

DESIGN-BUILD REQUEST FOR QUALIFICATIONS (RFQ)

May 15, 2026

Department/Agency	Pitt Community College
Project Title	Greenville Center Renovation-Public Services
Scope of Work	Renovation of approximately 27,000 sq.ft. for educational purposes and updating finishes in remaining areas.
Contact	Glenn Sheppard, AVP of Facilities and Construction
Telephone	(252) 493-7593
Email	Glsheppard063@m.pittcc.edu
Total Project Budget	\$4,500,000.00 inclusive of Owners Contingency and Reserves
Source of Funds	State of NC-SCIF
Approved OC-25 #	
Publish Date	May 15, 2026
Closing Date	June 19, 2026 @ 3:00pm
Submit FIVE (5) copies of qualifications information package to (this is both mailing and delivery address): Submit one electronic copy to Glsheppard063@my.pittcc.edu	<p>By Main: Pitt Community College-Facilities & Construction P.O. Drawer 7007 Greenville, NC 27836-7200 Attn: Glenn Sheppard</p> <p>Hand Delivery* Pitt Community College-Facilities and Construction 2064 Warren Drive Winterville, NC 28590</p> <p>*Fedex, UPS, or similar carrier methods may require this address for delivery. Please verify information with carrier.</p>
	<p>The proposing Design-Build entity must be able to perform the requisite Design and Construction services with appropriately qualified personnel having valid professional and business licenses in good standing under the laws of the State of North Carolina. Relevant information can be found the following websites:</p> <p>CONSTRUCTION:</p> <p>NC Licensing Board for General Contractors: (https://nclbgc.org) NC State Board of Examiners of Electrical Contractors: (https://www.ncbeec.org) NC State Board of Examiners of Plumbing, Heating and Fire Sprinkler Contractors: (https://www.nclicensing.org) NC Landscape Contractors' Licensing Board: (https://nclclb.com)</p> <p>DESIGN:</p> <p>NC Board of Architecture & Interior Designers: (http://www.ncbarch.org) NC Board of Examiners for Engineers and Surveyors: (http://www.ncbels.org) NC Board of Landscape Architects: (http://www.ncbola.org)</p>

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I. SCOPE

Pitt CC will be relocating our various Public Service programs to space available at our Greenville Center location. Relocating in this facility empowers the programs to operate in a space specifically tailored for them. The building is approximately 27,105 square feet with existing floorplan (Exhibit A), Study preliminary floorplan (Exhibit B) as well as exterior façade upgrade (Exhibit C). Additional work will include painting and finishes in other areas of the building as identified during design. All design guidelines are to follow minimum requirements identified by NC Law Enforcement, Fire, and EMS Training requirements.

Total project cost is \$4,500,000.00 inclusive of 5% Contingency.

The project delivery method will be Design-Build under NC Statute 143-128.1A Design-Build Contracts. Form of contract can be found at <https://www.doa.nc.gov/documents/files/sco-design-build-construction-contract-forms-and-bonds-3-1-2023/open>

Design-Build General Conditions: <https://www.doa.nc.gov/documents/files/sco-design-build-general-conditions-contract/open>

II. SCHEDULE

Advertise RFQ	05/12/2026
Pre-submittal Scope Briefing (<u>Mandatory</u> Attendance)	06/04/2026 - 10:00 AM
RFQ Submission Deadline	06/19/2026 - 3:00 PM
Shortlist Preferred Candidates (Rank top three)	06/26/2026
Interview & Recommend Preferred Finalist	07/08/2026-1:00pm to 5:00pm
Obtain Board of Trustees Approval	07/28/2026
Execute Pre-Construction Agreement	08/21/2026
Start Pre-Construction Services	Fall 2026
Start Construction Services	Winter 2026/Spring 2027
Project Complete	Fall 2027

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III. SELECTION CRITERIA

PCC will evaluate RFQ respondents according to the provisions of North Carolina G.S. 143-64.31, declaration of public policy regarding qualifications-based selection for Design-Build services. Additionally, and consistent with the University's goal of achieving at least 10% minority participation for providing products and services in this project, PCC will evaluate respondents' plans to address the provisions of G.S. 143-128.2 and 143-128.4 for Minority Participation. The criteria for weighted percentage information is provided in the RFQ Information Package Response.

Also note that under G.S.143-128.1A.(c) (8), PCC has the discretion to require either option "a" or "b" to specify procedural criteria by which Design-Builders may select team participants. PCC specifies "option a".

IV. RFQ INFORMATION PACKAGE RESPONSE

Format:

Provide FIVE (5) copies of the qualification information package. Provide hardcopy in 8 ½ x 11 size, bound by clips or staple, and not exceeding 20 double-sided (or 40 single-sided) pages of copy/illustrations. Do not bind user plastic or wire binders or notebooks. E-mail and Fax submittals will not be accepted; however, a PDF copy via flash-drive or email- attachment is requested in addition to the hardcopy submittal.

Contents:

Provide ONE (1) cover letter for the submittal package acting as an expression of interest and as transmittal.

