

South Campus Building S202 Ceiling Tile Replacement & Corridors Re-Painting

ROWAN-CABARRUS COMMUNITY COLLEGE

1531 Trinity Church Rd.

Concord, NC

INVITATION TO BID

NOTICE TO BID

Sealed bids for the Rowan-Cabarrus Community College, **South Campus Building S202 Ceiling Tile Replacement and Corridors Re-Painting Project** will be received via email, (pdf format only, maximum 20 MG) at collegeenvironment@rccc.edu until, but no later than **2:00 pm**, local prevailing time, **Thursday, August. 27, 2026**, and then publicly opened and read immediately thereafter via ZOOM. Bidders are encouraged to view the bid opening in real time via a ZOOM link that follows.

The **Bid Name** and **IFB # 121-071426JVC** shall be referenced as the subject line of all emails.

Bidders shall be Contractors licensed in North Carolina, with Owner approved sub-contractors as required. The General Contractor shall be the Prime Contractor, and the bid shall contain all work required to ensure complete and satisfactory installation as designed. Bidders will receive an email receipt notification that their bids have been received.

Bids received after the announced time and date for submittal will be rejected. Bidders are responsible for ensuring their bid is received before the deadline indicated. All firms **must be registered** with the North Carolina Electronic Vendor Portal (eVP and Purchase Orders) prior to presenting a proposal. Failure to register may result in disqualification. North Carolina Electronic Vendor Portal may be found at <https://evp.nc.gov/>

Contractual Requirement: All bidders must agree to execute a contract that incorporates and adheres to the State of North Carolina's General Terms and Conditions. These terms are available for review at: <https://www.doa.nc.gov/north-carolina-general-terms-and-conditions-5-2025/open>.

Bid bonds are required in the amount of 5% of the total bid submitted. If paying by check, send to:

Rowan-Cabarrus Community College
PO Box 1595, (1333 Jake Alexander Blvd. S, for courier, etc.)
Salisbury, NC 28145
ATTN: Ronda Holland

Checks must be received by 2:00 pm, Thursday, August 27, 2026. **Only** Bid Bond checks can be mailed, bids and other items **must** be sent via email.

A **Mandatory Pre-Bid** Conference will be held at **10:00 am** on **Wednesday, August 12, 2026**, at the **South Campus Building S202, 1531 Trinity Church Rd., Concord, NC**. Attendees to gather at the left side Stair Tower Entry as viewed from the parking Lot. The purpose of this meeting will be to review the areas for rework as highlighted in the marked-up existing drawings. Attendance at the meeting is required to submit a bid.

SCOPE OF WORK

1. Partial demolition and replacement of existing ceiling tiles and grids per marked-up plans provided,
2. Verification / corrections as needed for existing above ceiling infrastructure and independent structural support for any non-compliant anchoring or support of IT cabling, HVAC ductwork, fire alarm devices, lighting, and any other miscellaneous concealed conditions for corrective work,
3. Installation of new ceiling grid and tiles where marked on plans to re-align with existing HVAC and lighting already in place, which may need additional support.
 - a. NOTE: New corridor ceiling tiles and grid on second and third floors to be re-worked to center sprinkler heads in 2x2 ACT. Verifications with Facilities and College Environment on site for any issues.
 - b. Three areas for different installations (ref. attached plans):
 - i. Ceiling Tile replacements only
 - ii. Ceiling Tile and Grid replacement
 - iii. Add Alternate Ceiling Tile and Grid Replacement
4. Compliance with Rowan-Cabarrus Community College Facilities Design Manual (FDM) Specifications, and North Carolina Building Code requirements.
5. Re-painting all corridor walls for all three levels with College specified and approved color as noted in the Facilities Design Manual in eggshell finish.

