

BRCC TEDC ROOF REPLACEMENT

OWNER

BLUE RIDGE COMMUNITY COLLEGE

OWNER REPRESENTATIVE

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CONSTRUCTION PROJECT COORDINATOR
BLUE RIDGE COMMUNITY COLLEGE
HENDERSON COUNTY, NC

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LIST OF DRAWINGS

T101	COVER SHEET
ARCHITECTURAL	
A201	SOUTH ROOF PLAN
A202	NORTH ROOF PLAN
A301	DETAILS
A302	DETAILS

NORTH CAROLINA BUILDING CODE SUMMARY

- PER N.C.G.S. 143-138(b15): BUILDINGS CONSTRUCTED BEFORE 2012 ARE EXCLUDED FROM THE CURRENT CODE AND ARE SUBJECT TO THE 2009 NC ENERGY CONSERVATION CODE. R-VALUE MIN. SHALL BE R-15, FOR CLIMATE ZONE 4 (NON-MARINE) EXISTING R-VALUE = R17.4
- NC ENERGY CONSERVATION CODE C503.1 EXCEPTION 2.e: REROOF SHALL NOT BE LESS THAN THE CONDITIONS/DESIGN PRIOR TO ROOF REPLACEMENT
- 1511.1 EXCEPTIONS 1&2: REPLACEMENT SHALL NOT BE REQUIRED TO MEET THE SLOPE REQUIREMENT OF 1/4" PER FOOT OR PROVIDE SECONDARY DRAINS OR SCUPPERS
- 1511.3.1.1 EXCEPTIONS 3: ROOF RECOVERING SHALL NOT BE PERMITTED OVER WATER SOAKED ROOFING OR OVER 2 ROOF APPLICATIONS

ABBREVIATIONS:

- REPLACE= REMOVE EXISTING AND PROVIDE AS SHOWN AND SPECIFIED
- RD= ROOF DRAIN
- CMU= CONCRETE MASONRY UNITS
- BOW= BOTTOM OF WALL
- POLYISO= POLYISOCYANURATE
- SPM= SINGLE PLY MEMBRANE
- PSP= POURABLE SEALER POCKET

BID ALTERNATES

ALTERNATE NO. 1 - REPLACE EXISTING ROOF HATCH RAIL SYSTEM
ALTERNATE NO. 2 - REMOVE EXISTING SATELLITE SYSTEM
ALTERNATE NO. 3 - PROVIDE METAL COPING AS MANUFACTURED BY CENTRIA
ALTERNATE NO. 4 - PROVIDE WALKWAY/TREADS
ALTERNATE NO. 5 - PROVIDE PERFORMANCE & PAYMENT BOND

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ROOF
REPLACEMENT

Project Number: 24002

Drawn: A. Rognas
Date: 4/17/25

COVER
SHEET

T101

GENERAL NOTES

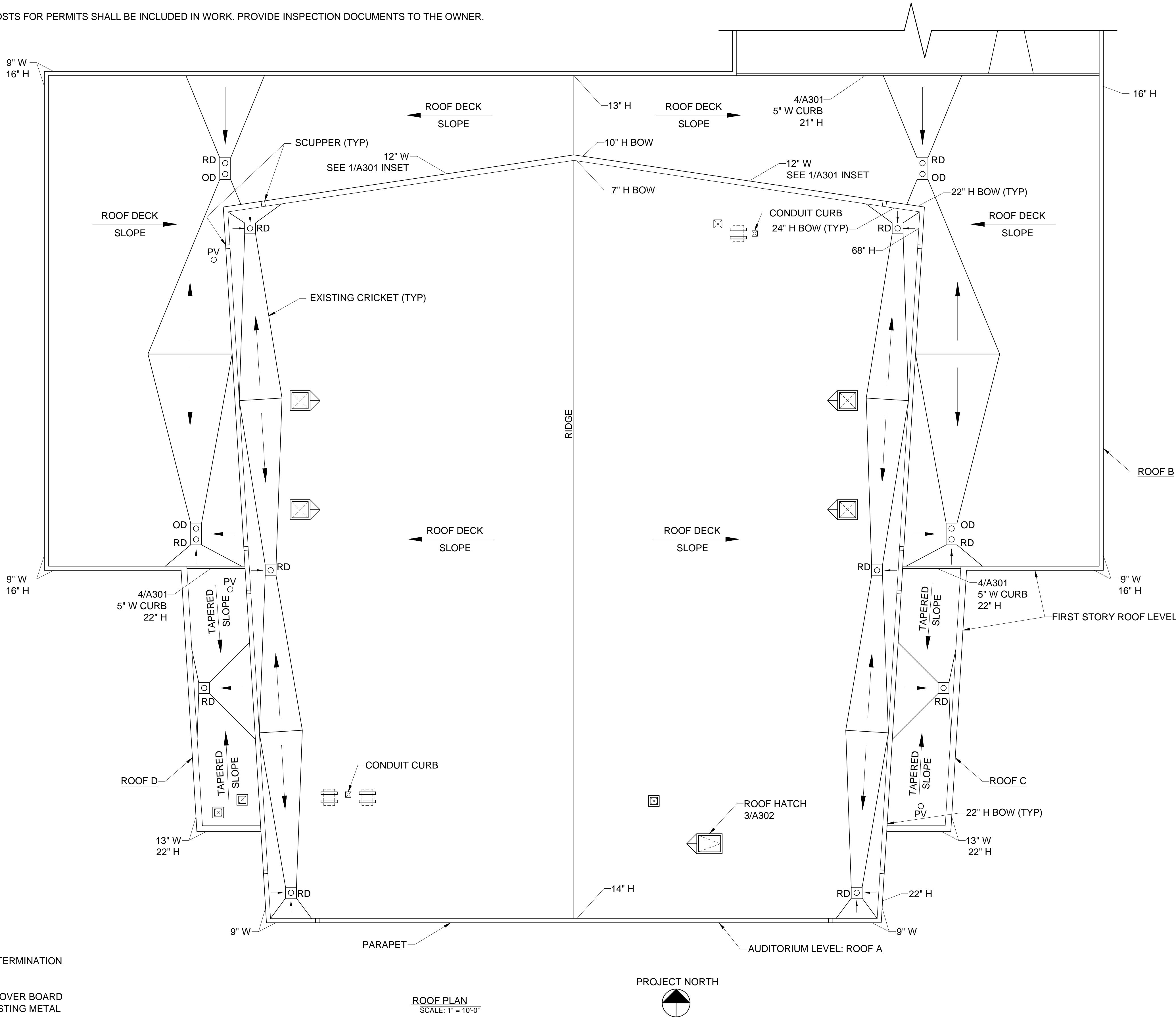
- EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY ARCHITECT. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
- VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- SITE ACCESS, STAGING AND SCHEDULE SHALL BE COORDINATED WITH OWNER.
- PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.
- BUILDING ELEMENTS ARE EXISTING.

LEGEND

- PARAPET WALLS-
13" WIDE- 2/A301
9" WIDE- 1/A301
12" WIDE- 1/A301 SIM
- BOW BASE OF WALL FLASHING 3/A301
- RD ROOF DRAIN
OD OVERFLOW ROOF DRAIN 5/A301
- SCUPPER 6/A301
- PV PLUMBING VENT 2/A302
- MECHANICAL UNIT CURB 4/A302
CONDUIT CURB SIM
- MECHANICAL SUPPORT CURB 6/A302

ROOFING NOTES

- EXISTING ROOFING COMPONENTS:
 - FULLY ADHERED SPM MEMBRANE
 - RIGID INSULATION
 - TAPERED INSULATION (3"-7"± @ RF C,D)
 - 5/8" FIBERGLASS BOARD
 - METAL ROOF DECK
- DEMOLITION: REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS & FLASHING. EXISTING SPM SHALL REMAIN.
- PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND 1/2" COVER BOARD OVER EXISTING SPM ROOFING. ATTACH 1/2" COVER BOARD THROUGH INTO EXISTING METAL ROOF DECK. CUT OPEN EXISTING SPM.



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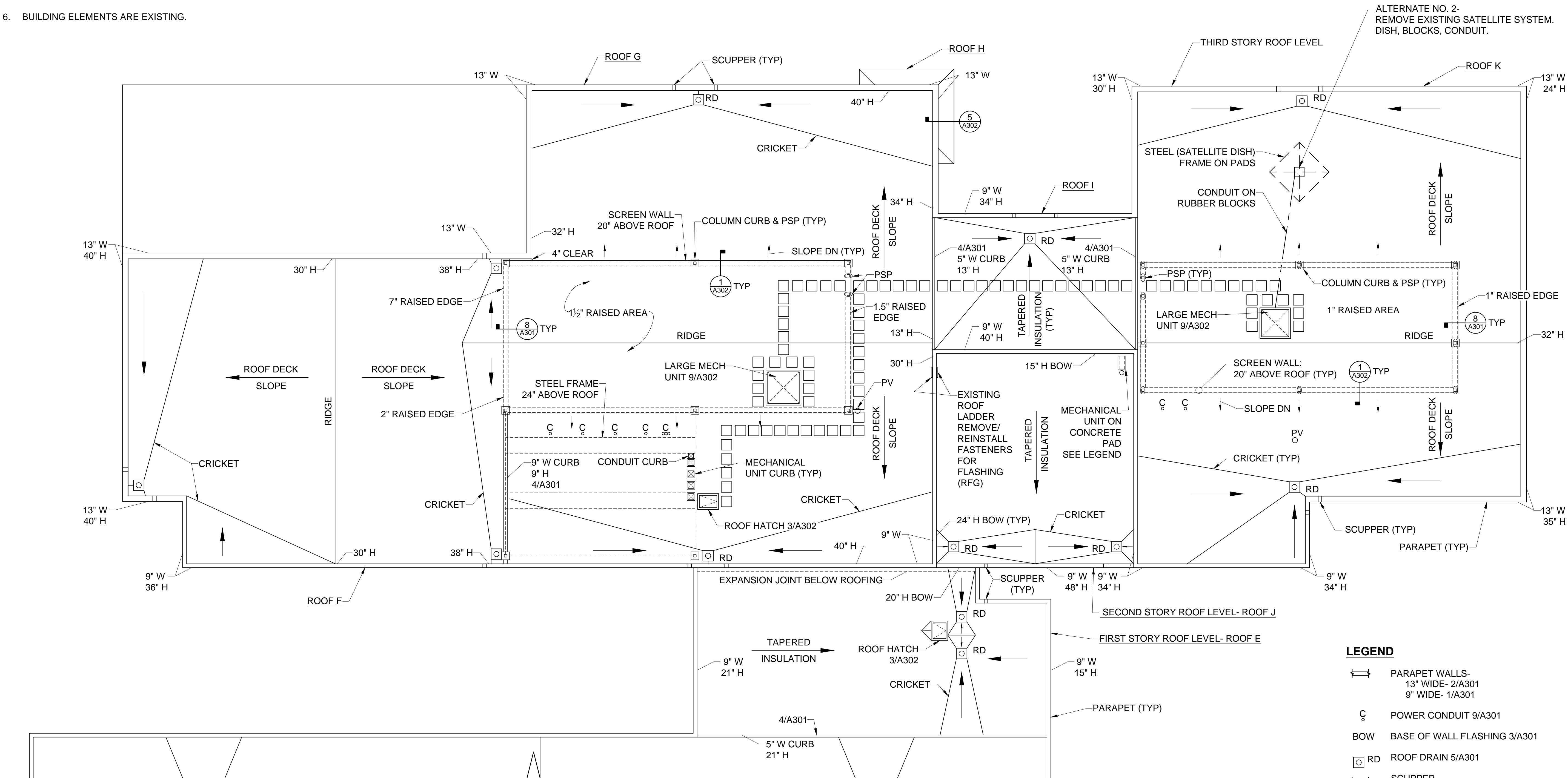
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SOUTH
ROOF PLAN