The contents of the RFQ submittal describe the composition of the Design-Build team; the reason for their inclusion; the personnel and roles; the management approach; and relevant experience pertinent to this and comparable projects. Use the following outline as a guide.

A. The Design-Build Team (25%)

- (1) Name of key firms selected by the Design-Build Team dedicated to the project
- (2) Describe ownership, thumbnail history, services, location, staff-size of each key firm
- (3) Show/describe each firm's involvement in relevant, successfully completed projects
- (4) Indicate extent of history collaborating with selected firms
- (5) Disclose any current or impending legal issues associated with collaborating participants
- (6) Provide evidence of appropriate certifications (See "F" below)

B. Personnel (10%)

The Design-Build team will identify its roster of key personnel who will be dedicated to this project. Describe why they were selected and the role they will play. Describe how key personnel have demonstrated their qualifications, capacity and relevant successful experience performing the required work. Include appropriate evidence of professional licensure and/or certifications. Note: the successful Design-Builder must obtain advanced written approval from PCC Facilities and Construction assigned Project Manager noted in this RFP prior to any change in personnel listed in their

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submittal.

- C. HUB Plan (10%)
The Design-Build team will include its plan to obtain participation by HUB firms. Pitt Community College encourages participation by MWBE firms and supports NC SCO and NCCC system's policy of ensuring and promoting opportunities for minority businesses to meet or exceed the goals set by North Carolina General Statute 143-128.2. Provide evidence of past projects and efforts. Outline specific outreach efforts to engage HUB firms for participation in this project. Indicate the minority participation goal expected to be achieved on the project.
- D. Describe Design-Build team's Methodology to achieve PCC's project objectives (45%):
- (1) Your techniques for collaboration in comparable educational environments
 - (2) Your plan for determining the true scope of the Work
 - (3) Your plan for determining the likely cost and maintaining a workable budget
 - (4)** Your plan for determining and managing a workable schedule consistent with the **Item II**
 - (5) Your plan for managing personnel who are involved in each step of project execution
 - (6) Your examples or evidence of applying these techniques on comparable projects of similar scope and complexity

- E. Capacity to Deliver Design-Build Services (5%)

Bonding:

Provide a letter, dated within the last 30 days, from Design-Builder's surety company, signed by their Attorney in Fact, verifying the surety's willingness to issue sufficient payment and performance bonds for this project, on behalf of design-builder or its agent licensed to do business in North Carolina, and verifying the firm's capability and capacity based on current value of work. Surety company bond rating shall be rated "A" or better under the A.M. Best Rating system or The Federal Treasury List.

- F. Certifications (5%)
Each Design-Builder shall provide the written certifications that that each design professional who is a member of the design build team is licensed and in good standing in the State of North Carolina, including sub-consultants, was selected based upon demonstrated competence and qualifications in the manner provided by G.S. 143-64.31, based solely on qualifications without regard to fee.

V. Pre-submittal Briefing

Interested parties must attend a mandatory pre-submittal briefing on the date shown in **Item II. - Schedule** above. Attendees will observe the project site or sites to examine existing conditions and receive a briefing by the PCC Project Representative. The meeting will be held at the PCC-Greenville Center, 3107 S Memorial Road, Greenville, NC 27834. There will be no individual meetings or marketing meetings conducted or allowed.

VI. Design-Build Selection

Complete submittals are due at PCC Facilities and Construction on the date and time indicated in **Item II –**
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Schedule.

Pursuant to G.S. 143.64.31, a selection committee of PCC representatives will shortlist and rank-order the top three Design-Build candidates who will be invited to interview. The selection committee will rank order the candidates and submit the ranked candidates to the PCC-Board of Trustees. Pending approval, contract negotiations will commence.

In the event fewer than three respondents provide submittals, the project will be re-advertised and the selection process will continue as described above.