PROJECT OVERVIEW / Additional Details for Compliance

1. Construction Phasing and Access
 - Maintain campus access and emergency routes at all times.
 - Coordinate construction sequencing with the College to minimize disruption.
 - Provide temporary pedestrian control, barricades, and signage as required.
2. Quality Control and Acceptance
 - Final acceptance is contingent upon visual inspection, and compliance with specifications.
3. Deliverables
 - Construction schedule.
 - Material and Subcontractor Submittals of planned use and staffing.
 - Warranty information per College standards. See FDM.
4. Assumptions and Exclusions
 - Scope is based on the provided mark-ups attached below, and listings above.
 - Any major scope changes resulting from concealed conditions shall be addressed through Requests for Information and any formal Change Order processes, if required.

All inquiries for clarifications and questions must be received via email to john.cole@rccc.edu by **Monday, August 17, 2026 at 1:00 pm** and will be answered via Addendum no later than 5:00 PM, **August 19, 2026**.

ATTACHMENTS

1. Drawings - South S202 High-lighted Former Project Drawings
 - AD201 – First Level Reflected Ceiling Plan – Demolition - dated April 08, 2024
 - AD202 – Second Level Reflected Ceiling Plan – Demolition - dated April 08, 2024
 - AD203 – Third Level Reflected Ceiling Plan – Demolition - dated 04-08-24
2. Facility Design Manual Standards -2024 – Part 3 Ceiling Grid & Tiles – 3.9.2

IFB # 121-071426JVC

BID OPENING ZOOM LINK

Join Zoom Meeting

<https://rccc-edu.zoom.us/j/93147817418>

Meeting chat link

<https://rccc-edu.zoom.us/jc/93147817418>

Meeting ID: 931 4781 7418

One tap mobile

+16465588656,,93147817418# US (New York)

+16469313860,,93147817418# US

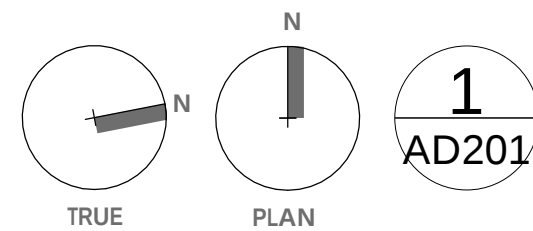
Join instructions

<https://rccc-edu.zoom.us/join?signature=yLFGPa26hxbkrFX5umdPoyHVjMZ75TgGQ3FCosP6giY>

END OF INVITATION TO BID

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FIRST LEVEL REFLECTED CEILING PLAN - DEMOLITION

REFLECTED CEILING BASE BID / ALTERNATE	
WORK SHOWN IN THE FOLLOWING ROOMS IS BASE BID.	
101C	101D
101E	104A
104B	105
106	107
107A	111
112	117A
117B	117C
118A	118B
118C	
ALL OTHER WORK SHOWN ON THE REFLECTED CEILING PLAN IS TO BE INCLUDED IN ALTERNATE #2	

CEILING LEGEND			
	2x4 RECESSED LED FIXTURE		SMOKE DETECTOR
	2x2 RECESSED LED FIXTURE		OCCUPANCY SENSOR
	RECESSED LED DOWN LIGHT		FIRE ALARM DEVICE
	CEILING MOUNTED LIGHT		CAMERA
	EXIT SIGN		UPRIGHT SPRINKLER HEAD
	DIRECTIONAL EXIT SIGN		SPRINKLER HEAD MOUNTED IN CEILING
			INDICATES CEILING MOUNTED DEVICES, SPRINKLER HEADS, ETC. TO BE REMOVED
			INDICATES CEILING MOUNTED DEVICES, SPRINKLER HEADS, ETC. TO BE RELOCATED LOCATED IN CENTER OF NEW CEILING TILE, TYPICAL
	SUPPLY AIR DIFFUSER		RETURN AIR DIFFUSER / EXHAUST GRILLE
	SPEAKER WITH GRILLE		LINEAR SUPPLY AIR DIFFUSER

