



Walter M. Gardner, Jr. – Mayor
Robert F. Davie, Jr. – Town Administrator

P.O. Box 281
Warrenton, NC 27589-0281
(252) 257-1122 Fax (252) 257-9219
www.warrenton.nc.gov

February 12, 2025

Dear Contractor:

Enclosed are Rehabilitation Work Write-Ups for one housing unit in the Town of Warrenton, NC. This house will be assisted with Community Development Block Grant–Neighborhood Revitalization Funds (CDBG-NR) received by the Town from the North Carolina Department of Commerce, Rural Economic Development Division (REDD).

You are invited to submit a bid for furnishing all labor and materials as called for in the Work Write-Up for this house. The Contractor awarded this work will be responsible for performing the work to conform to all State and Local Building Codes. Work inspections will be conducted by project staff and by the Warren Building Inspector on a regular basis. All measurements and/or counts in the Work Write-Ups are approximate and should be verified.

Please note that this unit has been tested for Lead Based Paint (LBP) and LBP abatement instructions and procedures are enclosed. Please note that all LBP abatement must be conducted by a Certified LBP Abatement Contractor. Please read and follow the instructions found in the attached Technical Specifications for Lead Based Paint Hazard Reduction. A section for pricing LBP abatement is at the end of the Work Write Up and Bid Sheet. A Clearance Report is required from the LBP Assessment contractor that performed the original inspection and testing.

All contractors and subcontractors involved in this project must carry active liability insurance with a minimum of \$100,000 property damage and \$300,000 personal injury coverage. The Town of Warrenton will require a certificate of insurance from your agent regarding liability insurance coverage. Additionally, a Contractor Information Form (included in your package) must be completed and returned with your bid. Please also provide documentation of training and certification of all personnel involved with LBP abatement activities.

Please return the following with your bid package: 1) Completed Work Write-Up, including a cost per item; 2) Completed and signed Bid Sheet; 3) Certificate of Insurance and; 4) Contractor Information Form, to:

Mr. Robert Davie, Town Administrator
Town of Warrenton
113 S. Bragg Street
PO Box 281
Warrenton, NC 27589

BIDS WILL BE OPENED AND READ ALOUD AT THE WARRENTON TOWN HALL, COMMISSIONERS MEETING ROOM, 2ND FLOOR, 113 S. BRAGG STREET, WARRENTON, NORTH CAROLINA at **2:00 PM, Wednesday, March 5, 2025**. If all documents are not complete, the bid will be rejected. The Town of Warrenton reserves the right to select the lowest, most responsible bidder and reserves the right to reject any or all bids with substantial reason.

In order to facilitate the timely preparation and submittal of your bids and supporting documents, please contact the homeowners listed below at least 48 hours prior to the date you would like to visit their homes:

1. Mr. Chester Hunt, 108 Brehon St., Warrenton, NC 27589 – Unit #9: Telephone: 252-257-8029

Please present your bid documents as identification when visiting these homes.

Contractors with questions are urged to contact Mike Scott, Grant Administrator, at 252-537-9050 (office) or 252-532-7182 (cell). If you are not interested in bidding on this or future houses, please let me know so that your name can be removed from the mailing list.

Sincerely,



Robert Davie
Town Administrator
Town of Warrenton

Enclosures

ITEM	Section 1	WORK DESCRIPTION EXTERIOR	COST
		Roof Project	
1a		Remove all Existing Shingles	
1b		Inspect and Repair Decking	
1c		Install New Synthetic Underlayment	
1d		Install Approx. 25 Squares New Limited Lifetime Warranty Shingles	
1e		Install New Roof Edging	
1f		Install Ice and Water Shield where Low Pitch indicated	
1g		Install New Ridge Vent	
1h		Install Eave Ventilation	
1i		Provide Clean Up Dumpster	
		NOTE: Clean work area daily	
		Exterior Paint Project	
1j		Pressure wash	
1k		Repair damaged wood trim	
1l		Scrape and repair siding where needed	
1m		Prime with high quality exterior primer	
1n		Paint 2 coats with high quality exterior latex paint - Owner selects color	
1o		Prime and Paint (2 coats) exterior doors (Owner selects color)	
		NOTE: Clean work area daily	
		Miscellaneous Repair	
1p		Repair rot on rear building/addition	
1q		Repair approximately 20pcs 10" siding	
1r		Replace 1 window seal	
1s		Repair step up boxing on rear	
1t		Replace 1 piece of trim on gable	
		Lead-Based Paint Abatement	
1s		Clearance of all exterior Lead-Based Paint per the LBP Assessment Report	
		TOTAL	

TOWN OF WARRENTON
2018 CDBG-NEIGHBORHOOD REVITALIZATION PROJECT

WORK WRITE-UP BID SHEET

UNIT #9
108 Brehon Street
Warrenton, NC 27589

PROPERTY ADDRESS: 108 Brehon St., Warrenton, NC

OWNER'S NAME: Chester Hunt

BID DATE: _____

I, the undersigned contractor, have inspected the foregoing listed property and understand the extent and character of the work to be completed as described in the Work Write-Up. I propose to furnish all labor, material, and equipment necessary to accomplish the work, including Lead-Based Paint Abatement activities, as follows:

Item	Bid Amount
Regular Rehabilitation Items	\$
LBP Abatement Items	\$
Other Items (if applicable)	\$
Total Bid	\$

Contractor

Signature

Date

**TOWN OF WARRENTON
2018 CDBG-NEIGHBORHOOD REVITALIZATION PROJECT
CONTRACTOR INFORMATION FORM**

Company Name: _____ **Tax ID #:** _____

Individual: _____ **SSN:** _____

Mailing Address: _____

Telephone Number:

Business: _____ Best time to contact: _____

Home: _____ Best time to contact: _____

Type of Business *(check all that apply)*

General Contractor _____ License No.: _____

Electrical _____ License No.: _____ Plumbing: _____ License No.: _____

Painting _____ Roofing: _____

Carpenter _____ Siding: _____

Other _____

Insurance *(check all that apply)*

Do you carry comprehensive liability insurance? Yes _____ No _____

Do you carry property damage insurance? Yes _____ No _____

Are your workers covered by workman's compensation? Yes _____ No _____

References:

1. Bank
Contact Person _____
Address _____
Phone Number _____

2. Materials Supplier
Contact Person _____
Address _____
Phone Number _____

3. Materials Supplier
Contact Person _____
Address _____
Phone Number _____

4. Customer Name
Contact Person _____
Address _____
Phone Number _____

5. Customer Name
Contact Person _____
Address _____
Phone Number _____

6. Customer Name
Contact Person _____
Address _____
Phone Number _____

The undersigned certifies that all information in this statement, and all information furnished in support of this statement, is true and complete to the knowledge and belief of the undersigned.

