ea. Flush Bolts	3915 x US26D	TRM
1 ea. Dust Strike	3910 x US26D	TRM
2 ea. Armor Plates	48 x 2 LDW x .050 x B4E x CSK x US32D	TRM
1 ea. Overhead Holder	4400 x US32D	ABH
1 ea. Stop	1270CV x US26D	TRM
2 ea. Silencers	1229A	TRM

Hardware Set #13 – Door# 117

Each to have:

1 ½ pr. Hinges	FBB179 x US26D 4 ½ x 4 ½	BES
1 ea. Lockset	9K3-7IN-14D x US26D	BES
1 ea. Closer	HD8016-SPA-689	BES
1 ea. Kick Plate	8 x 2 LDW x .050 x B4E x CSK x US32D	TRM
1 ea. Stop	1270CV x US26D	TRM
3 ea. Silencers		
TRM		1229A

MANUFACTURER'S ABBREVIATIONS:

ABH.....ABH MANUFACTURING
 BES.....BEST ACCESS SYSTEMS

Native American Design Services
 Contact Station
 Pembroke, NC

NGP NATIONAL GUARD PRODUCTS
PHI PRECISION HARDWARE
TRM TRIMCO MANUFACTURING

Native American Design Services
Contact Station
Pembroke, NC
7/12/24wdb



Robeson County Health Department

460 Country Club Road

Lumberton NC 28360

Phone: 910-671-3200 Fax: 910-671-3484

NOTE TO INSPECTIONS DIVISION: Building Permits cannot be issued with only an Improvement Permit. Fill Sheet CA?

PERMIT VALID UNTIL: 09/16/2024

CDF File Number: 281325-1
County ID Number: 1111-01-01102
Evaluated For: NEW

Property Owner: NC NATURAL AND CULTURAL

Address: 1215 WILMINGTON STREET

City: RALEIGH

State/Zip: NC

Phone #: (919) 707-9318

Applicant: DAVON BLOUNT

Address: 1615 MAIL SERVICE CENTER

City: RALEIGH

State/Zip: NC

Phone #: (919) 707-9318

Property Location & Site Information

Address: US 74 HWY W

Road # MAXTON

NC 28364

Subdivision:

Phase: Lot:

Township:

Structure: OTHER

of Bedrooms:

of People:

Water Supply: PUBLIC

Initial System: Provisionally Suitable

Site Classification: Provisionally Suitable

Saprotic System? Yes No

Design Flow: 360

Soil Group: III

Soil Application Rate: 0.5

System Classification/Description: TYPE III G. OTHER NON-CONV. TRENCH SYSTEMS

Proposed System: 25% REDUCTION

System Specifications

Minimum Trench Depth: 20 inches

Maximum Trench Depth: 20 inches

Fill Depth: 20 inches

Septic Tank: 900 Gallons

Pump Required: Yes No May Be Required

Pump Tank: Gallons

Repair System

Site Classification: Provisionally Suitable

Soil Application Rate: 0.5

System Classification/Description: TYPE III G. OTHER NON-CONV. TRENCH SYSTEMS

Proposed System: 25% REDUCTION

Minimum Trench Depth: 20 inches

Maximum Trench Depth: 20 inches

Fill Depth: inches

Pump Required: Yes No May be Required

Pump Tank: Gallons

Site Modifications

No grading or construction activity is allowed in areas designated for system and repair without approval of Health Department.

Permit Conditions

The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements.

The Department and Local Health Department may impose conditions on the issuance and may revoke the permits for failure of the system to satisfy the conditions, the rules, or this article. This permit is subject to revocation if the site plan, plat, or intended use changes (NCGS 130A-335 (j)). The person owning or controlling the system shall be responsible for assuring compliance with the laws, rules, and permit conditions regarding system location, installation, operation, maintenance, monitoring, and repair (1938(b)).