REFLECTED CEILING PLAN KEYED NOTES	
(C.0)	NO WORK
(C.1)	REMOVE EXISTING CEILING TILES, EXISTING GRID TO REMAIN
(C.2)	REMOVE EXISTING LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
(C.3)	REMOVE EXISTING LIGHT FIXTURE AND RE-USE IN NEW WORK, SEE ELECTRICAL DRAWINGS
(C.4)	INFILL NEW CEILING GRID TEES TO MATCH EXISTING FOR 2X2 LAYOUT AND PROVIDE NEW CEILING TILE
(C.5)	NEW LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
(C.6)	EXISTING LIGHT FIXTURE RE-USED IN NEW LOCATION, SEE ELECTRICAL DRAWINGS
(C.7)	EXISTING CEILING MOUNTED PROJECTOR TO REMAIN, RELOCATE MOUNT SLIGHTLY AS NECESSARY TO INSTALL NEW CEILING GRID TEES
(C.8)	EXISTING WALL MOUNTED ROLL DOWN SCREEN TO REMAIN
(C.9)	REMOVE EXISTING WALL MOUNTED ROLL DOWN SCREEN AND RE-USE IN NEW WORK.

WALL LEGEND	
	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	EXISTING 1 HR RATED WALL TO REMAIN
	EXISTING 2 HR RATED WALL TO REMAIN
	NEW 1 HR RATED WALL
	NEW WALL
NOTE: WALL SYMBOLS FOR GRAPHICAL PURPOSES ONLY. REFER TO PARTITION TYPES AND WALL SECTIONS FOR ACTUAL WALL CONSTRUCTION.	



7035 NORTHWINDS DR NW
CONCORD, NC 28027
704.788.2000
www.ycharch.com

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CLIENT:



RCCC Building S202 Renovations

1531 Trinity Church Rd | Concord, NC 28027

SCO #22-25351-02A

NCCCS #2692

YCHA COM.#: 22219.00

PHASE & DATE:

CONSTRUCTION DOCUMENTS
04-08-24

REVISIONS:

SHEET TITLE:

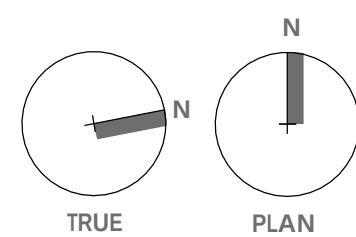
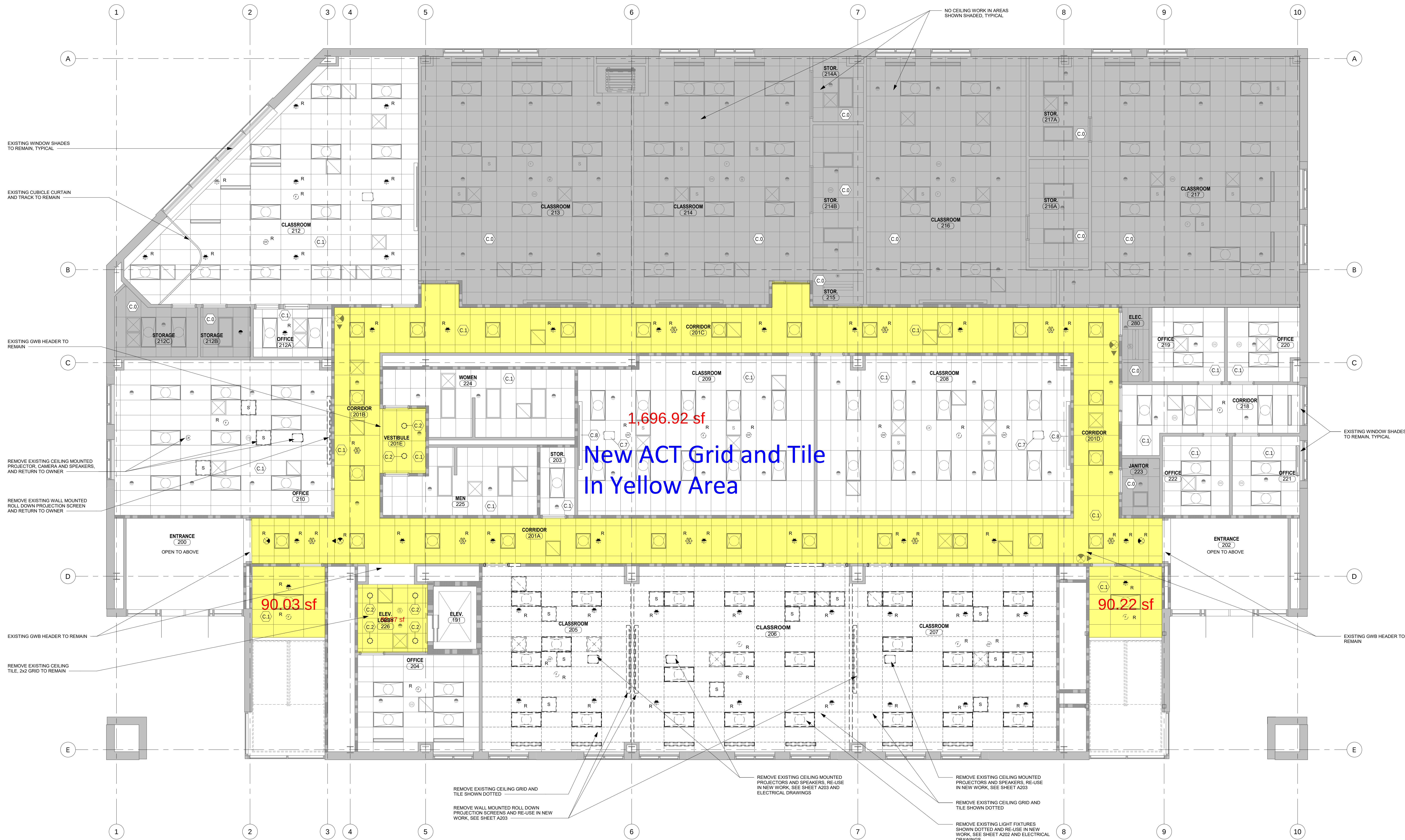
FIRST LEVEL
REFLECTED CEILING
PLAN - DEMOLITION