Signature

Title

Date



SUMMIT Engineering, Laboratory & Testing, PC (SUMMIT)
3070 Hammond Office Place, Suite 171
Raleigh, North Carolina 27610
www.summit-companies.com
Phone: (919) 380-9991
Fax: (919) 380-9993

March 12, 2022

Mr. Robert Davie, Town Administrator
Town of Warrenton
113 S. Bragg Street
Warrenton, North Carolina 27589

Subject: **Limited Lead-Based Paint Inspection/Risk Assessment**
108 Brehon Street – Warrenton, NC
SUMMIT Project No. 8886.E0007

Dear Mr. Davis:

SUMMIT performed a Limited Lead-Based Paint Inspection/Risk Assessment for the above noted site on December 29, 2021. The residential dwelling was built in 1949 and is planned for future renovation. The inspection was performed on areas potentially impacted by renovation as communicated by Town of Warrenton personnel. At the time of the visit the dwelling was vacant with no children present. One (1) adult male was living in the residence.

Positive lead-based paint was found on the following components:

ROOM	SIDE	COMPONENT	CONDITION	RESULT	UNIT
Mudroom	A	Door Casing	Good	3.2	mg/cm ²
Mudroom	A	Door Panel	Good	1.9	mg/cm ²
Mudroom	Ceiling	Ceiling	Good	1	mg/cm ²
Exterior	A	Siding	Good	3.5	mg/cm ²
Exterior	B	Siding	Deteriorated	2.7	mg/cm²
Exterior	C	Siding	Deteriorated	3.5	mg/cm²
Exterior	D	Siding	Deteriorated	1.5	mg/cm²
Exterior	A	Window Casing	Deteriorated	4.7	mg/cm²
Exterior	A	Window Sill	Deteriorated	3	mg/cm²
Exterior	B	Window Casing	Deteriorated	3.8	mg/cm²
Exterior	B	Window Sash	Deteriorated	1.9	mg/cm²
Exterior	C	Window Casing	Deteriorated	3.6	mg/cm²
Exterior	C	Door Casing	Deteriorated	1.9	mg/cm²
Exterior	C	Door Panel	Good	1.6	mg/cm ²
Exterior	C	Door Panel	Good	1.6	mg/cm ²
Exterior	D	Window Casing	Deteriorated	3.3	mg/cm²
Exterior	A	Dental Molding	Good	1.8	mg/cm ²

Dust wipe samples were collected from the rooms where future renovations may take place. The floor samples were one (1) bathroom and one (1) mudroom as. The dust wipe windowsill samples were collected from (1) bathroom and (1) mudroom.

One (1) perimeter dripline soil sample was collected. No bare play areas or gardens were observed during the site visit.

The dust wipe sample results are as follows:

Sample ID	Location	Area (ft ²)	Concentration (ft ²)	Regulatory Limit (ft ²)
108-FL1	Bath floor at window	1	5.9	10
108-FL2	Mudroom at entrance to kitchen	1	4.5	10
108-SL1	Bath windowsill	.25	42	100
108-SL1	Mudroom windowsill side D	.25	8.4	100

The soil sample result is as follows:

Sample ID	Location	Mass (g)	Concentration (ppm)	Regulatory Limit (ppm)
108-S1	Perimeter dripline	1.8285	370	1200

If you have any questions, please do not hesitate to call us at (704) 504-1717.

SUMMIT



Michael D. Zavislak, NRCC-EAC, CHMM, CIH, PE
Environmental Department Manager
NC DHHS Lead Risk Assessor No. 120205
NC DHHS Lead Project Designer No. 140059
Expiration Date 10/31/2022
NC DHHS Lead Firm No. FPB-0229
Expiration Date 3/31/2022

Attachments: Figures, Analytical Results, Licenses, Forms and Site Photographs.