A201

GENERAL NOTES

- EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY ARCHITECT. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
- VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- SITE ACCESS, STAGING AND SCHEDULE SHALL BE COORDINATED WITH OWNER.
- PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.
- BUILDING ELEMENTS ARE EXISTING.



ROOFING NOTES

- EXISTING ROOFING COMPONENTS:
 - FULLY ADHERED SPM MEMBRANE
 - RIGID INSULATION
 - TAPERED INSULATION
 - ROOF I 3"-8"±
 - ROOF J 3"-12"±
 - ROOF E 3"-15"±
 - 5/8" FIBERGLASS BOARD
 - METAL ROOF DECK
- DEMOLITION: REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS & FLASHING. EXISTING SPM SHALL REMAIN.
- PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND 1/2" COVER BOARD OVER EXISTING SPM ROOFING. ATTACH 1/2" COVER BOARD THROUGH INTO EXISTING METAL ROOF DECK. CUT OPEN EXISTING SPM.

LEGEND

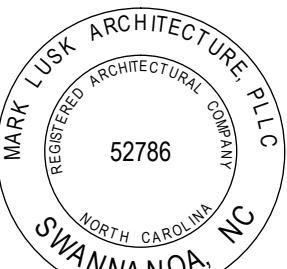
- PARAPET WALLS-
 - 13" WIDE- 2/A301
 - 9" WIDE- 1/A301
- POWER CONDUIT 9/A301
- BOW BASE OF WALL FLASHING 3/A301
- RD ROOF DRAIN 5/A301
- SCUPPER-
 - 13" PARAPET WALL- 7/A301
 - 9" PARAPET WALL- 6/A301
- PV PLUMBING VENT 2/A302
- MECHANICAL UNIT CURB 4/A302
- CONDUIT CURB SIM
- MECHANICAL UNIT ON CONCRETE PAD W/ CONDUIT PIPE. RAISE UNIT & PAD FOR SPM WORK. REPLACE CONDUIT PIPE BOOT.
- POURABLE SEALER POCKET 7/A302
- COL CURB PSP 8/A302
- 24"x24" WALKWAY PADS