ARCHITECTURAL:

AD201

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1
AD202

SECOND LEVEL REFLECTED CEILING PLAN - DEMOLITION

3/16" = 1'-0"

REFLECTED CEILING BASE BID / ALTERNATE

WORK SHOWN IN THE FOLLOWING ROOMS IS BASE BID.

204 205 207 210 218 219 220 221 222

ALL OTHER WORK SHOWN ON THE REFLECTED CEILING PLAN IS TO BE INCLUDED IN ALTERNATE #2

CEILING LEGEND

	2x4 RECESSED LED FIXTURE		SMOKE DETECTOR		SUPPLY AIR DIFFUSER
	2x2 RECESSED LED FIXTURE		OCCUPANCY SENSOR		RETURN AIR DIFFUSER / EXHAUST GRILLE
	RECESSED LED DOWN LIGHT		FIRE ALARM DEVICE		SPEAKER WITH GRILLE
	CEILING MOUNTED LIGHT		CAMERA		LINEAR SUPPLY AIR DIFFUSER
	EXIT SIGN		UPRIGHT SPRINKLER HEAD		
	DIRECTIONAL EXIT SIGN		SPRINKLER HEAD MOUNTED IN CEILING		
			INDICATES CEILING MOUNTED DEVICES, SPRINKLER HEADS, ETC. TO BE REMOVED		
			INDICATES CEILING MOUNTED DEVICES, SPRINKLER HEADS, ETC. TO BE RELOCATED LOCATED IN CENTER OF NEW CEILING TILE, TYPICAL		