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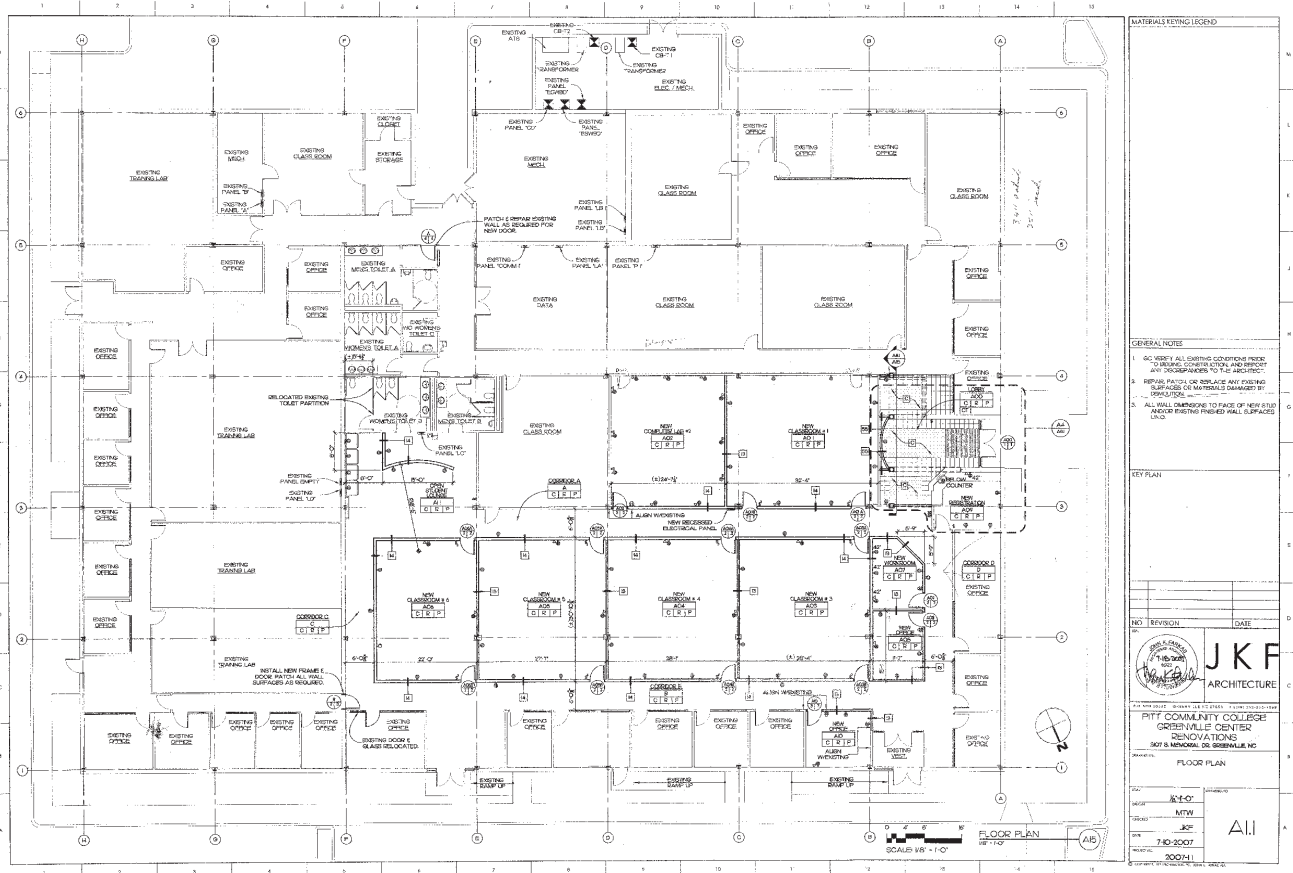


Exhibit A

Existing Floorplan

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Exhibit B
Study Plans and Documents

March, 10, 2026

Attn: Mr. Glenn Sheppard, FMP, PEM
Pitt Community College
Asst. VP of Facilities and Construction
glsheppard063@my.pittcc.edu
252-493-7593

RE: Pitt Community College Public Services Study
INTREPID Architecture, PA

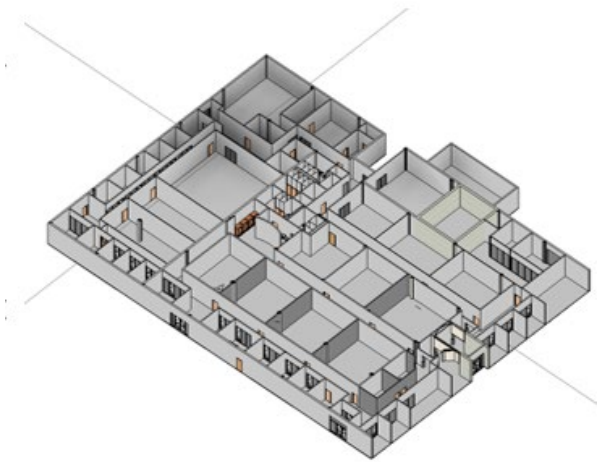
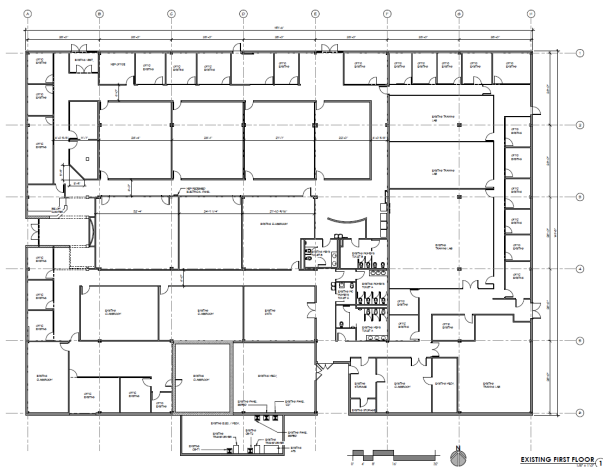
Dear Mr. Sheppard,

It is our understanding that Pitt Community College (PCC) intends to relocate the Law Enforcement Training program to the existing PCC Greenville Center located at 3107 S. Memorial Drive in Greenville, North Carolina. To aid the College is determining the feasibility of this move, INTREPID Architecture was engaged to complete a feasibility study that includes the following tasks:

- Evaluate and create as-builts for the existing Greenville Center Building;
- Develop a program for the Law Enforcement Training and the Fire/EMS programs;
- Develop schematic layouts to explore the feasibility of accommodating the program requirements within the existing buildings;
- Estimated project costs for the various schematic layouts;
- Overall recommendations/conclusions that include feedback from the owner stakeholder group.