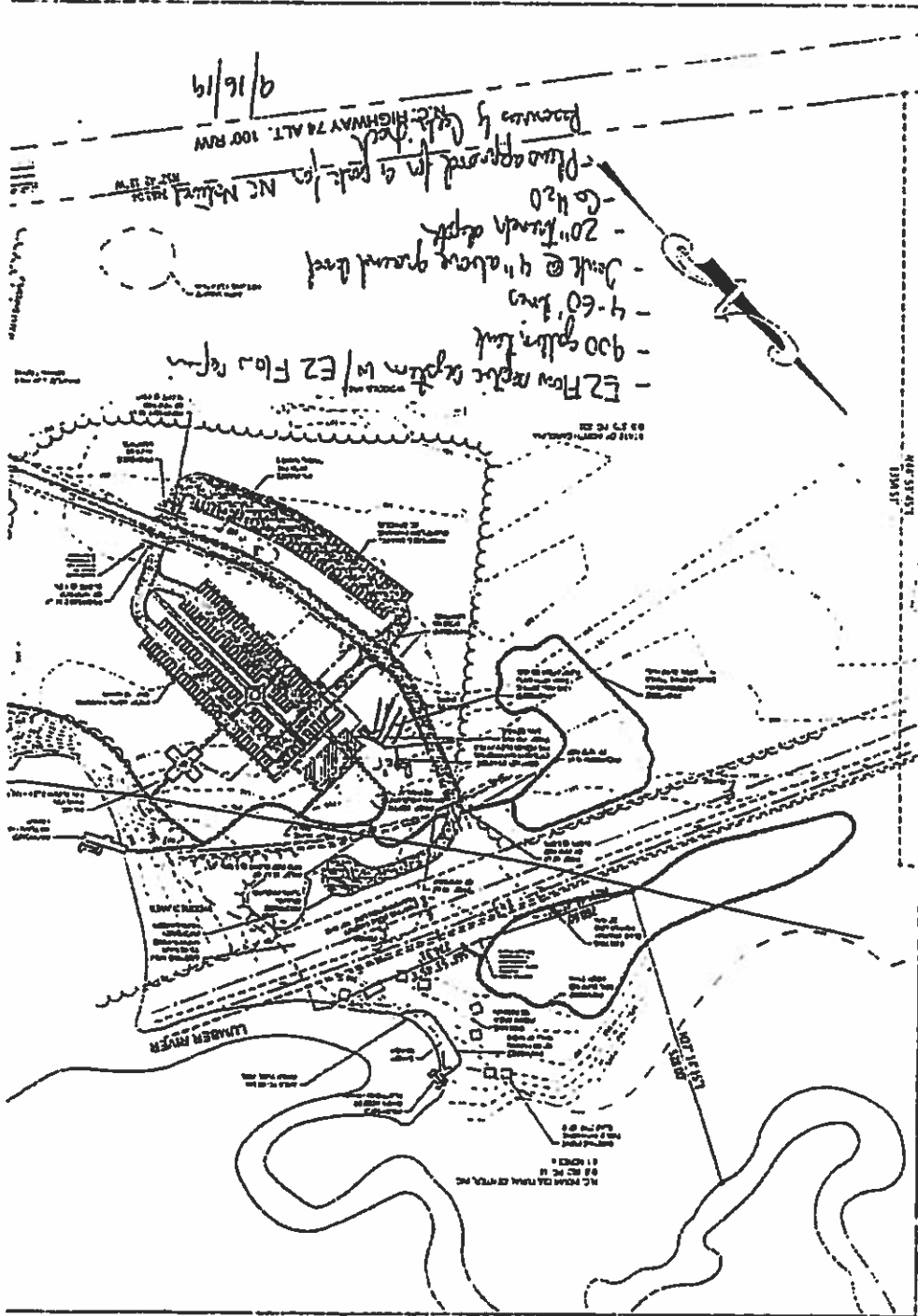
Date of Issue: 09/16/2019

Authorized State Agent: 1522-LOCKLEAR, GERRIC

Authorized State Agent Signature: *Gerric Locklear*

Owner/Applicant Signature: _____

Site Plan/Drawing attached.





ROBESON COUNTY HEALTH DEPARTMENT
460 COUNTRY CLUB ROAD
LUMBERTON NC 28360
Phone: 910-671-3200 Fax: 910-671-3484

FOR OFFICE USE ONLY
CDD File Number 281325 - 1
County ID Number 1111-01-01102
Evaluated For: NEW

Applicant: DAVON BLOUNT
Address: 1615 MAIL SERVICE CENTER
City: RALEIGH
State/Zip: NC 27699
Phone #: (919) 707-9318

Property Owner: NC NATURAL AND CULTURAL
Address: 1215 WILMINGTON STREET
City: RALEIGH
State/Zip: NC
Phone #: (919) 707-9318

Address US 74 HWY W
Road # MAXTON NC 28364
Township: OTHER
Structure: OTHER
of Bedrooms:
of People:
Water Supply: PUBLIC

Property Location & Site Information
Address: HWY 74 W PAST WHITE MILL CHURCH TURN RIGHT SOIL RD - SITE IN
Directions: BACK.
Phase: Lot:

System Specifications

Site Classification: Provisionally Suitable
Saprotic System? Yes No
Design Flow: 360
Soil Application Rate: 0.5
System Classification/Description: TYPE III G. OTHER NON-CONV. TRENCH SYSTEMS

Proposed System: 25% REDUCTION
Nitrification Field: 720 Sq. ft.
No. Drain Lines: 4
Total Trench Length: 240 ft.
Trench Spacing: Feet O.C. Inches
Trench Width: Feet Inches
Aggregate Depth: 12 inches

Septic Tank: 900 Gallons
Pump Required: Yes No
Pump Tank: Gallons
Grease Trap: Gallons
Septic Tank Installer: I II III IV
Grade Level Required: Feet Inches

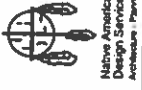
Minimum Trench Depth: 20 inches
Maximum Trench Depth: 20 inches
Minimum Soil Cover: inches from Natural Ground Level
Maximum Soil Cover: inches Natural Ground Level
Distribution Type: GRAVITY - PARALLEL (eq. d-box)

The issuance of this permit by the Health Department in no way guarantees the issuance of other permits. The permit holder is responsible for checking with appropriate governing bodies in meeting their requirements.