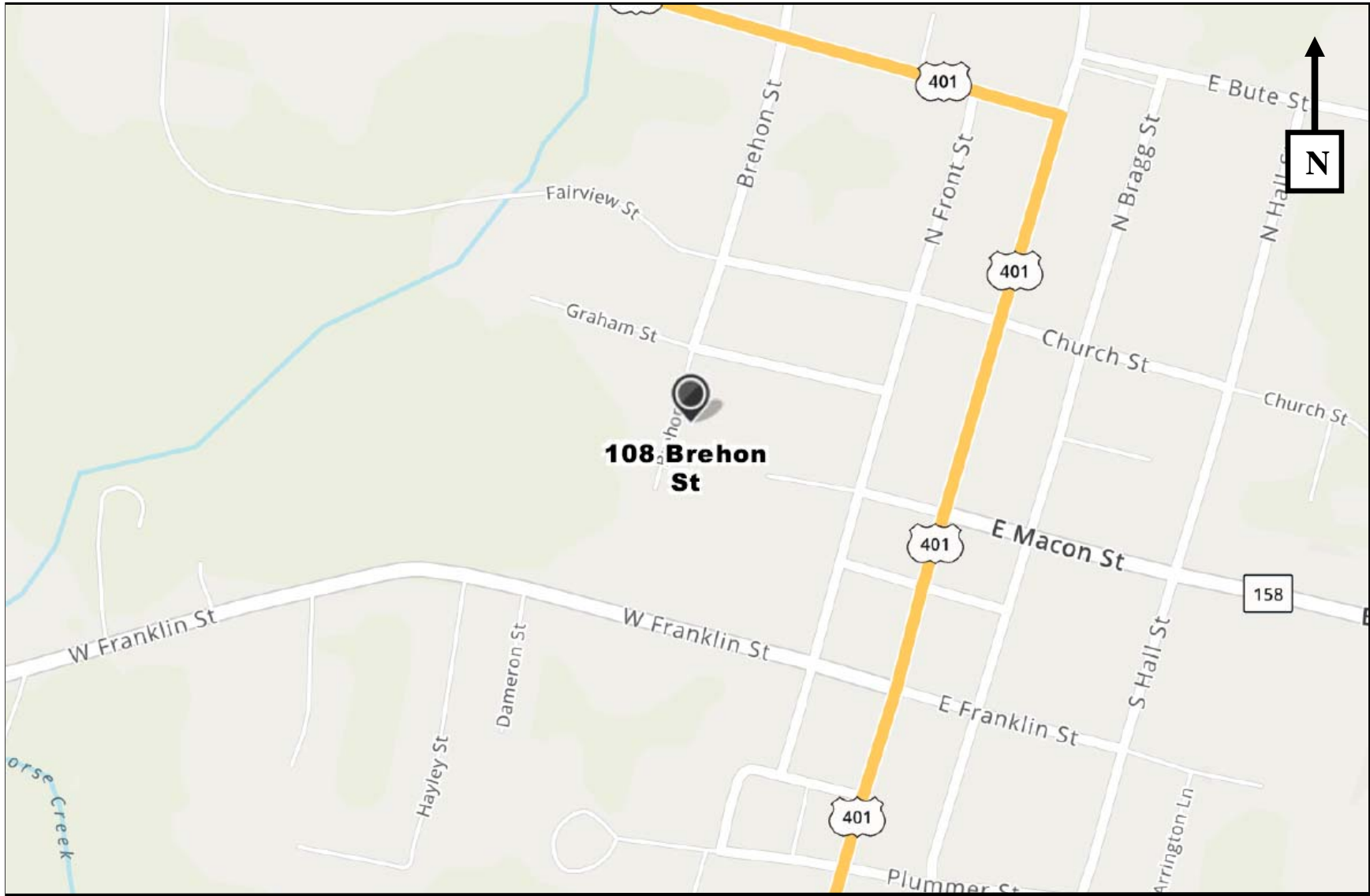


Figure 1
Site Map

108 Brehon St
Warrenton, NC



SUMMIT ELT, Inc.
Project: 8886.E0007



Analysis for Lead Concentration in Wipe Samples

by Flame Atomic Absorption Spectroscopy
EPA SW-846 3050B/6010C/7000B



Customer: Summit Engineering, Laboratory & Testing, P.C.
3575 Centre Circle Drive
Fort Mill, SC 29715

Attn: Michael Zavislak

Lab Order ID: 71982581

Analysis ID: 71982581_PBW

Date Received: 12/30/2021

Date Reported: 1/5/2022

Project: 108 Brehon Street/8886.E0007

Sample ID	Description	Area (ft ²)	Concentration (µg)	Concentration (µg/ft ²)
Lab Sample ID	Lab Notes			
108-FL1	Bath floor at window	1	5.9	5.9
71982581PBW_1				
108-FL2	Mudroom floor at entrance to kitchen	1	4.5	4.5
71982581PBW_2				
108-SL1	Bath windowsill	0.25	10.	42
71982581PBW_3				
108-SL2	Mudroom window sill - D side	0.25	2.1	8.4
71982581PBW_4				

Unless otherwise noted blank sample correction was not performed on analytical results. Scientific Analytical Institute participates in the AIHA ELPAT program. ELPAT Laboratory ID: 173190. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAI. Analytical uncertainty available upon request. The quality control samples run with the samples in this report have passed all EPA required specifications unless otherwise noted. RL: (Report Limit for an undiluted 25ml sample is 2µg Total Pb). Unless indicated, areas and volumes were provided by the customer.

Xaviera Watkins (4)

Analyst

Scientific Analytical Institute, Inc. 4604 Dundas Dr. Greensboro, NC 27407 (336) 292-3888

Laboratory Director



Analysis for Lead Concentration in Soil Samples



by Flame Atomic Absorption Spectroscopy
EPA SW-846 3050B/6010C/7000B

Customer: Summit Engineering, Laboratory & Testing, P.C.
3575 Centre Circle Drive
Fort Mill, SC 29715

Attn: Michael Zavislak

Lab Order ID: 71982584

Analysis ID: 71982584_PBS

Date Received: 12/30/2021

Date Reported: 1/5/2022

Project: 108 Brehon Street/8886.E0007

Sample ID	Description	Mass (g)	Concentration (ppm)	Concentration (% by weight)
Lab Sample ID	Lab Notes			
108-S1	Perimeter dripline composite soil	1.8285	370	0.037%
71982584PBS_1				

Unless otherwise noted blank sample correction was not performed on analytical results. Scientific Analytical Institute participates in the AIHA ELPAT program. ELPAT Laboratory ID: 173190. This report relates only to the samples tested and may not be reproduced, except in full, without the written approval of SAI. Analytical uncertainty available upon request. The quality control samples run with the samples in this report have passed all EPA required specifications unless otherwise noted. RL: (Report Limit for an undiluted 50ml sample is 4µg Total Pb). Unless indicated, areas and volumes were provided by the customer.

Xaviera Watkins (1)

Analyst

Scientific Analytical Institute, Inc. 4604 Dundas Dr. Greensboro, NC 27407 (336) 292-3888

Laboratory Director



Limited Lead-Based Paint Inspection (XRF)

SUMMIT Engineering, Laboratory &
Testing, Inc.
3575 Centre Circle
Fort Mill, SC 29715

INSPECTION SITE: 108 Brehon Street
Warrenton, NC 27589

INSPECTION DATE: 12/29/2021 - 12/29/2021

REPORT NUMBER: 8886.E0007

INSTRUMENT TYPE: Heuresis Corp.
Pb200i XRF Lead Paint Analyzer
2538

ACTION LEVEL: 1.0 (mg/cm²)

STATEMENT: This Lead-Based Paint Inspection follows the U.S. Environmental Protection Agency (EPA) regulations or Chapter 7 of Lead-Based Paint Hazards in Housing (2012 Revision). Limited to the areas tested in the report per client.