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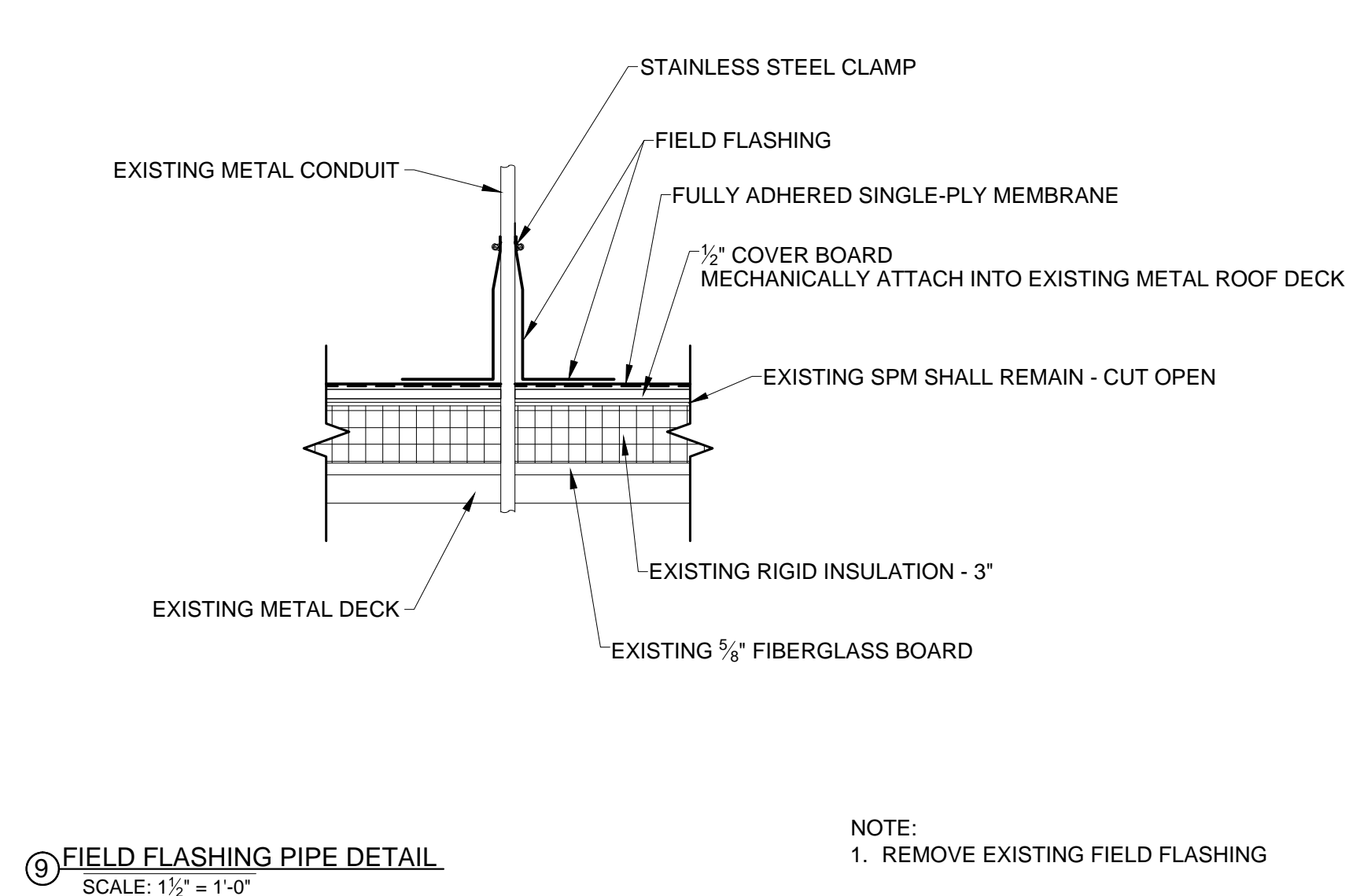
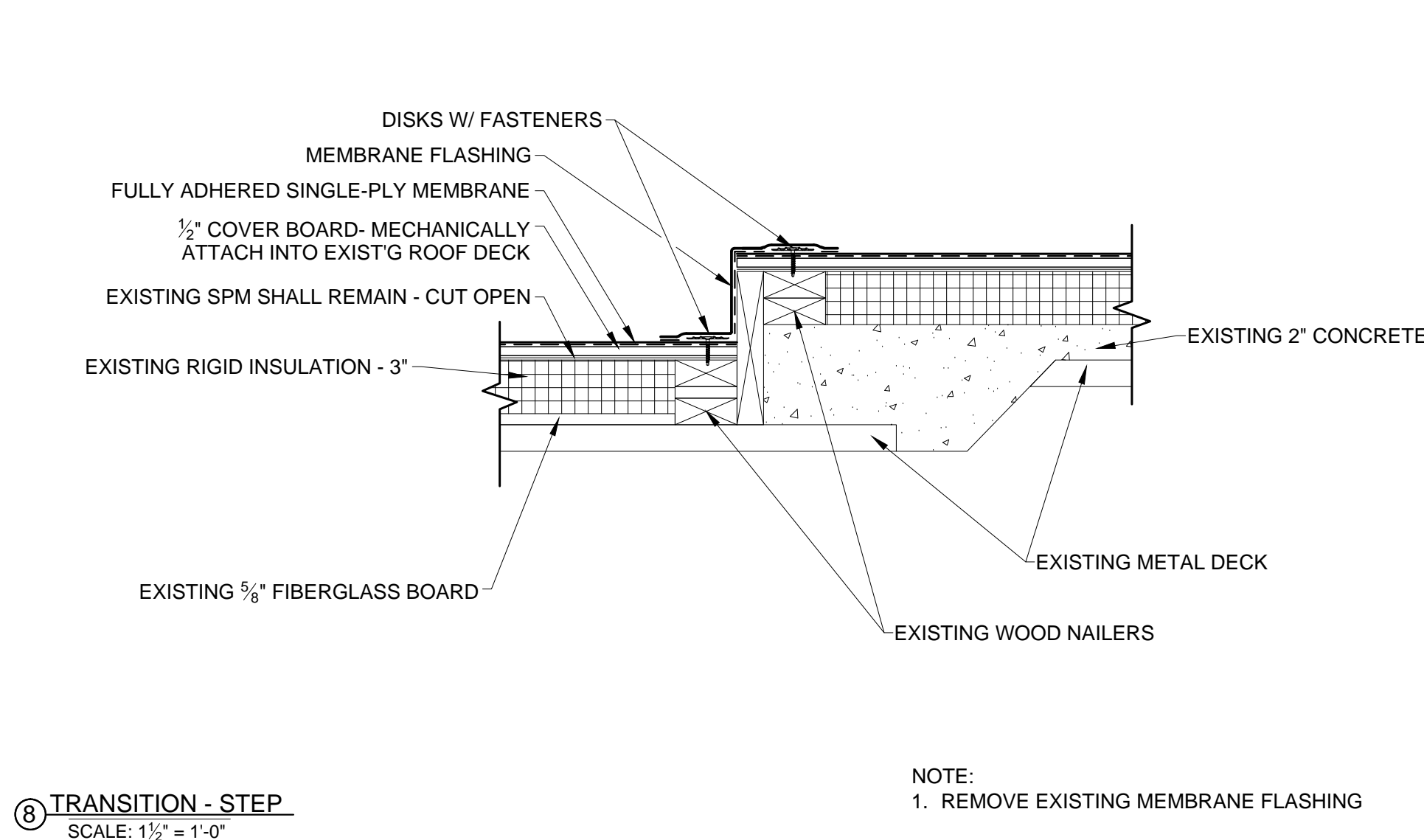
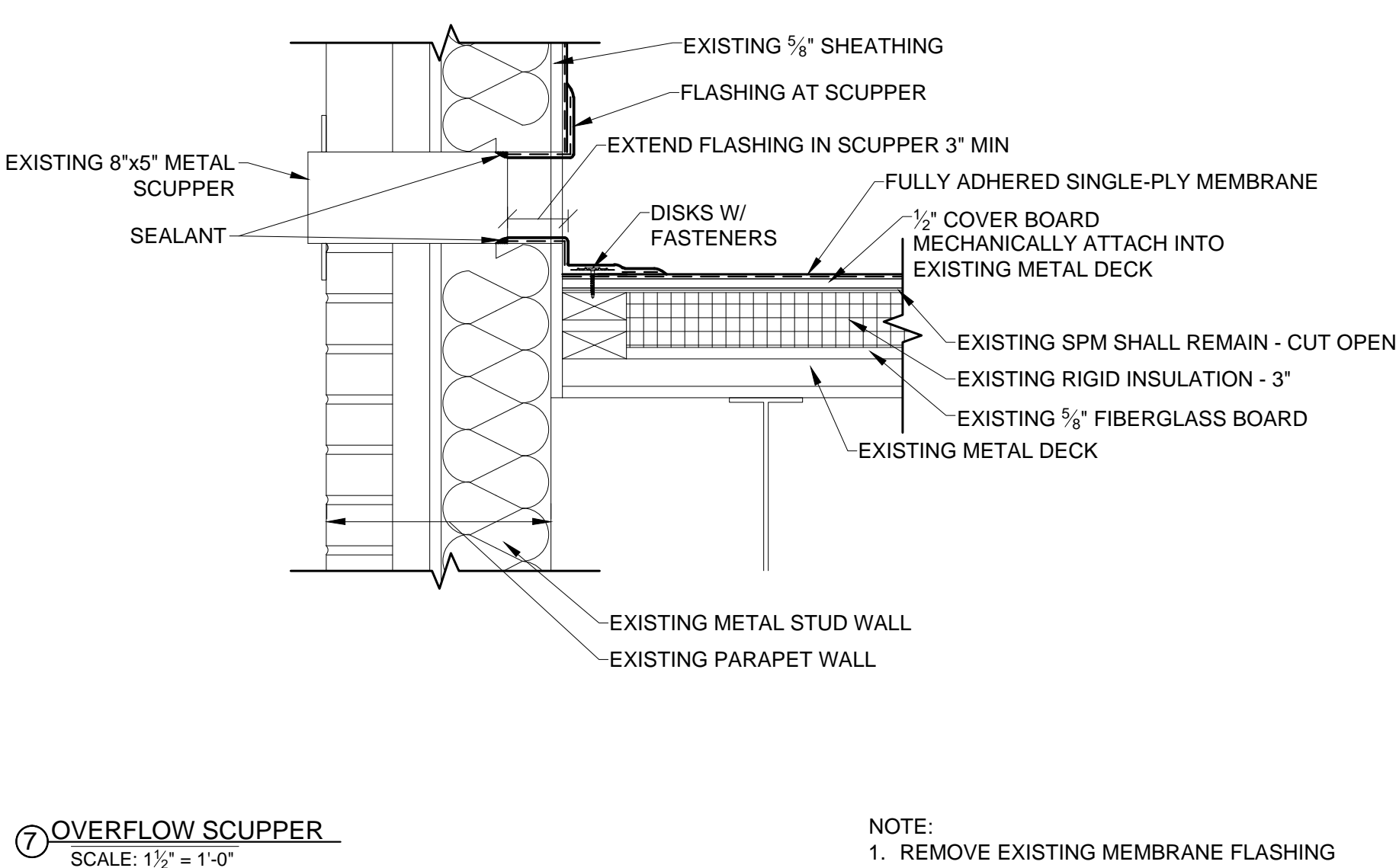
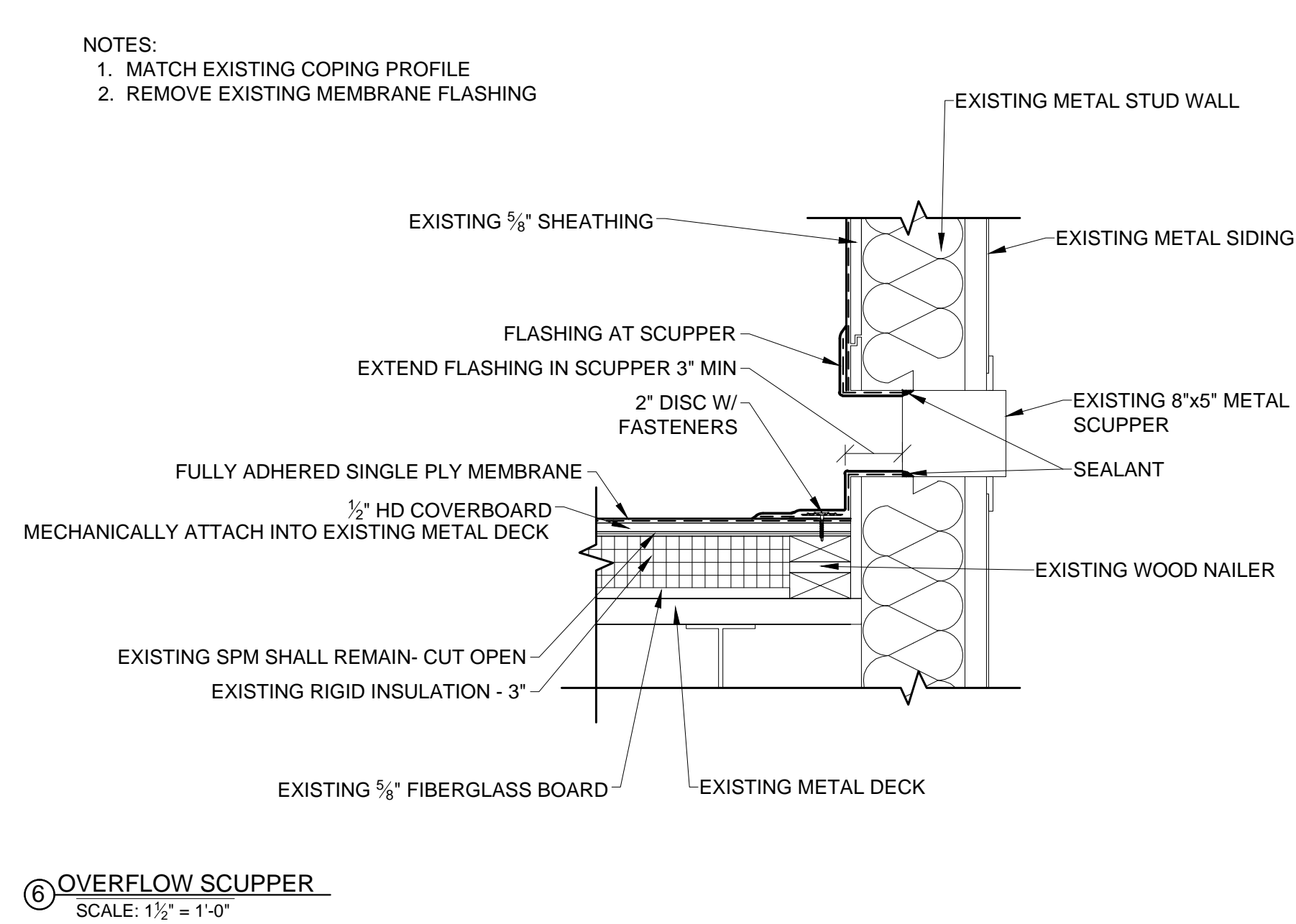