REFLECTED CEILING PLAN KEYED NOTES

- (C.0) NO WORK
- (C.1) REMOVE EXISTING CEILING TILES, EXISTING GRID TO REMAIN
- (C.2) REMOVE EXISTING LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- (C.3) REMOVE EXISTING LIGHT FIXTURE AND RE-USE IN NEW WORK, SEE ELECTRICAL DRAWINGS
- (C.4) INFILL NEW CEILING GRID TEES TO MATCH EXISTING FOR 2X2 LAYOUT AND PROVIDE NEW CEILING TILE
- (C.5) NEW LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- (C.6) EXISTING LIGHT FIXTURE RE-USED IN NEW LOCATION, SEE ELECTRICAL DRAWINGS
- (C.7) EXISTING CEILING MOUNTED PROJECTOR TO REMAIN, RELOCATE MOUNT SLIGHTLY AS NECESSARY TO INSTALL NEW CEILING GRID TEES
- (C.8) EXISTING WALL MOUNTED ROLL DOWN SCREEN TO REMAIN
- (C.9) REMOVE EXISTING WALL MOUNTED ROLL DOWN SCREEN AND RE-USE IN NEW WORK.

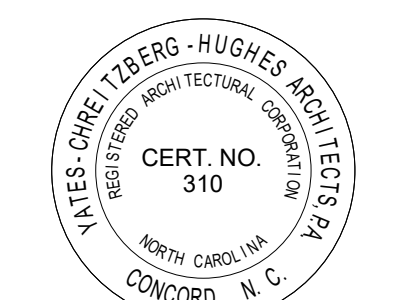
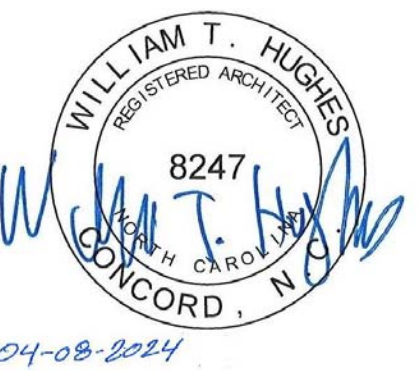
WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	EXISTING 1 HR RATED WALL TO REMAIN
	EXISTING 2 HR RATED WALL TO REMAIN
	NEW 1 HR RATED WALL
	NEW WALL

NOTE: WALL SYMBOLS FOR GRAPHICAL PURPOSES ONLY. REFER TO PARTITION TYPES AND WALL SECTIONS FOR ACTUAL WALL CONSTRUCTION.

CONSULTANT:

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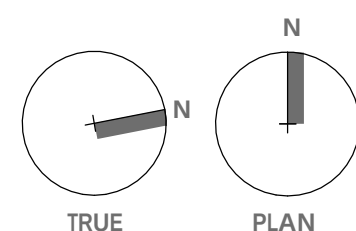
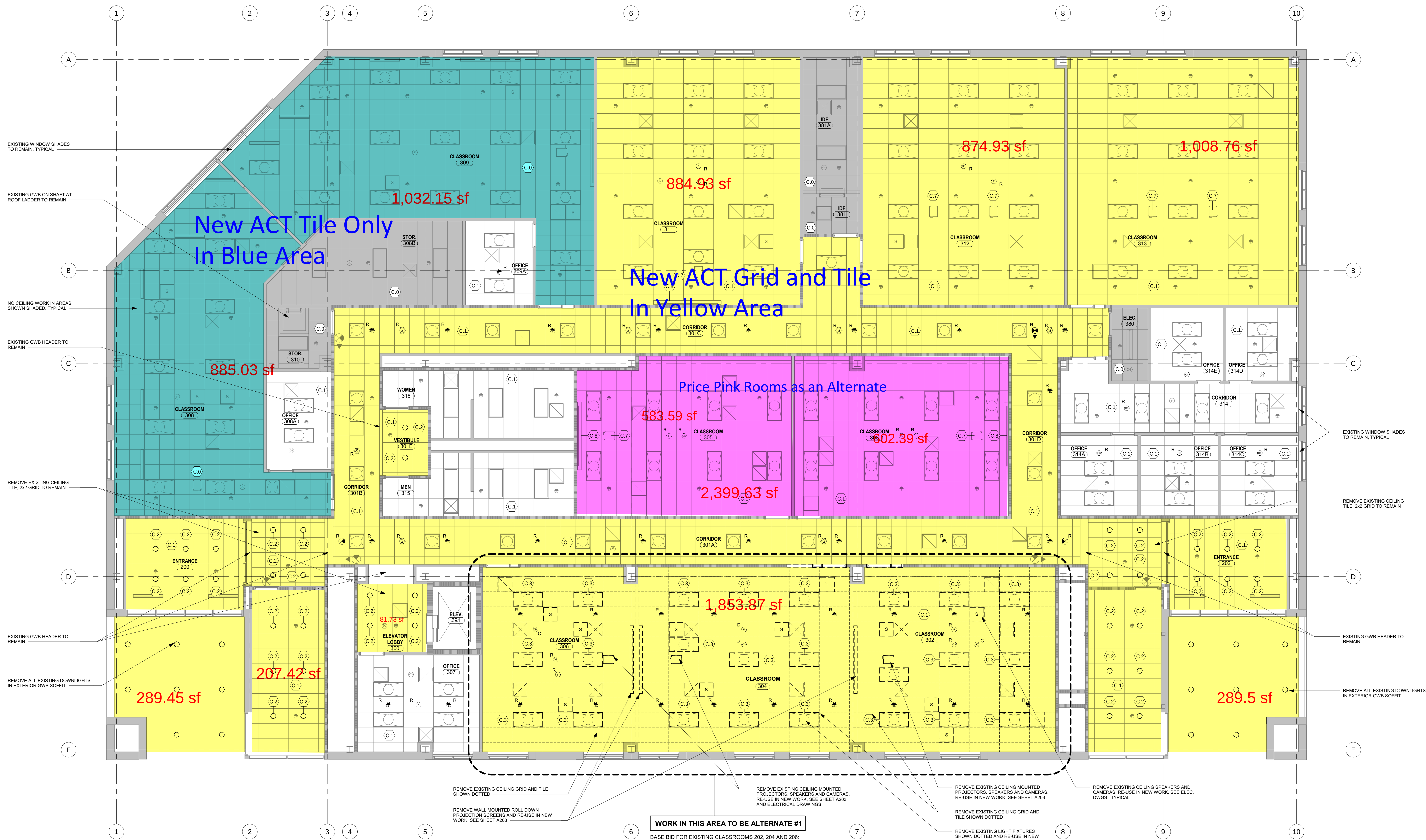
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SECOND LEVEL
REFLECTED CEILING
PLAN - DEMOLITION

ARCHITECTURAL:

AD202

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1
AD203

THIRD LEVEL REFLECTED CEILING PLAN - DEMOLITION

3/16" = 1'-0"

REFLECTED CEILING BASE BID / ALTERNATES

WORK SHOWN IN THE FOLLOWING ROOMS IS BASE BID:	307	308A	309A	314	314A	314B	314C	314D	314E
BASE BID FOR EXISTING CLASSROOMS:	302	304	306						
REMOVE EXISTING CEILING TILES, EXISTING GRID, LIGHTS, DIFFUSERS, ETC. TO REMAIN									
ALTERNATE #1 - REMOVE ALL CEILING GRID, TILE, LIGHTS, DIFFUSERS, ETC. IN ROOMS	302	304	306						
ALL OTHER WORK SHOWN ON THE REFLECTED CEILING PLAN IS TO BE ALTERNATE #2									

CEILING LEGEND

	2x4 RECESSED LED FIXTURE		SMOKE DETECTOR		SUPPLY AIR DIFFUSER
	2x2 RECESSED LED FIXTURE		OCCUPANCY SENSOR		RETURN AIR DIFFUSER / EXHAUST GRILLE
	RECESSED LED DOWN LIGHT		FIRE ALARM DEVICE		SPEAKER WITH GRILLE
	CEILING MOUNTED LIGHT		CAMERA		LINEAR SUPPLY AIR DIFFUSER
	EXIT SIGN		UPRIGHT SPRINKLER HEAD		
	DIRECTIONAL EXIT SIGN		SPRINKLER HEAD MOUNTED IN CEILING		
			INDICATES CEILING MOUNTED DEVICES, SPRINKLER HEADS, ETC. TO BE REMOVED		
			INDICATES CEILING MOUNTED DEVICES, SPRINKLER HEADS, ETC. TO BE RELOCATED LOCATED IN CENTER OF NEW CEILING TILE, TYPICAL		