Existing Greenville Center Building (See appendix C attached – Sheet A1.01):

The total area under consideration for the relocation of the Law Enforcement Training program is approximately 27,800 square feet within the Greenville Center building, in addition to approximately 2,240 square feet of space currently allocated for mechanical/electrical use. The building is currently unoccupied. While the building provides sufficient square footage to support the proposed program, the existing layout presents challenges related to circulation, classroom size, and functional adjacencies. As a result, several layout options were explored to determine the most effective way to accommodate the program requirements within the existing building footprint while balancing the overall cost of construction. Please see Appendix A for the existing conditions assessment.



Programming requirements (See appendix B attached – Program Document)

This study included programming for both the PCC Law Enforcement Training (LET) program as well as the Fire/EMS program. The requirements for the LET program were reported by the user group based on the accreditation requirements for the program and the number of students they would like to serve as well as their existing space. The requirements for the Fire/EMS program were reported by the user as well as by designer evaluation of the existing space. The LET program was determined to be significantly constrained by their current space, and additional space is needed to maintain accreditation. The Fire/EMS program can be accommodated in their current building (the Greenville Center Annex), with the CDL program vacating the building, and sharing some spaces with the LET program in the Greenville Center. The spaces planned to be shared include the conference room, break room, classrooms, computer lab, locker rooms/bathrooms, gym space, and mat training room. Both programs have a significant amount of interior and exterior storage that is currently being accommodated in trailers, sheds, and connexs. During the programming process with the Stakeholders, it was determined that the storage needs for the EMS program are always needed onsite and readily accessible due to the training that occurs in the building. Storage needs for the Fire program are mobile and are used in various training areas both on site and off site. Therefore, storage does not need to be on the premises of the facility but rather could be stored somewhere else on campus and be retrieved when needed. Storage needs for the LET program are a combination of storage required on the premises, and some can be off site and be retrieved when needed.

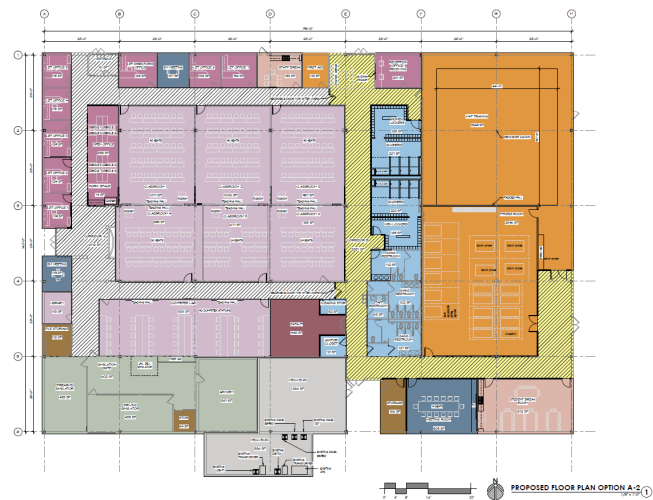
Proposed Layouts / Approach:

Four layout options were presented at an Owner Stakeholder meeting on February 4, 2026, (the proposed layouts referenced in this study are provided in the appendices for further review). Options A and A-2 focused on more modest renovations with a lower budget while options B and C focused on more extensive renovations including significant exterior façade and site upgrades with an overall higher budget. Ultimately, after owner stakeholder feedback, the preferred option is a compromise between the two options.

Option A & A-2 (Modest) (See Appendix C, sheets A1.02 and A1.03):

Advantages:

- Retains as much as possible of existing Greenville center interior walls and partitions, thereby lowering overall costs. Most of the area would include finish replacement only.
- Little to no exterior changes, also lowering overall costs.
- Minimize demolition and renovation costs.
- The bathrooms in the space remain as is, resulting in significant savings for the project.
- No changes/updates to the Greenville Center Annex Building directly behind the Greenville Center where the Fire/EMS program is housed. However, the shared spaces including the mat training room, gym space, break room, and conference room are situated on the Annex side of the Greenville Center with access into the building from that side as well. The goal is the spaces feel equally shared between the programs.



Considerations:

- Existing circulation patterns remain largely unchanged, which makes the building difficult to navigate, and can be confusing for new visitors.
- In Option A, the removal of two columns for unobstructed mat training space is included to have 5' of run-off on all sides of the mat and maintain the overall required square footage required in the program. Based on initial feedback from the user, the 5' runoff area is not required if the walls can be padded. Option A-2 is largely the same aside from the removal of only one (1) column with one of the walls padded due to not

having the 5' runoff on that one side. Option A-2 dramatically reduces project cost and structural complexities.