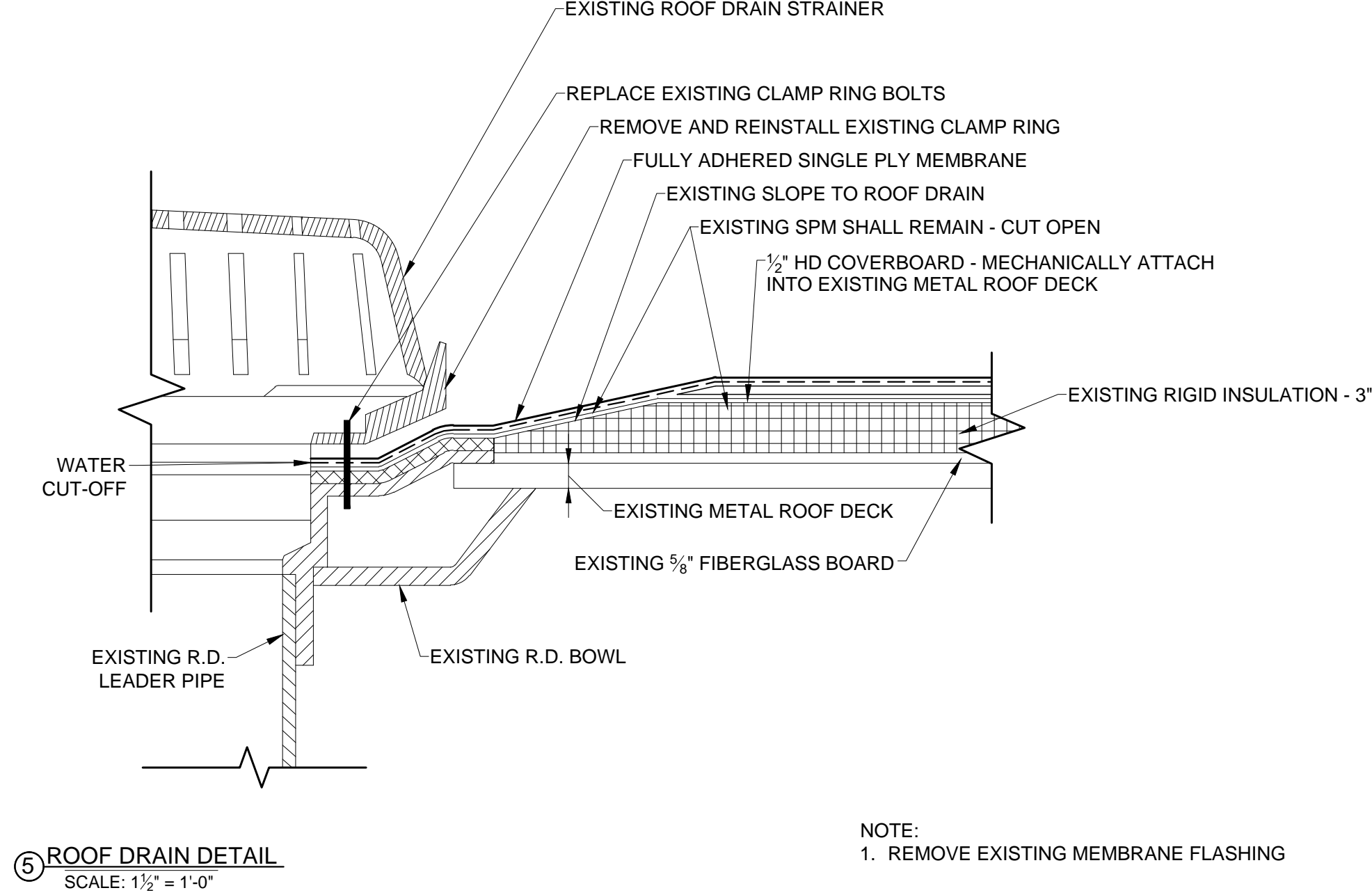
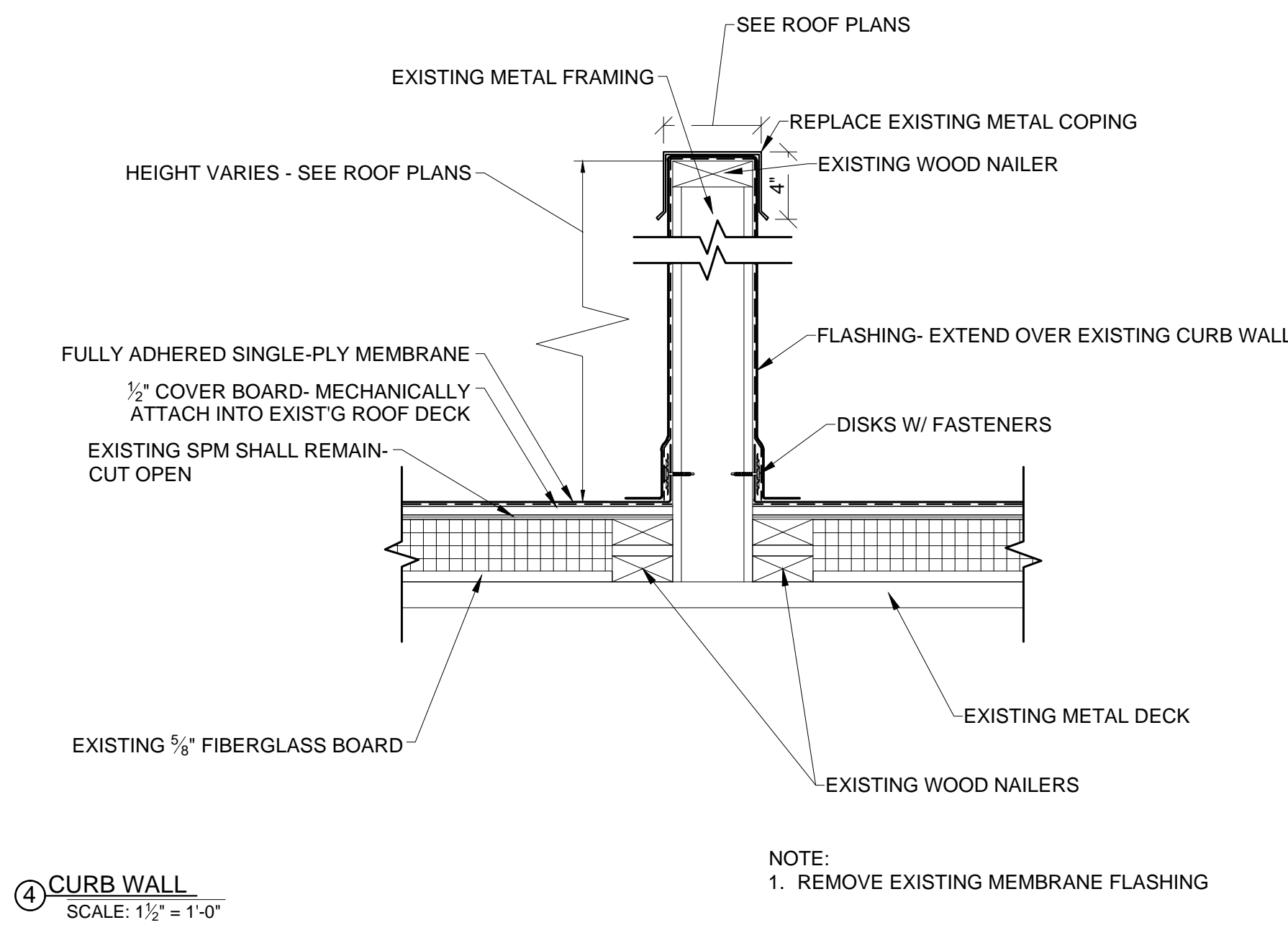
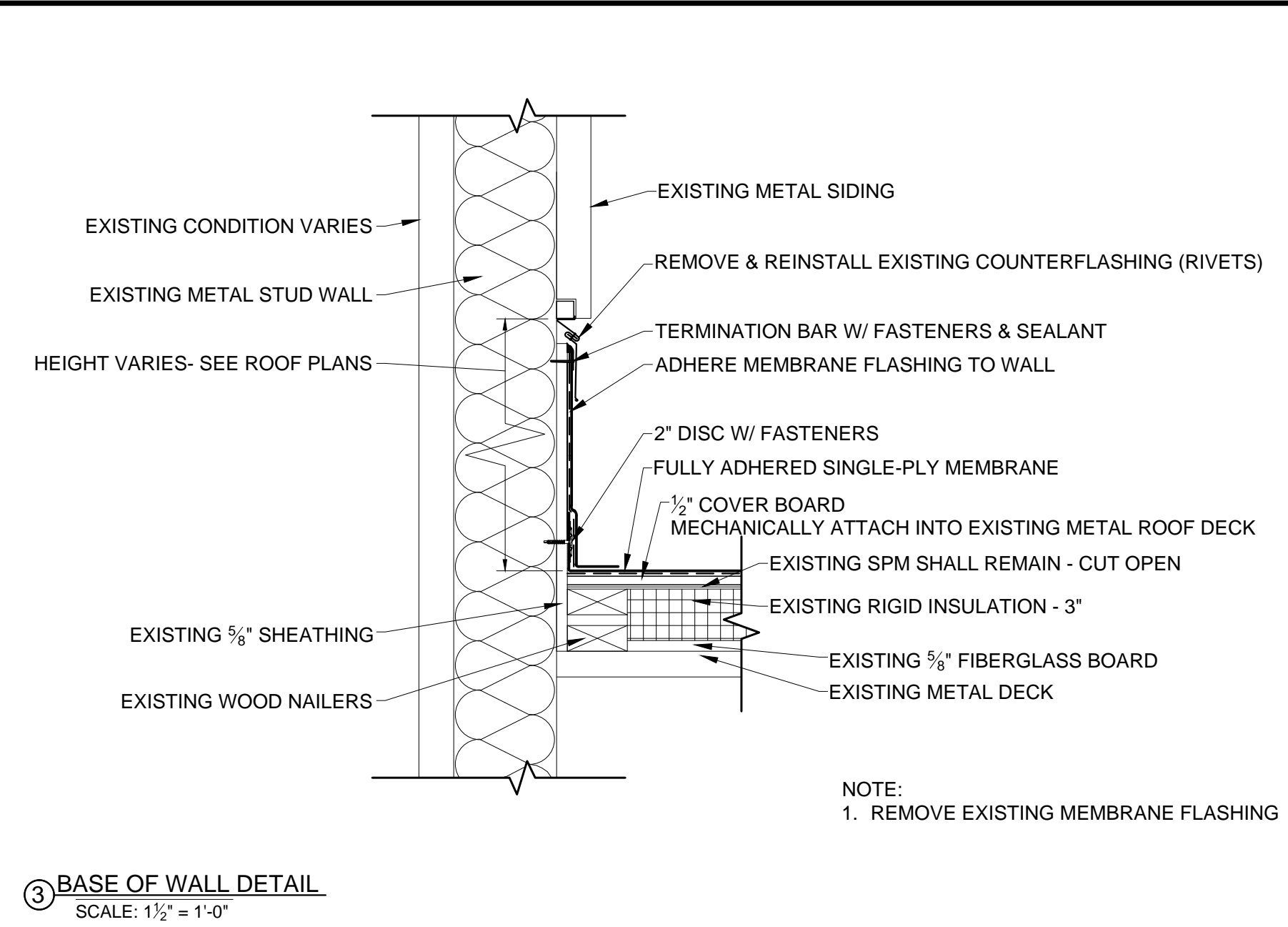
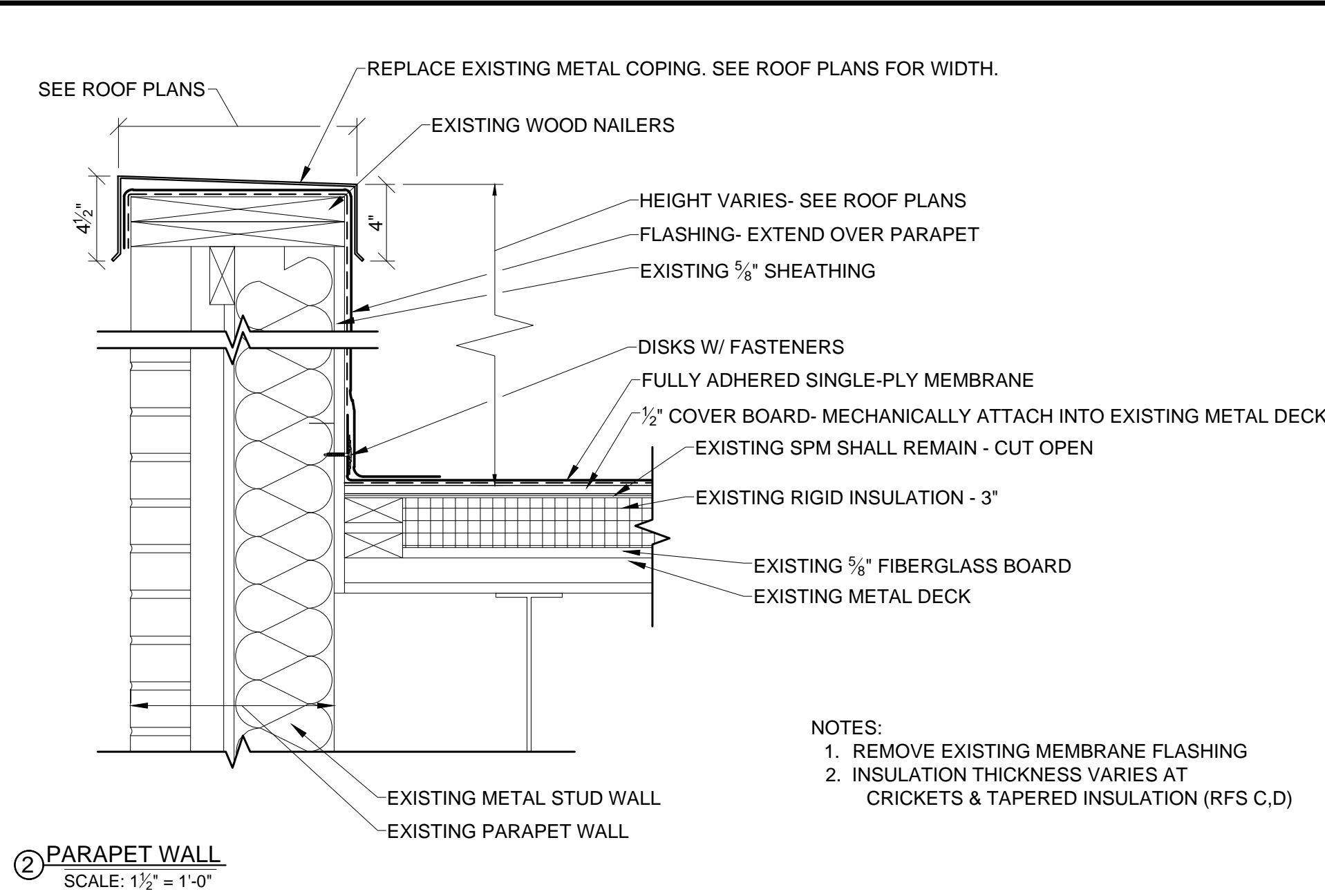
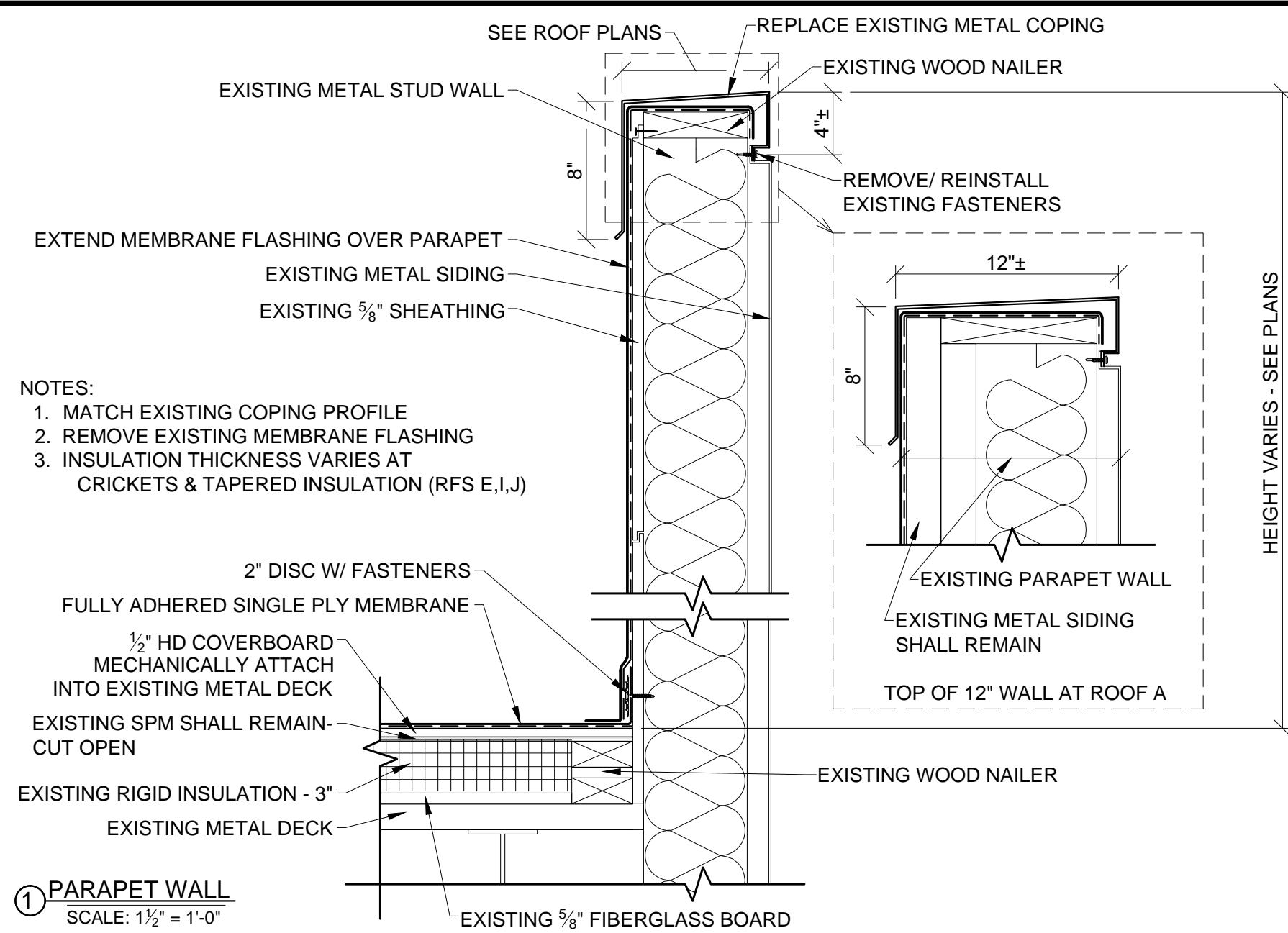
Drawn: A. Rognas