Limited Lead-Based Paint Inspection (XRF)

Inspection Date: 12/29/2021 - 12/29/2021
 Action Level: 1.0 (mg/cm²)
 Report Number: 8886.E0007
 Total Readings: 52
 Unit Started: 12/29/2021 11:46:50
 Unit Ended: 12/29/2021 19:17:09

Inspection Site: 108 Brehon Street
 Warrenton, NC 27589

Read #	Result	Calibration	Floor	Room Side	Structure	Component	Substrate	Color	Condition	Lead (mg/cm ²)
245	Negative	Start								0.1 mg/cm ²
246	Negative	Start								0.0 mg/cm ²
247	Negative	Start								0.1 mg/cm ²
248	Negative		First Floor	Bathroom A 1	Wall			Green	Good	0.2 mg/cm ²
249	Negative		First Floor	BathroomB 1	Wall			Green	Good	0.5 mg/cm ²
250	Negative		First Floor	Bathroom C 1	Wall			Green	Good	0.3 mg/cm ²
251	Negative		First Floor	BathroomD 1	Wall			Green	Good	0.2 mg/cm ²
252	Negative		First Floor	Bathroom C 1	Wall	Window Casing	Wood	White	Good	0.2 mg/cm ²
253	Negative		First Floor	BathroomC 1	Wall	Window Sash	Wood	White	Good	0.2 mg/cm ²
254	Negative		First Floor	Bathroom A 1	Wall	Door Casing	Wood	White	Good	0.0 mg/cm ²
255	Negative		First Floor	BathroomA 1	Wall	Door Panel	Wood	White	Good	0.1 mg/cm ²
256	Negative		First Floor	Bathroom D 1	Wall	Cabinet Door	Wood	White	Good	0.0 mg/cm ²
257	Negative		First Floor	BathroomCeiling 1			Plaster	White	Good	0.1 mg/cm ²
258	Negative		First Floor	mudroom A	Wall		Wood	Green	Good	0.0 mg/cm ²
259	Negative		First Floor	mudroomB	Wall		Wood	Green	Good	0.1 mg/cm ²
260	Negative		First Floor	mudroom C	Wall		Wood	Green	Good	0.0 mg/cm ²
261	Negative		First Floor	mudroomD	Wall		Wood	Green	Good	0.0 mg/cm ²
262	Negative		First Floor	mudroom D	Wall	Window Casing	Wood	White	Good	0.0 mg/cm ²
263	Negative		First Floor	mudroomD	Wall	Window Sash	Wood	White	Good	0.0 mg/cm ²

Limited Lead-Based Paint Inspection (XRF)

Inspection Date: 12/29/2021 - 12/29/2021
 Action Level: 1.0 (mg/cm²)
 Report Number: 8886.E0007
 Total Readings: 52
 Unit Started: 12/29/2021 11:46:50
 Unit Ended: 12/29/2021 19:17:09

Inspection Site: 108 Brehon Street
 Warrenton, NC 27589

Read #	Result	Calibration	Floor	Room Side	Structure	Component	Substrate	Color	Condition	Lead (mg/cm ²)	
264	Positive		First Floor	mudroom A	Wall	Door Casing	Wood	White	Good	3.2 mg/cm ²	
265	Positive		First Floor	mudroomA	Wall	Door Panel	Wood	White	Good	1.9 mg/cm ²	
266	Negative		First Floor	mudroom A	Wall	crown molding	Wood	White	Good	0.1 mg/cm ²	
267	Positive		First Floor	mudroomCeiling	Wall		Wood	White	Good	1.0 mg/cm ²	
268	Negative		First Floor	mudroom D	Wall	Baseboard	Wood	White	Good	0.5 mg/cm ²	
269	Positive		Exterior	A	Wall		Wood	Green	Good	3.5 mg/cm ²	
270	Negative		Exterior	B	Wall		Wood	Green	Deteriorated	0.4 mg/cm ²	
271	Positive		Exterior	B	Wall		Wood	Green	Deteriorated	2.7 mg/cm ²	
272	Positive		Exterior	C	Wall		Wood	Green	Deteriorated	3.5 mg/cm ²	
273	Positive		Exterior	D	Wall		Wood	Green	Deteriorated	1.5 mg/cm ²	
274	Positive		Exterior	A	Wall	Window Casing	Wood	White	Deteriorated	4.7 mg/cm ²	
275	Positive		Exterior	A	Wall	Window Sill	Wood	White	Deteriorated	3.0 mg/cm ²	
276	Negative		Exterior	A	Wall	Door Casing	Wood	White	Deteriorated	0.1 mg/cm ²	
277	Negative		Exterior	A	Wall	Door Panel	Wood	Stain	Good	0.0 mg/cm ²	
278	Positive		Exterior	B	Wall	Window Casing	Wood	White	Deteriorated	3.8 mg/cm ²	
279	Negative		Exterior	B	Wall	Window Sash	Wood	White	Deteriorated	0.5 mg/cm ²	
280	Positive		Exterior	B	Wall	Window Sash	Wood	White	Deteriorated	1.9 mg/cm ²	
281	Negative		Exterior	C	Wall	Window Sash	Wood	White	Deteriorated	0.3 mg/cm ²	
282	Positive		Exterior	C	Wall	Window Casing	Wood	White	Deteriorated	3.6 mg/cm ²	
283	Positive		Exterior	C	Wall	Door Casing	Wood	White	Deteriorated	1.9 mg/cm ²	
284	Positive		Exterior	C	Wall	Door Panel	Wood	Green	Good	1.6 mg/cm ²	
285	Positive		Exterior	C	Wall	Door Panel	Wood	Green	Good	1.6 mg/cm ²	
286	Negative		Exterior	Porch	C	Wall	column	Wood	White	Good	0.0 mg/cm ²
287	Negative		Exterior	Porch	Floor	Wall		Wood	Green	Good	-0.2 mg/cm ²

Limited Lead-Based Paint Inspection (XRF)