Permit Conditions

This authorization for Wastewater System Construction shall be valid for a period equal to the period of validity of the Improvement Permit and may be issued at the same time the Improvement Permit issued (NCGS 130A-38(b)). If the installation has not been completed during the period of validity of the Construction Permit, the information submitted in the application for a permit or Construction Authorization shall become invalid, and may be suspended or revoked (1937(g)). The person owning or controlling the system shall be responsible for assuring compliance with the laws, rules, and permit conditions regarding system location, installation, operation, maintenance, monitoring, reporting and repair (1938 (b)).

Authorized State Agent: 1522-LOCKLEAR, CEDRIC
Authorized State Agent Signature: C. Locklear
Owner/Applicant Signature: _____
Date of Issue: 09 / 16 / 2019
Site Plan/Drawing attached.
Malfunction Log Yes No
 Hand Drawing Import Drawing



Native American
Design Services
Architecture - Planning



SCO ID # 16-14432-01A - Lumber River State Park - Wire Pasture Access Development
SIGNAGE SCHEDULE

SIGN TYPE	LOCATION	CONTENT	SIZE	MOUNTING METHOD AND HEIGHT	SIGN MATERIAL
ROOM NUMBER ROOM NAME	EXHIBIT AREA	108 - 76 PT. HELVETICA CLASSROOM - 76 PT. HELVETICA	8" x 8"	WALL MOUNT ON LATCH OF DOOR 60" TO CENTER OF THE SIGN	ACRYLIC SHEET
ROOM NUMBER ROOM NAME	CORRIDOR	102 - 76 PT. HELVETICA RANGER OFFICE - 76 PT. HELVETICA	8" x 8"	WALL MOUNT ON LATCH OF DOOR 60" TO CENTER OF THE SIGN	ACRYLIC SHEET
ROOM NUMBER ROOM NAME	CORRIDOR	103 - 76 PT. HELVETICA OFFICE - 76 PT. HELVETICA	8" x 8"	WALL MOUNT ON LATCH OF DOOR 60" TO CENTER OF THE SIGN	ACRYLIC SHEET
ROOM NUMBER ROOM NAME	CORRIDOR	105 - 76 PT. HELVETICA BREAKROOM - 76 PT. HELVETICA	8" x 8"	WALL MOUNT ON LATCH OF DOOR 60" TO CENTER OF THE SIGN	ACRYLIC SHEET
MAN-WOMAN-WHEELCHAIR ICONS - GRADE 2 BRAILLE ROOM NAME	CORRIDOR	UNISEX BATHROOM - 76 PT. HELVETICA	8" x 8"	WALL MOUNT ON LATCH OF DOOR 60" TO CENTER OF THE SIGN	ACRYLIC SHEET
ROOM NUMBER ROOM NAME	CLASSROOM	107 - 76 PT. HELVETICA TABLES / CHAIRS STORAGE - 76 PT. HELVETICA	8" x 8"	WALL MOUNT ON LATCH OF DOOR 60" TO CENTER OF THE SIGN	ACRYLIC SHEET
ROOM NUMBER ROOM NAME	CLASSROOM	109 - 76 PT. HELVETICA VIDEO STORAGE - 76 PT. HELVETICA	8" x 8"	WALL MOUNT ON LATCH OF DOOR 60" TO CENTER OF THE SIGN	ACRYLIC SHEET
MAN-WOMAN-WHEELCHAIR ICONS - GRADE 2 BRAILLE ROOM NAME	BREEZEWAY	UNISEX BATHROOM - 76 PT. HELVETICA	9" x 8"	WALL MOUNT ON LATCH OF DOOR 60" TO CENTER OF THE SIGN	ACRYLIC SHEET
MAN-WOMAN-WHEELCHAIR ICONS - GRADE 2 BRAILLE ROOM NAME	BREEZEWAY	WOMENS BATHROOM - 76 PT. HELVETICA	9" x 8"	WALL MOUNT ON LATCH OF DOOR 60" TO CENTER OF THE SIGN	ACRYLIC SHEET
MAN-WOMAN-WHEELCHAIR ICONS - GRADE 2 BRAILLE ROOM NAME	BREEZEWAY	MENS BATHROOM - 76 PT. HELVETICA	9" x 8"	WALL MOUNT ON LATCH OF DOOR 60" TO CENTER OF THE SIGN	ACRYLIC SHEET