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NORTH
ROOF PLAN

A202

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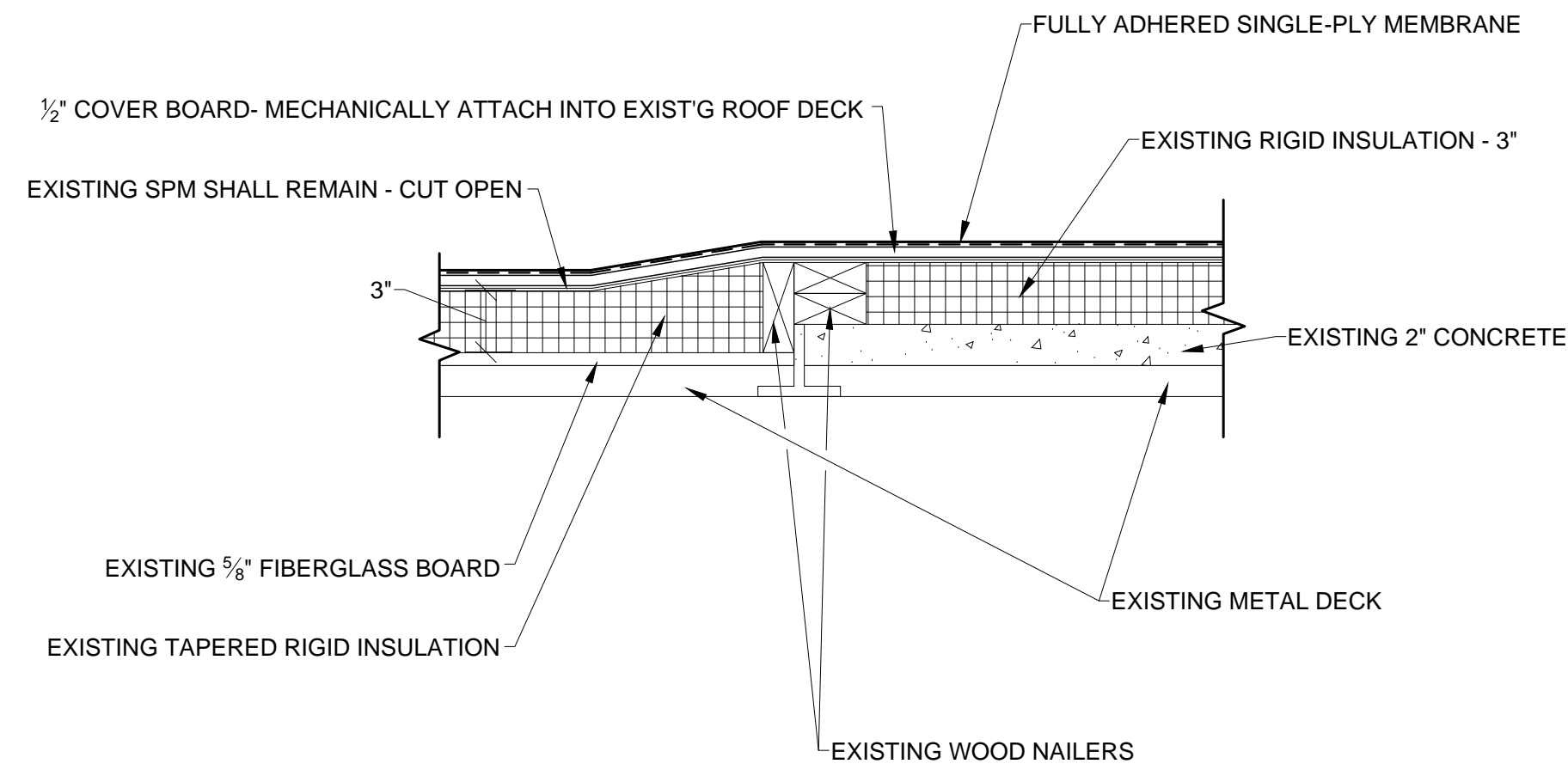
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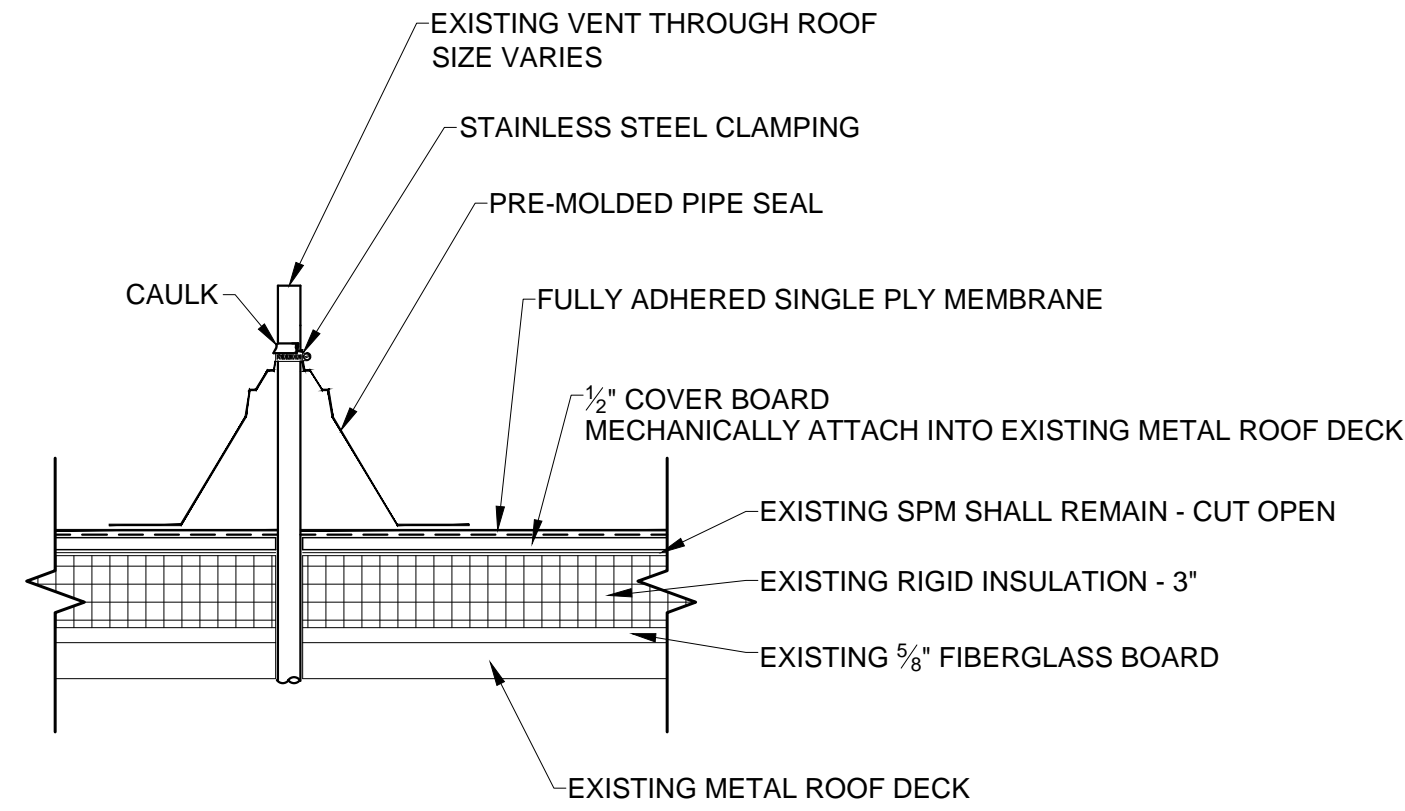
DETAILS