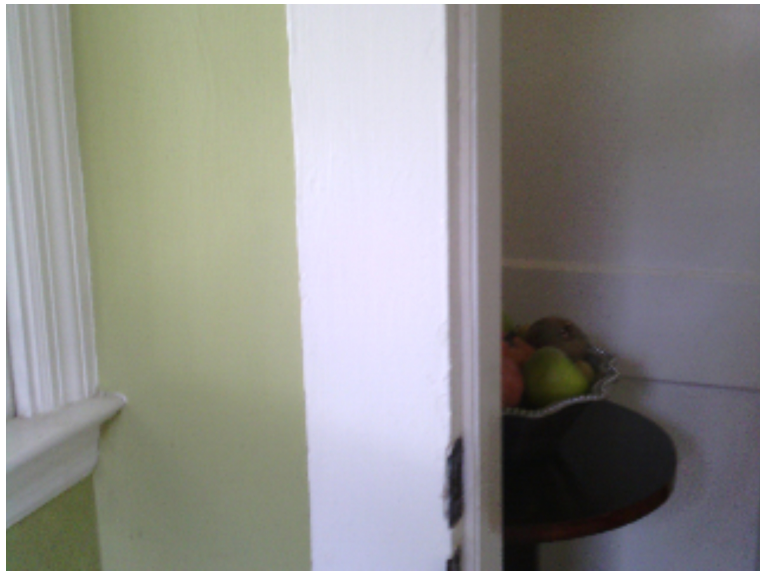
Inspection Date: 12/29/2021 - 12/29/2021
 Action Level: 1.0 (mg/cm²)
 Report Number: 8886.E0007
 Total Readings: 52
 Unit Started: 12/29/2021 11:46:50
 Unit Ended: 12/29/2021 19:17:09

Inspection Site: 108 Brehon Street
 Warrenton, NC 27589

Read #	Result	Calibration	Floor	Room Side	Structure	Component	Substrate	Color	Condition	Lead (mg/cm ²)	
288	Negative		Exterior	Porch	Ceiling	Wall	Wood	White	Good	0.1 mg/cm ²	
289	Negative		Exterior		D	Wall	Window Casing	Wood	White	Good	0.1 mg/cm ²
290	Negative		Exterior		D	Wall	Window Sash	Wood	White	Good	-0.1 mg/cm ²
291	Negative		Exterior		D	Wall	Window Sash	Wood	White	Good	0.8 mg/cm ²
292	Positive		Exterior		D	Wall	Window Casing	Wood	White	Deteriorated	3.3 mg/cm ²
293	Positive		Exterior		A	Wall	dental molding	Wood	White	Good	1.8 mg/cm ²
294	Negative	Stop								0.0 mg/cm ²	
295	Negative	Stop								0.1 mg/cm ²	
296	Negative	Stop								0.0 mg/cm ²	

----- END OF READINGS -----

Selected images...



Reading #264



Reading #265



Reading #267



Reading #269



Reading #271



Reading #272



Reading #273



Reading #274



Reading #275



Reading #278



Reading #280



Reading #282



Reading #283



Reading #285



Reading #292



Reading #293



North Carolina Department of Health and Human Services
Division of Public Health

Health Hazards Control Unit

Lead-Based Paint Hazard Management Program

Summit Engineering Laboratory & Testing

Is Issued Lead Firm Certification

Lead Certification Number - FPB-0229

Valid between March 10, 2021 and March 31, 2022

A blue ink signature of Ed Roman.

Program Manager

NC Health Hazards Control Unit
1912 Mail Service Center, Raleigh, NC 27699-1912
Phone 919-707-5950

NORTH CAROLINA
LEAD CERTIFICATION



Michael D Zavislak
101 Rice Bent Way, Unit 9
Columbia, SC 29229

DOB	SEX	HT	WT
02-23-1973	M	6'0"	195

DISCIPLINE	#	LAST COURSE	EXPIRATION
DESIGNER	140059	DE 09-30-2021	10-31-2022
		SU 09-16-2021	
RISK ASSESSOR	120205	INS 09-14-2021	10-31-2022
		RIS 09-15-2021	

Form 5.0 Questionnaire for a Lead Hazard Risk Assessment of an Individual Occupied Dwelling Unit.

(Page 1 of 2)

(To be completed by risk assessor via interview with owner-occupant or, if a rental unit, an adult resident and, for questions 15 & 16, the owner.)

Property address: 108 BREKTON ST., WARRENSON, NC

Apt. No.: _____ Unit is: Owner occupied Renter occupied _____

Year of construction: 1988 Prior LBP testing? (Y or N) Y (INTERIOR ONLY)

Name of owner interviewed: CHESTER A. HUNT Owner interview date: 12/7/2021

Name of resident interviewed (if rental unit): CHESTER HUNT Interview date: 1/1

Name of risk assessor: _____

Children and Children's Habits

1. Do any children under age 6 live in the home or visit frequently? Yes No (If no children under age 6, skip to Question 5.)
2. If yes, how many? NA
3. Please provide the following information about each child under 6 to the extent you can.

	Child 1	Child 2	Child 3	Child 4
(a) Age:				
(b) Blood lead level:				
(c) Month/year of blood lead test:				
(d) Location of bedroom:				
(e) Main room where child eats:				
(f) Main room where child plays:				
(g) Main room where toys are stored:				
(h) Main locations where child plays outdoors:				

(If a resident child under age 6 has had an elevated blood lead level, an environmental investigation may be necessary [see Chapter 16 of the HUD Guidelines].)

4. (a) Do any children tend to chew on any painted surfaces, such as interior window sills? Yes No
- (b) If yes, where? NA

Form 5.0 Questionnaire for a Lead Hazard Risk Assessment of an Individual Occupied Dwelling Unit. (Page 2 of 2)

Property address: 108 BREMON ST., WARRENTON, NC Apt. No. _____

Other Household Information and Family Use Patterns

5. Do women of child-bearing age live in the home? Yes No
6. If this home is in a building with other dwelling units, what common areas in the building are used by children? NA

7. (a) Which entrance is used most frequently? FRONT DOOR

(b) What other entrances are used frequently? PORCH DOOR

8. Which windows are opened most frequently? NONE

9. (a) Do you use window air conditioners?* Yes No (b) If yes, where?

*Condensation underneath window air conditioners often causes paint deterioration.

10. (a) Do you or any other household members garden? Yes No

(b) If yes, where is the garden? VARIOUS LOCATIONS IN YARD

11. (a) Are you planning any landscaping activities that will remove grass or ground covering? Yes No

(b) If yes, where?

12. (a) Which areas of the home get cleaned regularly? ALL

(b) Which areas of the home do not get cleaned regularly? NONE

13. (a) Are any household members exposed to lead at work? Yes No [If no, go to question 14.]

(b) If yes, are dirty work clothes brought home? Yes No
(c) If they are brought home, who handles are dirty work clothes and where they placed and cleaned?

14. (a) Do you have pets? Yes No

(b) If yes, do these pets go outdoors?