REFLECTED CEILING PLAN KEYED NOTES

(C.0)	NO WORK
(C.1)	REMOVE EXISTING CEILING TILES, EXISTING GRID TO REMAIN
(C.2)	REMOVE EXISTING LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
(C.3)	REMOVE EXISTING LIGHT FIXTURE AND RE-USE IN NEW WORK, SEE ELECTRICAL DRAWINGS
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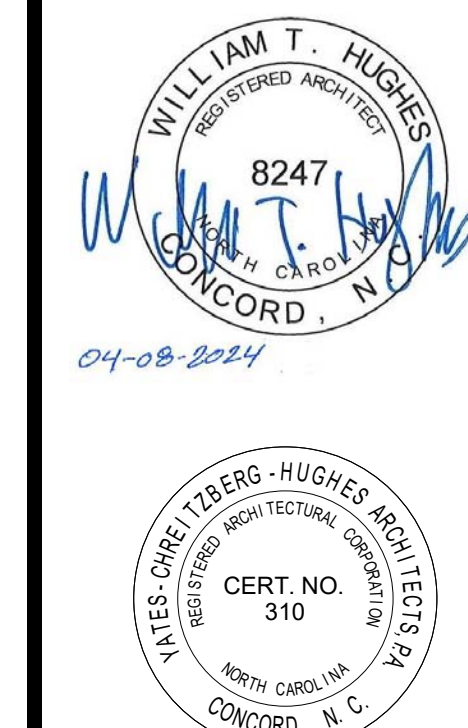
WALL LEGEND

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	EXISTING 1 HR RATED WALL TO REMAIN
	EXISTING 2 HR RATED WALL TO REMAIN
	NEW 1 HR RATED WALL
	NEW WALL

NOTE: WALL SYMBOLS FOR GRAPHICAL PURPOSES ONLY. REFER TO PARTITION TYPES AND WALL SECTIONS FOR ACTUAL WALL CONSTRUCTION.

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SHEET TITLE:

THIRD LEVEL
REFLECTED CEILING
PLAN - DEMOLITION

ARCHITECTURAL:

AD203

- Level 3** This gypsum board finish is typically specified in appearance areas that will receive heavy or medium texture finishes before final painting or in areas where heavy-duty commercial-grade wallcoverings will be applied as the final decoration. Level 3 is not recommended for smooth wall designs or applications where light textures; non-continuous textures or lightweight wallcoverings will be applied. After wiping joints with a joint knife, leaving a thin layer of compound over all joints and interior angles, add a separate coat of joint compound over all joints and interior angles. Cover fastener heads and accessories with two layers of joint compound. Make sure the surface is smooth and free of tool marks.
- Level 4** Finish Level 4 is typically specified in appearance areas where smooth wall designs are going to be decorated with flat paints, light textures or non-continuous textures or where wallcoverings will be applied. This level of finish is not recommended in spaces where non-flat or dark/deep-tone paints are going to be applied. As in previous levels, all joints and interior angles have tape embedded in the joint compound. After wiping joints with a joint knife, leaving a thin layer of compound over all joints, add two coats of joint compound over all flat joints. After wiping interior angles with a joint knife, leaving a thin layer of compound, add one separate coat of joint compound over interior angles. Cover fastener heads and accessories with three layers of joint compound. Make sure the surface is smooth and free of tool marks. If finishing glass mat or fiber-reinforced gypsum panels, check with the manufacturer for finishing recommendations.
- Level 5** Gypsum board finishing Level 5 is typically specified in appearance areas where smooth wall designs are decorated with non-flat paints, glossy or decorative finishes, or dark/deep-tone paints or where critical lighting conditions occur. Level 5 provides a uniform surface and minimizes the possibility of joint photographing and/or fasteners showing through the final decoration. In Level 5, all joints and interior angles have tape embedded in the joint compound. All joints are then wiped with a joint knife, leaving a thin layer of compound over all joints and interior angles. Add two coats of joint compound over all flat joints. Add one coat of joint compound over interior angles. Cover fastener heads and accessories with three coats of joint compound. Apply a skim coat of joint compound or material manufactured for this purpose to the entire surface. Make sure the surface is smooth and free of tool marks.