A301

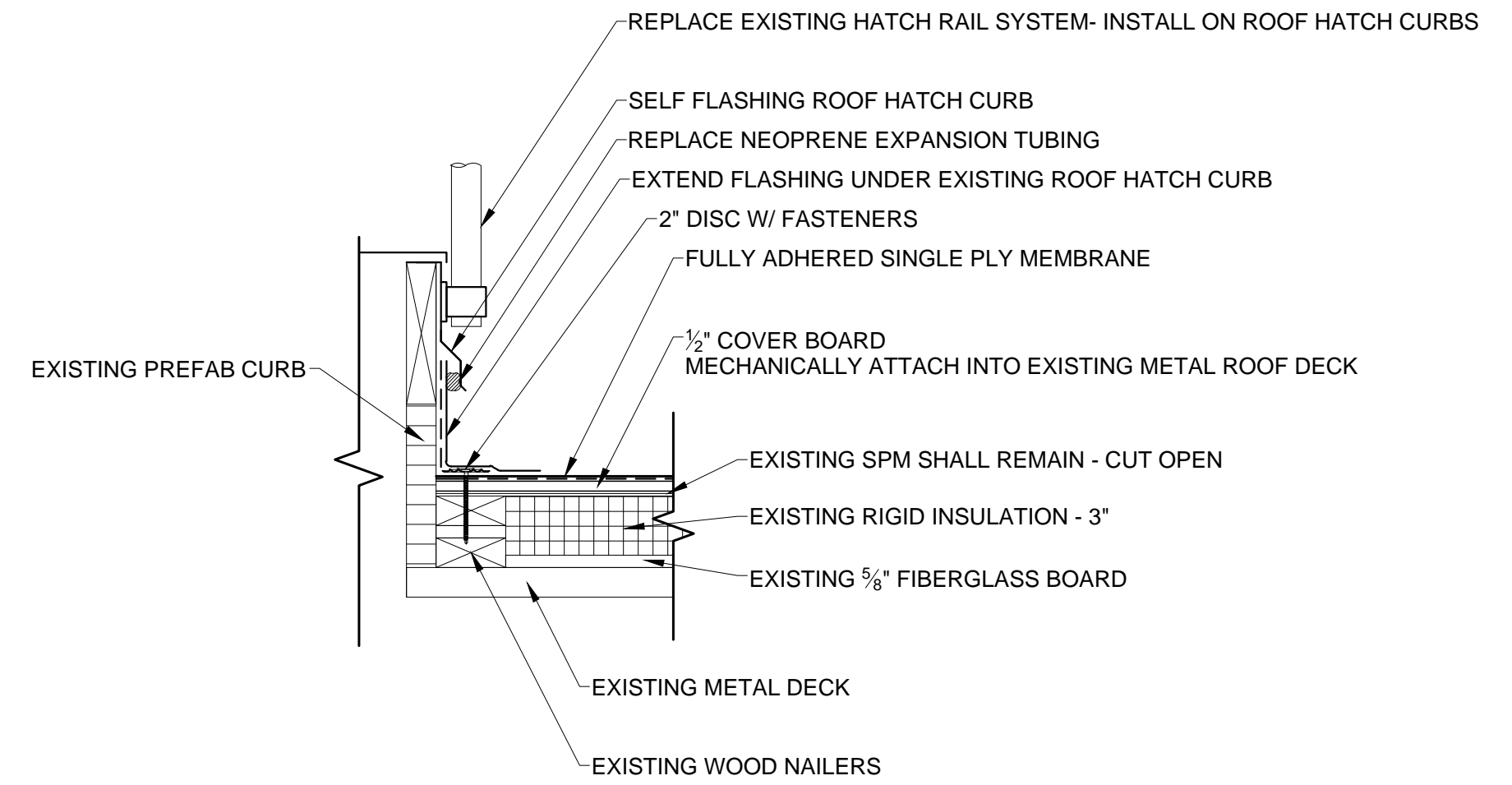
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① TRANSITION - TAPER
SCALE: 1 1/2" = 1'-0"

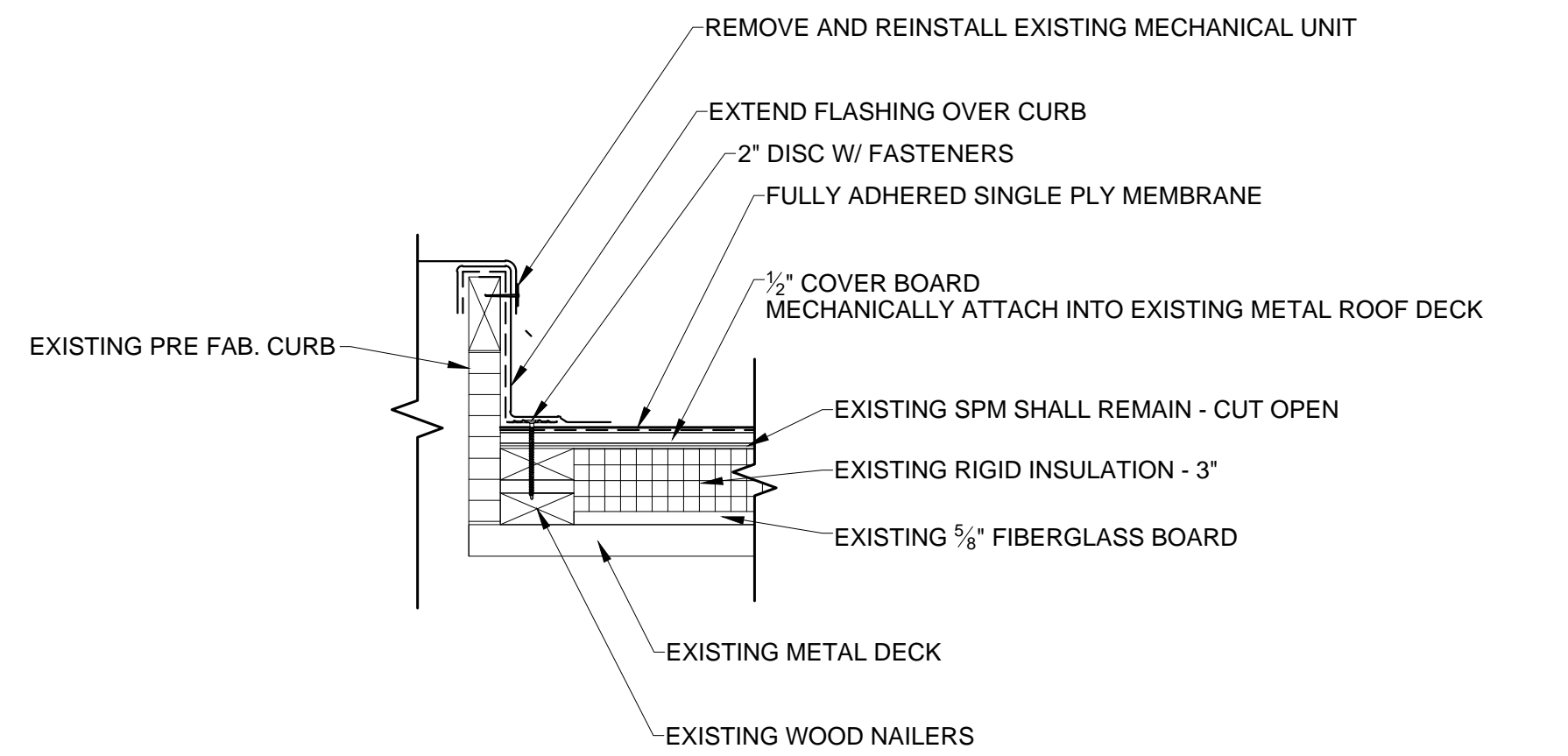


② PLUMBING VENT DETAIL
SCALE: 1 1/2" = 1'-0"