Building Renovations

15. (a) Were any building renovations or repainting done here during the past year? Yes No

(b) If yes, what work was done, and when?

(c) Were carpets, furniture and/or family belongings present in the work areas? Yes No

(d) If yes, which items and where were they? NA

(e) Was construction debris stored in the yard? Yes No

(f) If yes, please describe what, where and how was it stored. NA

16. (a) Are you conducting or planning any building renovations? Yes No

(b) If yes, what work will be done, and when? GRANT-REHAB

Form 5.1 Building Condition Form for Lead Hazard Risk Assessment.

Property address: 108 Brehon Warrenton, NC Apt. No. _____

Name of property owner: _____

Name of risk assessor: Michael Zabliskak Date of assessment: 12/29/21

Condition	Yes	No	Comments
Roof missing parts of surfaces (tiles, boards, shakes, etc.)		✓	
Roof has holes or large cracks		✓	
Gutters or downspouts broken		✓	
Chimney masonry cracked, bricks loose or missing, obviously out of plumb		✓	
Exterior or interior walls have obvious large cracks or holes, requiring more than routine pointing (if masonry) or painting		✓	
Exterior siding has missing boards or shingles		✓	
Water stains on interior walls or ceilings	✓		mudroom, bath
Walls or ceilings deteriorated	✓		mudroom
More than "very small" amount of paint in a room deteriorated		✓	
Two or more windows or doors broken, missing, or boarded up		✓	
Porch or steps have major elements broken, missing, or boarded up		✓	
Foundation has major cracks, missing material, structure leans, or visibly unsound		✓	
** Total number	2		

* The "very small" amount is the *de minimis* amount under the HUD Lead Safe Housing Rule (24 CFR 35.1350(d)), or the amount of paint that is not "paint in poor condition" under the EPA lead training and certification ("402") rule (40 CFR 745.223).

** If the "Yes" column has any checks, the dwelling is usually considered not to be in good condition for the purposes of a risk assessment, and conducting a lead hazard screen is not advisable. However, specific conditions and extenuating circumstances should be considered before determining the final condition of the dwelling and the appropriateness of a lead hazard screen. If the "Yes" column has any checks, and a lead hazard screen is to be performed, describe, below, the extenuating circumstances that justify conducting a lead hazard screen.

Notes (including other conditions of concern):

Form 5.2 Report of Visual Assessment (for Lead Hazard Risk Assessment).

Form 6.0 Report of Visual Assessment (for Ongoing Lead-Safe Maintenance).

Property address: 108 Brehon Street, Warrenton, NC Apt. No.

Page 1 of 1

Name of property owner: Chester Hunter

Name of risk assessor: Michael Zavislak Date of assessment: 12/28/21

Area Description		Deteriorated Paint			Friction or Impact Surface? (F or I)	Visible Teeth Marks? (Y or N)	Paint Testing Results ⁴ (Range)	Notes [e.g., paint testing (e.g., XRF, lab analysis) indicates paint is or is not lead-based paint; cause(s) of hazard control failures]
Location of Building Component, Dust or Bare Soil	Building Component, Dust, or Bare Soil Play Area/Non-Play Area	Area (sq. ft.)	Is Area Small? ² (Y or N)	Probable Cause(s) of Deterioration if Known ³				
Mud Room	Door Casing		Y	Water Leak	No	N	3.2	XRF - LBP
Mud Room	Door		Y	Water Leak	F	N	1.9	XRF - LBP
Mud Room	Ceiling		Y	Water Leak	No	N	1.0	XRF - LBP
Exterior	Siding		Y	Weather	No	N	1.5, 2.7, 3.5	XRF - LBP
Exterior	Window Sill		Y	Weather	I	N	3.0	XRF - LBP
Exterior	Casing		Y	Weather	I	N	4.7, 3.8, 3.6	XRF - LBP
Exterior	Sash		Y	Weather	I	N	1.9	XRF - LBP
Exterior	Rear Door Casing		Y	Weather	I	N	1.9	XRF - LBP
Exterior	Door		Y	Weather	F	N	1.6	XRF - LBP
Exterior	Door		Y	Weather	F	N	1.6	XRF - LBP
Exterior	Window Casing		Y	Weather	I	N	3.3	XRF - LBP
Exterior	Dental Molding		Y	Weather	I	N	1.8	XRF - LBP

¹Include room equivalent or exterior side or wall, as appropriate.

²Lead-safe work practices and clearance/cleaning verification are not required if work does not disturb painted surfaces that total more than

- For assisted housing: HUD's *de minimis area* of: 20 ft² or less on exterior surfaces, 2 ft² or less in any one interior room or space, or 10 percent of the total surface area on an interior or exterior type of component with a small surface area (such as trim, window sills, baseboards);
- For unassisted housing, and for child-occupied facilities, EPA's minor repair and maintenance activities threshold of: 6 ft² or less per room; or 20 ft² or less for exterior activities; provided that no prohibited or restricted work practices were used and no window replacement or demolition of painted surface areas is to be done.

³Common causes of paint deterioration are: moisture (indicate source if apparent), mildew, friction or abrasion, impact, damaged or deteriorated substrate, and severe heat. ⁴If paint testing results are obtained on site, use this column to record the result. If a paint chip sample is sent to the laboratory, use this column to record the sample number (or other unique identifier) as a reference to another record containing the sampling data and laboratory results.

Form 5.2 Report of Visual Assessment (for Lead Hazard Risk Assessment).

Form 6.0 Report of Visual Assessment (for Ongoing Lead-Safe Maintenance).

Property address: 108 Brehon Street, Warrenton, NC Apt. No. _____

Page 1 of 1

Name of property owner: Chester Hunter

Name of risk assessor: Michael Zavislak Date of assessment: 12/28/21

Area Description		Deteriorated Paint			Friction or Impact Surface? (F or I)	Visible Teeth Marks? (Y or N)	Paint Testing Results ⁴ (ug/ft ²)	Notes [e.g., paint testing (e.g., XRF, lab analysis) indicates paint is or is not lead-based paint; cause(s) of hazard control failures]
Location of Building Component, Dust or Bare Soil	Building Component, Dust, or Bare Soil Play Area/Non-Play Area	Area (sq. ft.)	Is Area Small? ² (Y or N)	Probable Cause(s) of Deterioration if Known ³				
Bathroom	Floor/Dust	N/A	N/A	N/A	N/A	N	5.9	Below HUD/EPA limit
Mudroom	Floor/Dust	N/A	N/A	N/A	N/A	N	4.5	Below HUD/EPA limit
Bathroom	Window Sill	N/A	N/A	N/A	N/A	N	42	Below HUD/EPA limit
Mudroom	Window Sill	N/A	N/A	N/A	N/A	N	8.4	Below HUD/EPA limit
Perimeter Dripline	Bare Soil	N/A	N/A	N/A	N/A	N	370 ppm	Below HUD/EPA limit

¹Include room equivalent or exterior side or wall, as appropriate.