3.9.2. Acoustical Tile Ceilings

Acoustical tile ceilings shall be exposed grid, lay-in system. Acoustical tiles shall be two feet square (2'x2') lay-in tiles composed of non-combustible materials.

- 3.9.2.1.** The standard Acoustical ceiling tile suspension systems shall be wide faces, double web, steel which are hot-dip galvanized with prefinished 15/16" flanges. They shall be rated for intermediate duty. Color: White. Acceptable manufacturers are Armstrong, USG, and Chicago Metallic Corporation.
- 3.9.2.2.** The standard acoustical ceiling tiles shall be 3/4" thick, white, mineral based, treated with mold/mildew inhibitor. They shall have a reflectance of no less than LR 0.83, with a Noise Reduction Coefficient (NRC) of 0.70, and a Ceiling Attenuation Class on not less than 40 Armstrong Tundra, medium texture with tegular edge shall be the basis of design. Acceptable

manufacturers are Armstrong, USG, and CertainTeed. 3.9.2.1. USG Frost™ ClimaPlus™ #414, 2'x2'x3/4", Shadowline Edge with Bevel – Flat White 050.

3.9.2.3. Open Office and Collaboration spaces will have ceilings with high NRC and CAC characteristics.

3.9.2.4. Class A "Fire-Rated" materials shall be specified to complete a UL fire-rated ceiling system for fire protection of structural components, where fire-rated assembly is required by Code.

3.9.3. Flooring

The following materials are preferred at the locations indicated:

3.9.3.1. Terrazzo or non-slip porcelain tile – high traffic areas such as lobbies and corridors. At ornamental stairs, treads and risers shall match the adjacent materials with non-slip nosings.

3.9.3.2. Luxury Vinyl Tile (LVT) – low traffic lobbies and corridors, general purpose rooms, labs, classrooms where appropriate.

3.9.3.3. Carpet Tile – offices, conference rooms, auditorium aisles (with permanent seating), lounges, classrooms as appropriate, music or language listening rooms.

3.9.3.4. Porcelain Tile – restroom, bathrooms and showers.

3.9.3.5. Quarry Tile or Anti-bacterial Cement – food service areas.

3.9.3.6. Sealed Concrete – mechanical rooms, storage rooms, custodial rooms.

3.9.3.7. Raised, Removable Panels supported on interconnecting grids and pedestals, providing an under-floor plenum for air distribution and utilities may be utilized in Server Rooms, and other appropriate spaces.

3.9.3.8. Steel Trowel Finish Concrete – treads and risers with non-slip nosings for service and egress stairs.

3.9.3.9. Walk-off Carpet Tiles - building entrances.

3.9.4. Tile Carpeting

All carpet shall be selected from the North Carolina Qualified Products List (QPL) established by the State Purchasing Department.

Light colors (such as white, yellow, or gold) and solid colors which immediately show all traffic patterns and any stain must be avoided.

All carpet to be 24" x 24" tiles to facilitate replacement of damaged carpet and storage of attic stock. Use of broadloom carpet must be approved by the College.

All newly carpeted areas shall be appropriately covered with plastic or brown paper to protect the carpet from construction debris. Carpet shall be in clean, like new condition when turned over to the College.

Tile carpeting with a hard composition backing, but not containing PVC, is preferred for public spaces where floor access is desirable and for ease of repair. A mixed pattern with high soil and stain hiding capabilities is preferred.

3.9.4.1. Carpet Specification Requirements