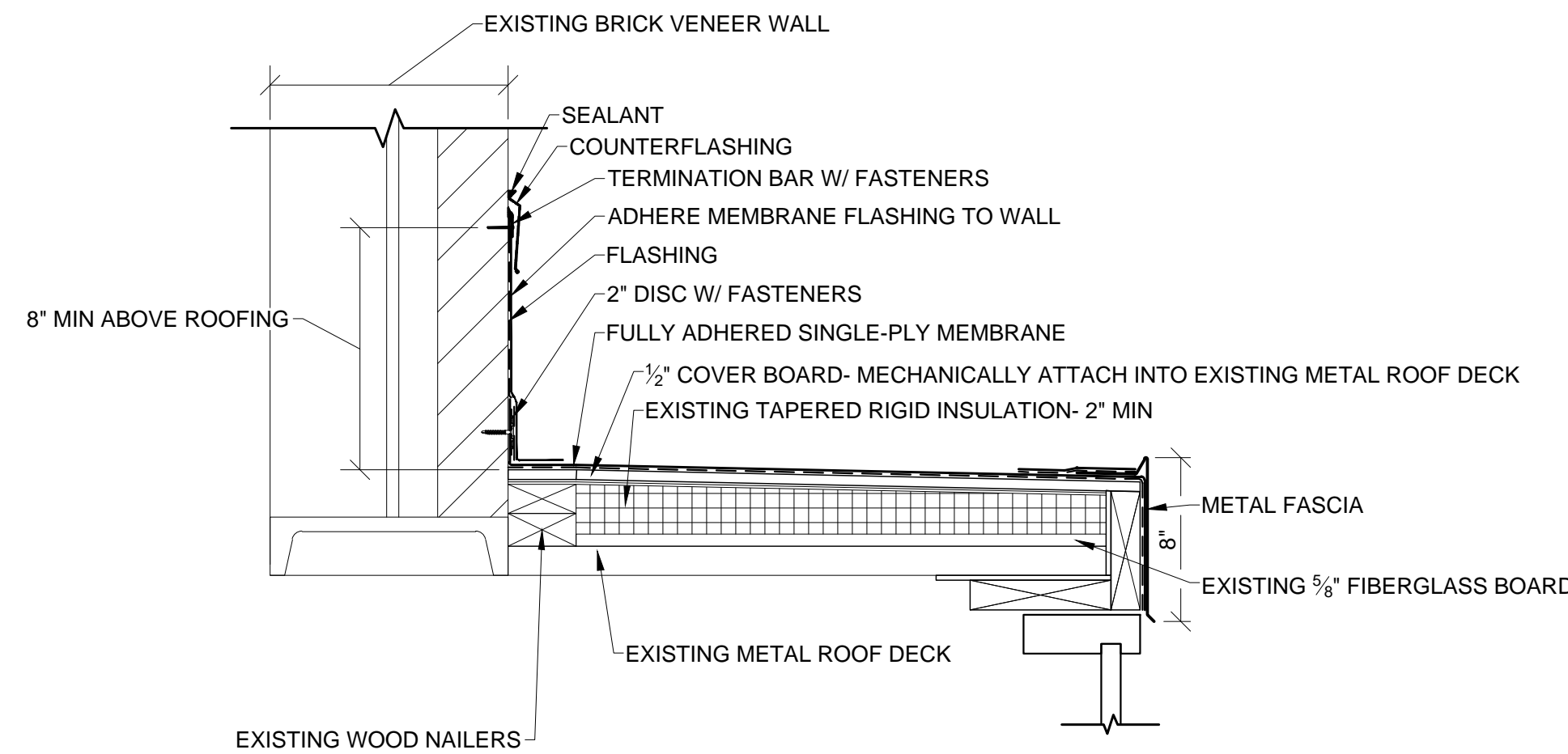
③ ROOF HATCH
SCALE: 1 1/2" = 1'-0"

NOTE:
1. REMOVE EXISTING FLASHING
2. ALT. NO. 1- REPLACE HATCH RAIL SYSTEM



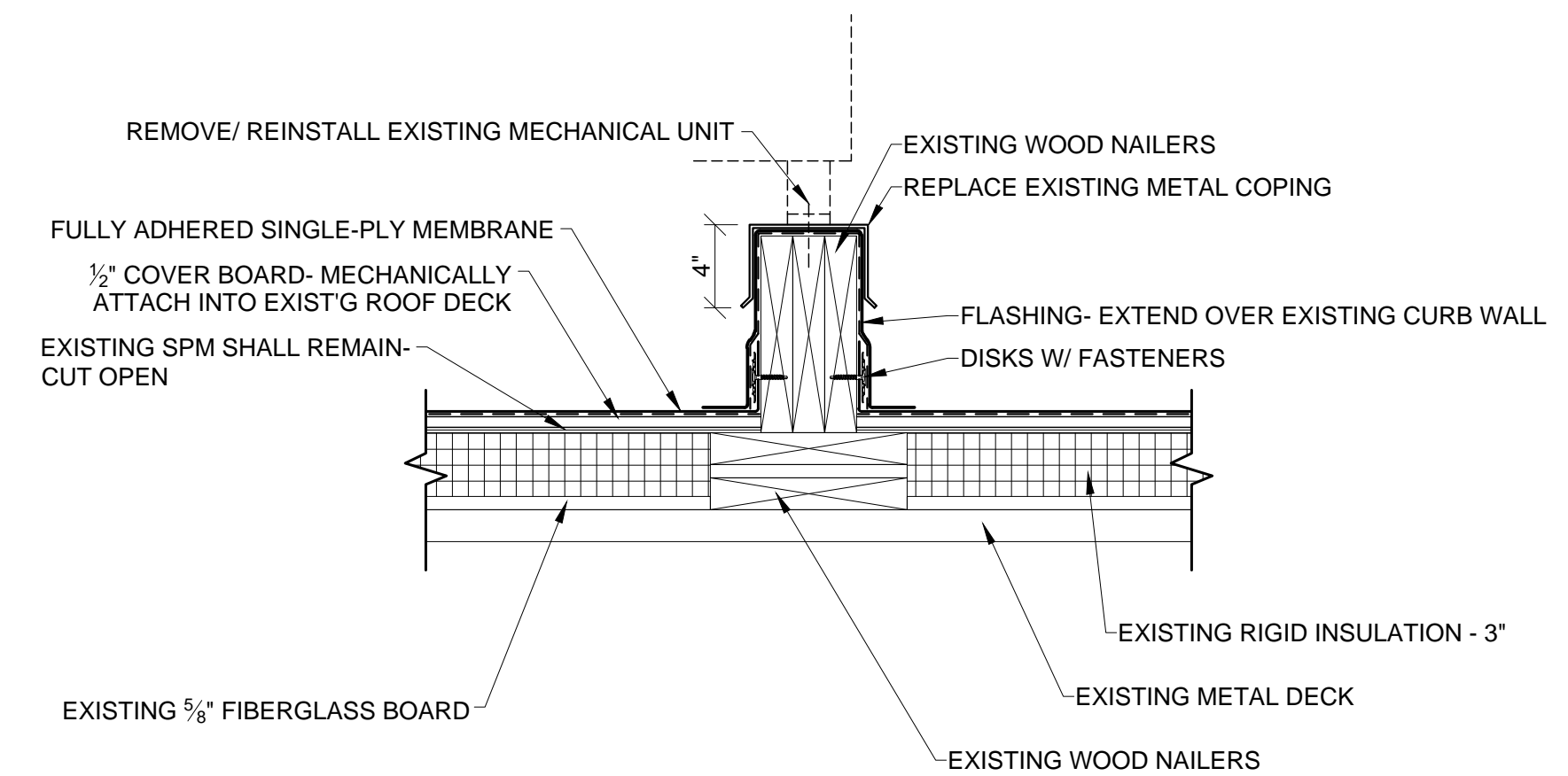
④ MECHANICAL UNIT CURB
SCALE: 1 1/2" = 1'-0"

NOTES:
1. REMOVE EXISTING FLASHING
2. DISCONNECT/CONNECT EXISTING MECHANICAL UNIT POWER BY LICENSED ELECTRICIAN.