²Lead-safe work practices and clearance/cleaning verification are not required if work does not disturb painted surfaces that total more than

- For assisted housing: HUD's *de minimis* area of: 20 ft² or less on exterior surfaces, 2 ft² or less in any one interior room or space, or 10 percent of the total surface area on an interior or exterior type of component with a small surface area (such as trim, window sills, baseboards);
- For unassisted housing, and for child-occupied facilities, EPA's minor repair and maintenance activities threshold of: 6 ft² or less per room; or 20 ft² or less for exterior activities; provided that no prohibited or restricted work practices were used and no window replacement or demolition of painted surface areas is to be done.

³Common causes of paint deterioration are: moisture (indicate source if apparent), mildew, friction or abrasion, impact, damaged or deteriorated substrate, and severe heat. ⁴If paint testing results are obtained on site, use this column to record the result. If a paint chip sample is sent to the laboratory, use this column to record the sample number (or other unique identifier) as a reference to another record containing the sampling data and laboratory results.

Form 5.4a Field Sampling Form for Dust. (Single-Surface Sampling)

(Use a separate form for each housing unit, common area, or exterior. Sample all layers of paint, not just deteriorated paint layers.) Page 1 of 1Property address: 108 Brehon St. Warrington, NC

Name of property owner _____ Apt. No. _____ Common Area, Housing Unit, or Exterior No.: _____

Name/Firm of risk assessor: Michael Zavislak Date of assessment: 12/29/21

Sample Number	Room or Entryway	Surface Type ¹	Exact Location of Wipe Sample	Is surface smooth & cleanable?	Sample Area ² (inches x inches)	Sample Area ³ (ft ²)	Lab Result ⁴ (µg/ft ²)	Notes
108-FL1	Bath	HF	gt window	Yes	12 x 12	1	5.9	ceramic tile
108-FL2	mud room	HF	at entr to kitch	Yes	12 x 12	1	4.5	linoleum
108-SL1	Bath	S	rear window	Yes	2 x 18	.25	4.2	
108-SL2	mud room	S	side window	Yes	2 x 18	.25	8.4	
					x			
					x			
					x			
					x			
					x			
					x			

¹Hard Floor (HF), Carpeted Floor (CF), or Interior Window Sill (S)²Measure to the nearest 1/8th or 1/10th of an inch. [1/8 = 0.125, 2/8 = 0.25, 3/8 = 0.375, 4/8 = 0.5, 5/8 = 0.625, 6/8 = 0.75, 7/8 = 0.875]³Calculate sample area in square feet as follows: Calculate square inches, then divide by 144.⁴Provide areas, direct laboratory to report the dust lead result in µg/ft².NOTE: EPA standards: 40 µg/ft² (interior floors); 250 µg/ft² (interior window sills) for Risk Assessment; 25 µg/ft² and 125 µg/ft² for screen.Total number of samples on this page: 4 Date of sample collection: 12 / 29 / 21Shipped to lab by: Greg Boggs 12/30/21 (signature and date)Received by: SAI Labs / / Reviewed by: _____ / /

Date results reported by lab: ___ / ___ / ___ Reviewed by: _____

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Form 5.5 Field Sampling Form for Soil.

(Composite sampling only. Use a separate form for each residential building in a multi-building property.)

Page 1 of 1

Property address: 108 Brehon St. Bldg. or Apt. No. _____

Name of property owner: _____

Name of risk assessor Michael Zavislak

Type of Area Sampled	Sample Number	Location of Composite Sample(s)	Approximate Area of Bare Soil Represented by Composite Sample (ft. ²)	Laboratory Result (ppm or µg/g)	
Bare Soil in Play Areas	/				
Bare Soil in Non-play Areas in Dripline/ Foundation Area		<u>108-s1</u>	<u>perimeter dripline</u>	<u>370 ppm</u> <u>0.637%</u> <u>by weight</u>	
Bare Soil in Non-play Areas in the Rest of the Yard		/			
Weighted average of soil-lead concentration in non-play areas of dripline/foundation areas and the rest of the yard:					

NOTE: EPA hazard standard for bare play area soil is 400 ppm or µg/g; for bare non-play area soil is 1,200 ppm or µg/g.

Total number of samples on this page: 1 Date of sample collection: 12/29/21

Shipped to lab by: Greg Boggs 12/30/21 (signature and date) Received by: _____ / /

Reviewed by: _____ / /

Date results reported by lab: _____ / / Reviewed by: _____ / /

Form 5.7 Format for an Executive Summary of a Lead Hazard Risk Assessment.

Property address: **108 Brehon Street Warrenton, NC** Date of risk assessment: 12/29/21

Building or Apt. Designation: _____

Summary of Results: (either) No lead-based paint (LBP) hazards were found *-or-* Lead-based paint (LBP) hazards were found; below is a summary of findings.

Paint-Lead Hazards: (if applicable)

Unit Number Common Area, or Exterior Location	Room or Room Equivalent	Building Component	Type of Hazard*	Lead Level (mg/cm ² or µg/g)**	Options for Corrective Action
	Exterior	Siding	deteriorated	1.5-4.7	Interim control = cover with vinyl siding Abatement = enclosure, or complete removal of paint and repaint, or encapsulate
	Exterior	Window casing	deteriorated	3.3-4.7	Interim control = scrap paint and repaint Abatement = replace windows, or enclose in aluminum
	Exterior	Windowsill	deteriorated	3	Interim control = scrap paint and repaint Abatement = replace windows, or enclose in aluminum
	Exterior	Door panel	deteriorated	3.3	Interim control = scrap paint and repaint Abatement = replace door, or complete removal of lead paint and repaint

* LBP on friction surface with dust-lead hazard beneath, impact surface, chewable surface with teeth marks, or other deteriorated LBP.