- Classroom sizes may be more limited compared to other options due to keeping as many existing partitions as possible.
- Relies on existing HVAC and plumbing being sufficient. Some of the building systems are at their expected life expectancy, and by leaving them as is, or modifying only what is needed for the limited renovation will result in higher R&R costs long term. Additionally, there is a risk that while modifying the systems to accommodate the renovation, the systems may require replacement anyway, resulting in higher change order costs for the project.
- Fewer opportunities to improve overall spatial organization for the same reason noted above.

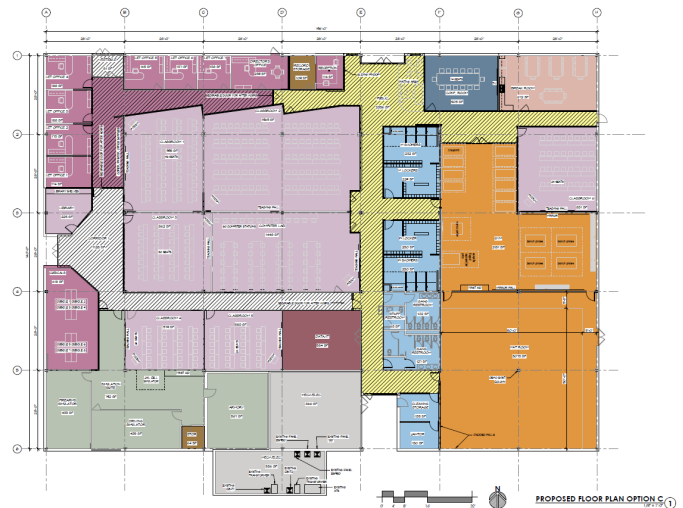
Estimated Construction Cost:

- Estimated construction cost is approximately \$4.5 million plus soft costs & owner contingency, for an overall budget of approximately \$5.1 million (i.e. construction cost, design fee, 5% contingency, and additional funds for testing and other miscellaneous items).

Options B & C (Extensive) (See Appendix C, sheets A1.04 and A1.05):

Advantages:

- Corrects confusing circulation & public/private hierarchy for improved wayfinding and overall flow within the building.
- Allows for greater flexibility in accommodating program requirements and heightens the impact of the investment due to the transformative nature of the renovation.
- Includes significant improvements to the existing façade and the site areas directly adjacent to the building which will improve curb appeal, brand the building as PCC, and create an obvious “front door” to the building.
- These options also do not include changes to PCC Annex Building where the Fire/EMS program is housed; however, it does consider the spaces within the Greenville Center that are shared between programs. These options create more opportunities to ensure the shared spaces between LET and Fire/EMS are truly geared toward both programs from an access/usability perspective. Access to these spaces from the Annex side of the Greenville Center leads into the primary hallway that connects to the main lobby, which will result in it feeling more like a main entry rather than a “back door”.
- Assumes some HVAC, electrical, and plumbing can remain, but much is upgraded throughout the building. This will lessen the R&R costs for the building long term, making this renovation more comprehensive, and reduces the likelihood of unexpected change orders during construction due to system failures that occur while work is ongoing.



Consideration:

- Greater level of interior renovation and building system upgrades results in a significantly higher project cost, however, the building would feel more like a full renovation.
- Similar to options A and A-2 above, these options also include major structural modifications to remove a column in the mat training room.
- The primary bathrooms will remain as is in this option as well; however, finish replacement is included to update the look and feel of the spaces.

Estimated Construction Cost:

- Estimated construction cost is approximately \$8.5 million plus soft costs & owner contingency, for an overall budget of approximately \$9.7 million (i.e. construction cost, design fee, 5% contingency, and additional funds for testing and other miscellaneous items).

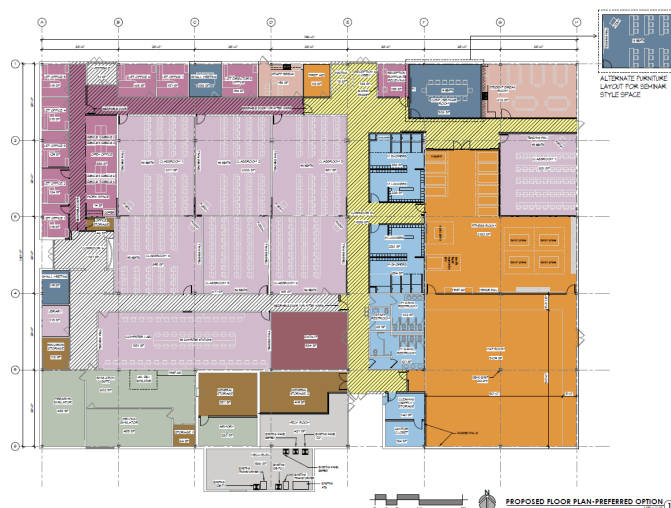
Preferred Proposed Layout (See Appendix D, sheet A1.06):

During the Owner Stakeholder meeting on February 4, 2026, the discussion included great feedback related to design priorities as well as budget preferences. The feedback is summarized below:

- Overall budget should be no more than \$6 million.
- The priority should be on the interior to make the space as functional as possible; however, the existing classroom spaces and offices work well now and should be adjusted only in a minor way.
- Breakroom, conference room, gym, mat training, and locker rooms and bathroom spaces will be shared between LET and Fire/EMS.
- Preferred option to combine option A and C whereby option A should be maintained on the plan east side of the main north/south corridor, and option C should be maintained on the west side of the main north/south corridor.