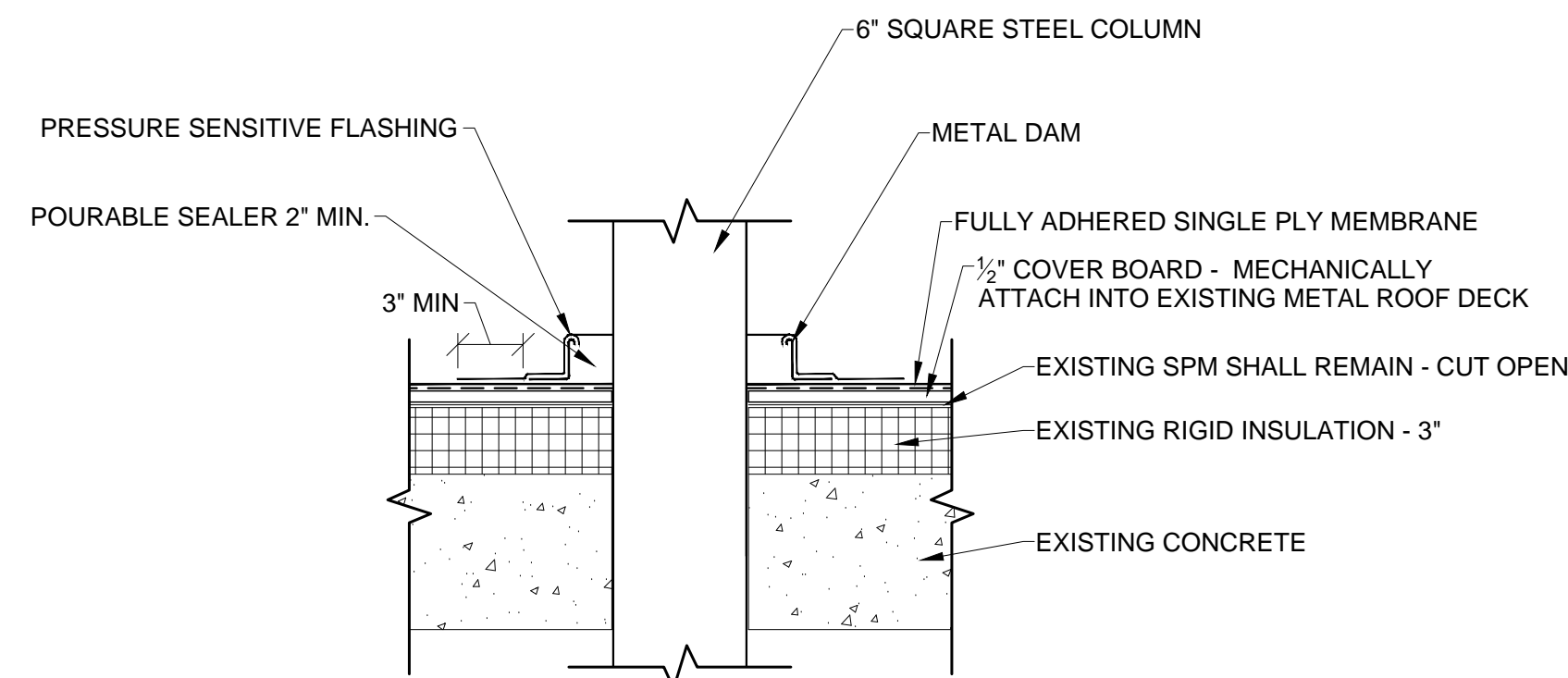
⑤ ROOF H
SCALE: 1 1/2" = 1'-0"

NOTE:
1. REMOVE EXISTING FLASHING, T-BAR, METAL FASCIA

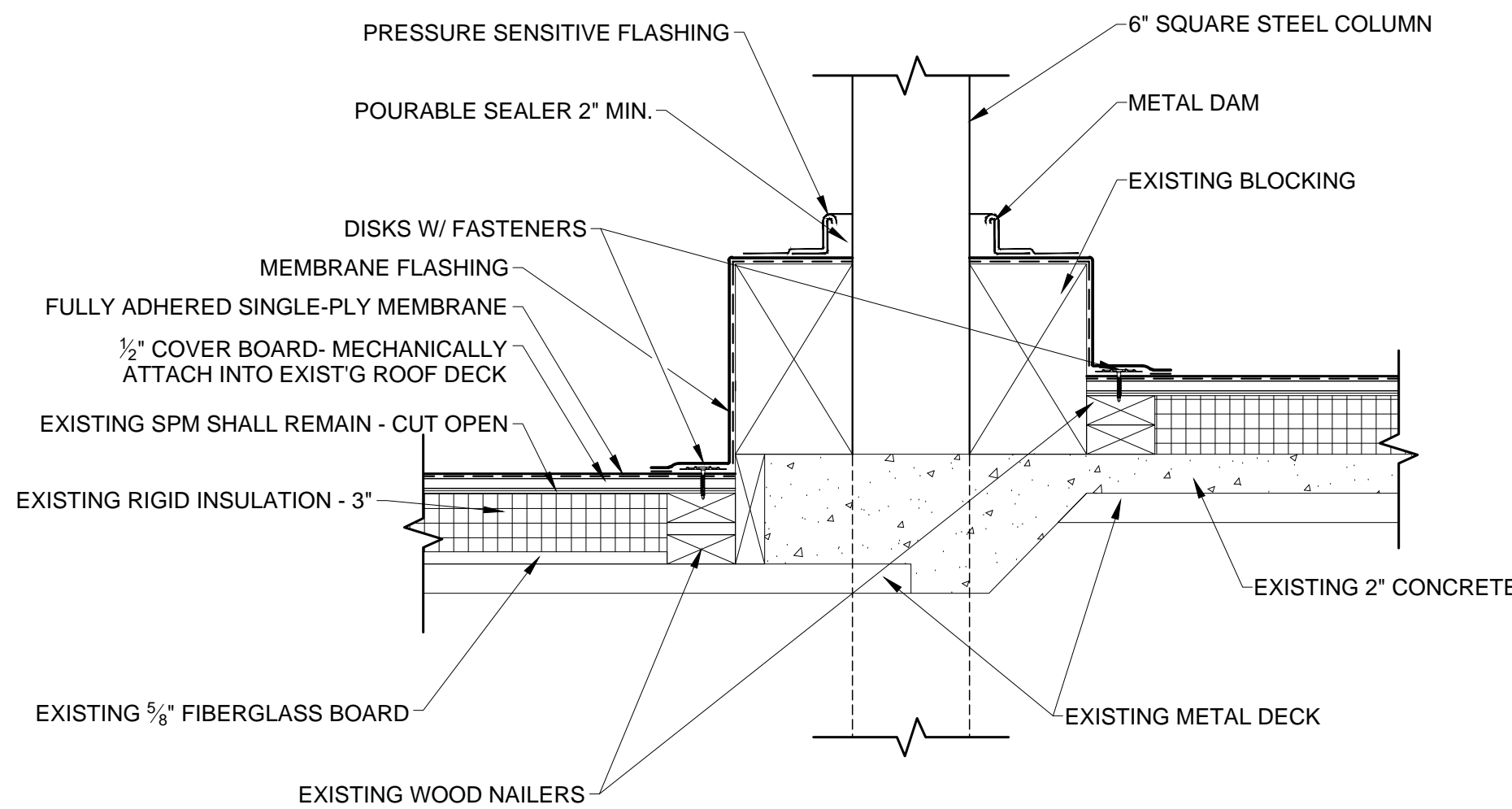


⑥ MECHANICAL SUPPORT CURB
SCALE: 1 1/2" = 1'-0"

NOTE:
1. REMOVE EXISTING MEMBRANE FLASHING

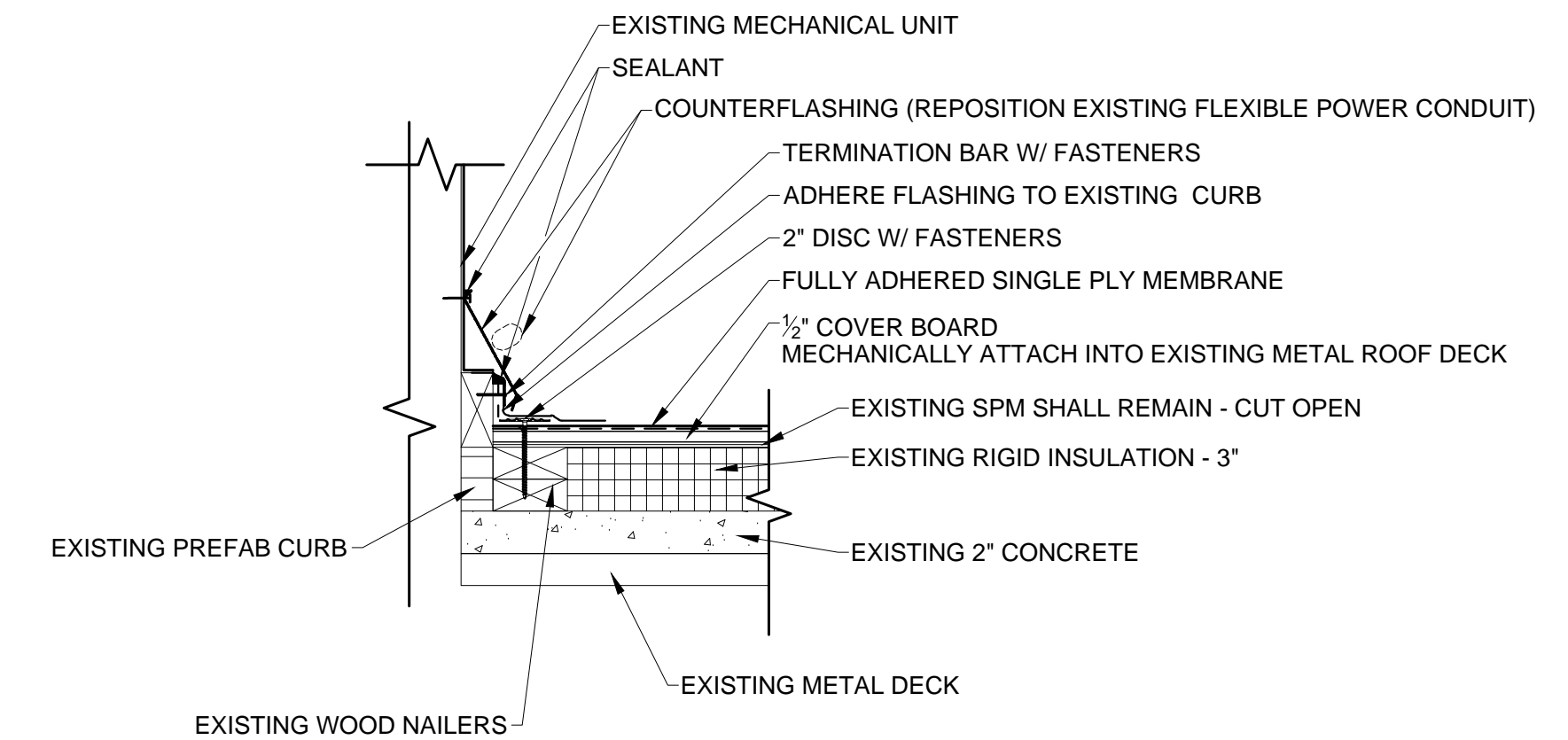


⑦ POURABLE SEALER POCKET
SCALE: 1 1/2" = 1'-0"



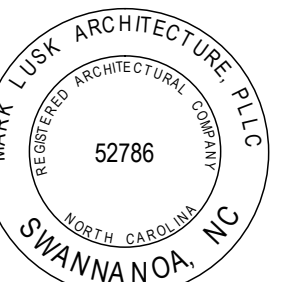
⑧ COLUMN CURB & PSP
SCALE: 1 1/2" = 1'-0"

NOTE:
1. REMOVE EXISTING MEMBRANE FLASHING



⑨ LARGE MECHANICAL UNIT
SCALE: 1 1/2" = 1'-0"

NOTE:
1. REMOVE EXISTING FLASHING



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DETAILS

A302