** Milligrams per square centimeter (mg/cm²), or micrograms per gram (µg/g; parts per million; ppm). NOTE: EPA standard for LBP: 1.0 mg/cm², or 5,000 µg/g.

Dust-Lead Hazards: (if applicable)

Unit Number or Common Area	Room or Room Equivalent	Surface*	Lead Level (µg/ft ²)**	Options for Corrective Action
	N/A	N/A		

* Floor, or interior windowsill.

** Micrograms per square foot (µg/ft²)

NOTE: EPA dust-lead hazard standards: 10 µg/ft.² (floors); 100 µg/ft.² (interior windowsills).

Summary of Results: Soil-Lead Hazards (bare soil only): (if applicable)

Type of Area*	Location	Lead Level (ppm or µg/g)**	Options for Corrective Action
	N/A	N/A	

* Play area, dripline/foundation area, or rest of the yard.

** Parts per million, or micrograms per gram.

EPA standards: 400 ppm (play areas); 1,200 ppm (non-play areas in the dripline/foundation area or the rest of the yard).

Form 5.7 Format for an Executive Summary of a Lead Hazard Risk Assessment.

Property address: **108 Brehon Street Warrenton, NC** _____ Date of risk assessment: 12___/29___/___ 21
 Building or Apt. Designation: _____

Intact Paint Surfaces With Lead-Based Paint: (if client has requested additional testing)

Unit Number, Common Area, or Exterior Location	Room or Room Equivalent	Building Component	Lead Level (mg/cm²)*	Options for Corrective Action
	Mud room	Door casing/panel	1.9-3.2	N/A – intact paint
	Mud room	Ceiling	1	N/A – intact paint
	Exterior siding	Side A	3.5	N/A – intact paint
	Exterior	Door panel	1.6	N/A – intact paint
	Exterior	Dental molding	1.8	N/A – intact paint

* NOTE: EPA standard for LBP: 1.0 mg/cm², or 5,000 µg/g.

Contact Person for Further Information (name, address, phone number):

Michael Zavislak, SUMMIT, 3575 Centre Circle, Fort Mill, SC 29715, NCDHHS 140059, Exp 10-31-2022, 704-504-1717

Person Who Prepared This Summary (printed name, firm/agency, address, phone number, state/EPA RA certification number and expiration date):

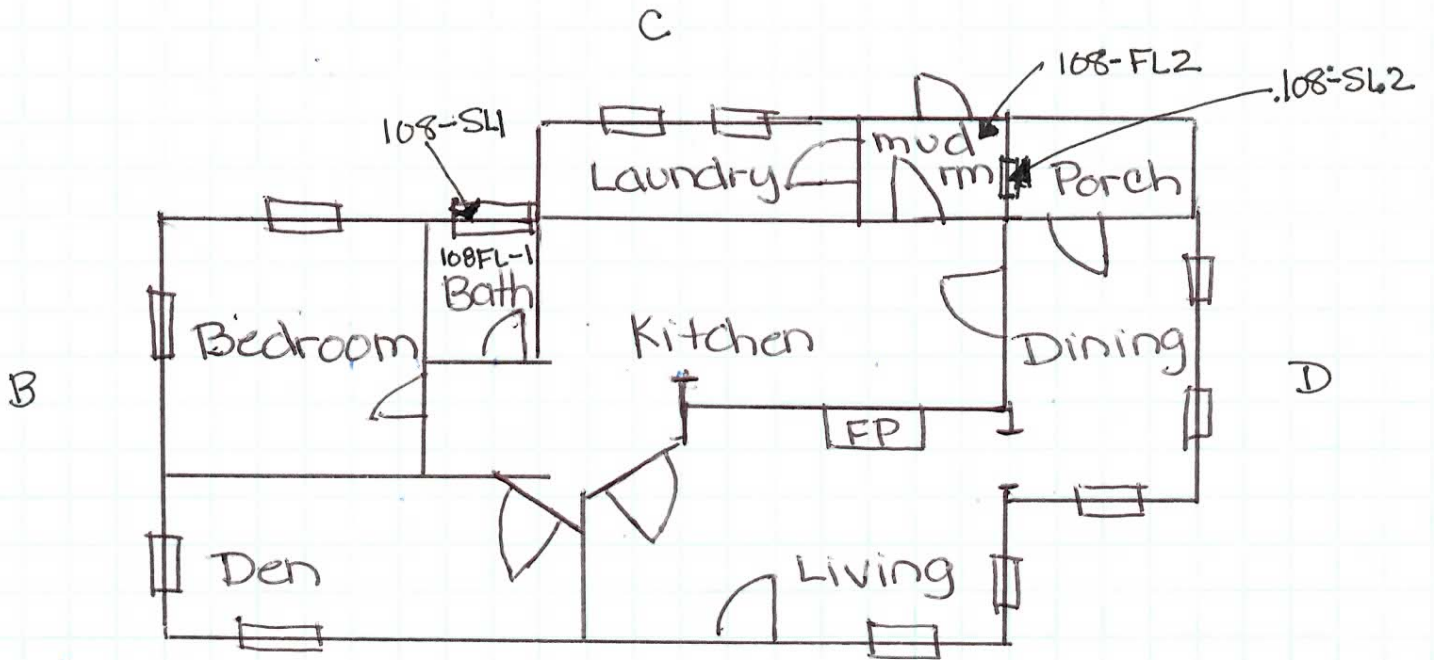
Michael Zavislak, SUMMIT, 3575 Centre Circle, Fort Mill, SC 29715, NCDHHS 140059, Exp 10-31-2022, 704-504-1717

Signature of Preparer and date:



Date Prepared: 3/12/2022

108 Brehan Street
Warrenton, NC
Sampling Locations



(not to scale)

A

108-SL = perimeter
dripline soil
sample

8886.E0007

Site Photographs



Photo #1: House Exterior Front



Photo #2: Mudroom Damaged Ceiling



Photo #3: Kitchen. Entrance to Mudroom on Left



Photo #4: Peeling Paint – Bathroom Ceiling



Photo #5: Peeling Exterior Window Components



Photo #6: Peeling Siding