Advantages:

- Administrative offices for the LET department are located on the west side of the building, improving functionality and creating a dedicated area for staff operations.
- Classrooms are positioned in the central portion of the building to create a logical separation between instructional and administrative spaces. To increase classroom size and functionality, the existing central corridor was removed, and the circulation area was incorporated into the classroom footprint. This adjustment allows the classrooms to meet the required program size and seating capacity.
- The physical fitness room, mat training room, showers, and locker areas are located on the east side of the building near the rear entrance. Positioning these activity spaces near the rear entrance allows them to function as shared facilities with the adjacent Annex building while minimizing disruption to classroom and office areas. This placement also allows convenient circulation between the two buildings and supports potential after-hours access.
- The final layout represents a balanced solution that incorporates key advantages from the previously studied options while maintaining a reasonable renovation scope. This approach improves spatial efficiency, supports the operational needs of the program, and provides clear organization of administrative, instructional, and shared activity spaces.
- Conference room can be used as either conference room or seminar/small classroom, and an alternate layout is included to show how the space can be rearranged.



Considerations:

- Similar to previous options above, this option also includes major structural modifications to remove a column in the mat training room.
- This option would provide significant facelift to all public spaces in the building; however, it would include modest exterior improvements including sidewalk and parking updates. This option would not include the façade work shown in options B and C above, rather it could be designed as an add alternate to the project to maximize the value for the Owner. In the event the project cannot achieve this cost, the construction documents would be shelf ready should funds become available in the future.

Estimated Construction Cost:

Approximately 60% of the 27,800 SF building will require cosmetic (Level 1 Alteration) type improvements. This portion of the building will likely carry a renovation cost of \$1.5 to \$2.5 million in renovation costs depending on the extent of MEP improvements required. (i.e. some equipment may be sufficient, but old enough that replacement should be considered.)

Approximately 40% of the building (11,120sf) will require extensive renovations (Level 3 Alterations) including heavy plumbing, electrical, HVAC, and structural modifications. This portion of the building is estimated to require between \$3m and \$3.5m to fully renovate.

The required exterior improvements (ADA and site) are anticipated to cost between \$200,000 and \$400,000.

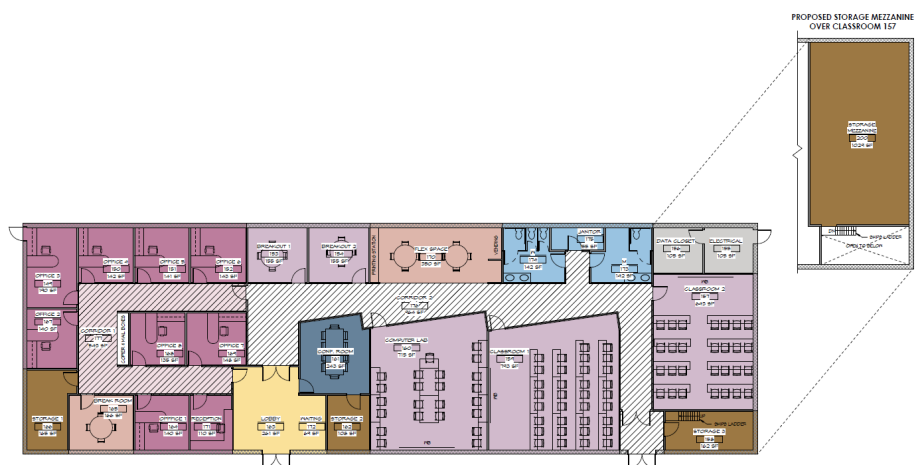
Optional exterior facade improvement, which would probably be included as an Alternate, would likely carry a construction cost of \$400,000 to \$650,000 to improve the west (front), north, and part of the east facades.

Accounting for a 5% construction contingency and escalation would result in a construction cost estimate of \$5.25 million on the low end of the spectrum and \$7 million on the higher end of the spectrum. An add alternate of an additional \$700,000 would cover facade improvements plus related contingencies and escalation. These estimated costs are based on recent regional cost per SF averages, not specific scope take-offs.

Knowing that PCC is attempting to complete the renovations for a \$6million dollar construction budget, this seems feasibly within the middle of estimated cost range. It should be noted that this estimate does not include soft costs such as design fees, moving costs, equipment costs, etc. With all these soft costs included, an overall budget of approximately \$6.9 million (i.e. construction cost, design fee, 5% contingency, and additional funds for testing and other miscellaneous items).

Fire/EMS Program & The Greenville Center Annex Building (See Appendix C, sheet A1.07):

The Greenville Center Annex building currently houses the Fire/EMS program, and comes somewhat close to meeting their current needs. The primary additional spaces the Fire/EMS program needs to meet the current demand and growth expectations include more classroom space, a larger computer lab, fitness area/gym, a student break space, and additional storage. As noted above, the classrooms, computer lab, fitness area/gym, and student break space are intended to be shared with the LET program in the Greenville Center Building across the parking lot.



To address the storage needs for the program, this study concluded it would be feasible to add a mezzanine space above Classroom 2, Electrical Room, and Data Closet on the plan east side of the building. The structural height of the building is fairly tall, and with minor modifications, to the interior partitions, mezzanine could be platform-framed within the structure. This mezzanine could be access via a ships ladder from Storage Room 3.

Estimated Construction Cost:

- Estimated construction cost to add this mezzanine is approximately \$250,000 plus soft costs & owner contingency, for an overall budget of approximately \$290,000 (i.e. construction cost, design fee, 5% contingency, and additional funds for testing and other miscellaneous items).

Anticipated Project Schedule:

Should the project proceed with the preferred option as described above, the design phase should be expected to take about 10 months, and the bidding and construction to take about a year. The following durations should be anticipated:

- Schematic Design/Design Development – 90 Days
 - SCO/AHJ Review – 30 Days
 - Construction Documents – 90 days
 - SCO/AHJ Review – 60 Days
 - Final Documents – 15 days
 - SCO/AHJ Review – 15 Days
 - Bidding – 45 Days
 - Contracting – 30 days
 - Construction – 300 days (~10 months)
- ~10 Months**
- ~1 Year**

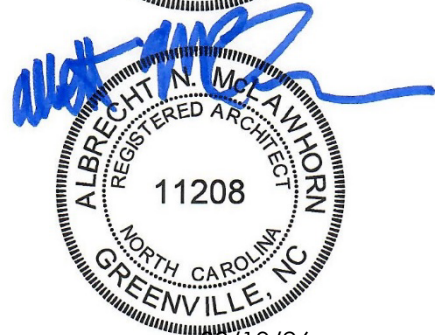
The findings presented herein are general in nature. Should more greatly detail regarding a facet of this study be required, our team is happy to expound upon any aspects of the information presented herein.

Sincerely,

Albrecht McLawhorn, AIA, NCARB

President

INTREPID Architecture



03/10/26

Appendix A

Existing Conditions Assessment:

Parking and sidewalk: Existing parking lot needs re-stripping. Sidewalk that leads to entrance to the building has a ramp, however the slope of the ramp is not ADA compliant, and the cross slope at the bottom is also exceeds the maximum cross slope.

Building Envelope: The exterior wall is a precast concrete panel, which makes exterior modifications challenging. Cutting in new openings for doors and windows would be a significant undertaking and costly. The existing aluminum storefront and entrances systems are dated, but in good condition. There does not appear to be any active water infiltration through the building envelope visible



ROOFING: The existing roofing system is a modified bituminous roof. The age of the roof system is unknown. The roof is in fair condition, and there does not appear to be any active leaks in the roof. The roof appears to have internal roof drains with overflow scuppers to conductor boxes and downspouts that daylight.

Building Systems: The existing mechanical systems in the building are a mix of new units and older units that are at life expectancy. The units that are at the end of their serviceable life should be planned to be replaced with the next renovation.



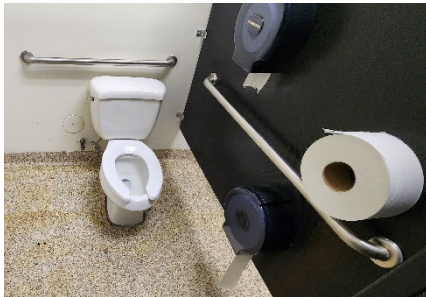
Interior walls: There is a mix of traditional stud walls with painted gypsum board and demountable partitions faced with wall covering and fabric throughout the building. The demountable partitions are aged and need to be removed and replaced with a new partition system or traditional partitions.



Building finishes: Evidence of moisture damage is present along interior walls and base trim, including staining, material warping, and separation at joints. The pattern of deterioration suggests that some moisture sources may be internal. The carpet flooring is aged and dated and should be replaced during the next renovation.



Restrooms: The existing restrooms in the building are dated, but functional. It appears as if modifications occurred within the last 15 years to make the gang restrooms ADA compliant, however, the updates are not ADA compliant. The sinks exceed the height maximum, and the clear space in the ADA toilet stall does not meet the minimum width. There are two single user restrooms adjacent to the existing restrooms that are ADA compliant, so if viewed as a pod, ADA compliance can be met with the existing restrooms.



PCC Public Services Program - Law Enforcement Training

PCC Greenville Center Building

Updated: 03/10/2026

Space	Current Space	Requested Size 10/14/30	Proposed Opt A 02/12/26	Proposed Opt A-2 02/12/26	Proposed Opt B 02/12/26	Proposed Opt C 02/12/26	Proposed Floor Plan-Preferred Option 03/10/26	Current Option Capacity/Notes	User Requests/Special Requirements/Notes
Shared Classroom 1	1368	1100	1017	1017	995	995	1017	see plan for number of seats	Large Classroom, or two classrooms combined. students to have 20 sf of floor space, not including teacher space, mock court room
Shared Classroom 2	720	1100	1006	1006	993	1969	1006	see plan for number of seats	students to have 20 sf of floor space, not including teacher space
Shared Classroom 3	700	1100	987	987	978	862	987	see plan for number of seats	students to have 20 sf of floor space, not including teacher space
Shared Classroom 4	880	1100	895	895	863	579	895	see plan for number of seats	students to have 20 sf of floor space, not including teacher space
Shared Classroom 5	600	1100	677	677	677	583	677	see plan for number of seats	students to have 20 sf of floor space, not including teacher space
Shared Classroom 6		1100	785	785	785	831	785	see plan for number of seats	students to have 20 sf of floor space, not including teacher space
Shared Computer Lab		1500	1331	1331	1170	1448	1331	see plan for number of seats	50+ computers
Shared Classroom 7							831		
Library		120		113		225	113		Shared texts, secured
Mat Training Room	900	3600	3883	3349	3072	3073	3109	includes first aid station, options where there is no 5' run-off	50x50 mat with 5' run off area between mat and walls
Physical Fitness Training Area	1260	2500	2059	2346	3046	2181	2182		50x50, weight equipment
First Aid				113			113		
Reception Office		200	201	201	113	114	135		2 Work Stations, Sliding transaction window, adj to main entry
LET Office 1	120	120	112	119	174	174	119		
LET Office 2	143	120	113	124	173	173	124		
LET Office 3	240	120	119	129	188	188	129		
LET Office 4		120	119	115	188	188	115		
LET Office 5		120	137	115	165	165	115		
LET Office 6		120	113	138	137	137	165		
LET Office 7		120		154	138	138	137		
LET Office - Director Office	200	120	154	165	193	239	154		office with meeting area
Fire/EMS Offices (See Annex Program)			648						
Open Office - cubicle area	300	300	338	338	618	618	338		8 stations
Unassigned Office					154				
Work Room		120	74	74		77	74		
Updated Training Jail Cell	60	70	70	70	70	70	70		7x10, actual jail cell with bed frame, jail mattress, toilet, sink, drinking fountain and security monitor, cinder block walls, metal cell door consistent with those currently in use.
Jail Cell Viewing Area		300	602	602	792	792	602		
Firearms Simulator		300	433	433	433	433	433		20x20, Sound dampening walls and ceiling
Driving Simulator		300	435	435	435	435	435		20x15, Sound dampening walls and ceiling
Armory	99	500	567	567	567	567	220		conditioned space, space for maintenance station and and 3+ gun safes
Conference/Seminar Room	500	500	505	505	505	505	505		Can be used as conference room and seminar/small classroom
Small meeting Room		110	138	137	225		138		
Small meeting Room				119			119		
Student Break Room	600	1200	672	672	672	672	672		40x30, kitchenette with sink, cabinets, refrigerator, and 2+ microwaves, 6+ four seat tables,
Staff Break Room		150	193	193			193		
Reception Waiting	200	200	73	73	160	160	207		
Data / IT Room	584		448	448	584	584	584		
Locker Rooms - Men	713	500	407	407	461	461	460	4 showers, 50 full-height lockers (100 half height)	existing has 4 showers, sinks, and toilets with 50+ lockers
Locker Rooms - Women	713	500	407	407	462	462	464	4 showers, 50 full-height lockers (100 half height)	existing has 4 showers, sinks, and toilets with 50+ lockers
Restrooms Men		200	214	214	102	102	127		
Restrooms Women		200	127	127	127	127	102		
Staff Restroom		60	63	63	63	63	63		
Janitor Closet		70	70	70	110	110	134		Secured separately from Cleaning Storage, w/ Mop Sink
Cleaning Supply Storage		50	52	52	155	155	140		Cleaning supply storage accessed by students
General Storage Space		1000	166	166			337		
Records/Storage		120		112	109	109	112		3 large file cabinets for instructor files, fireproof
Office Storage							46		
Storage - Simulator Suite			64	64	64	64	64		
General Storage 2							419		
Mechanical/Electrical			1452	1452	1452	1452	1013		
Picnic Break Area (Outside)									3 picnic tables, covered area, gazebo with a swing
Exterior Fitness Space	390								
TOTAL PROGRAM SPACE	11290	22230	21926	21679	22368	20655	22310		
TOTAL BUILDING SIZE (INCLUDING HALLS, WALLS, ETC)	15025	30010.5	28339	28339	28339	28339	28339		
building efficiency %	75%	65%	77%	76%	79%	73%	79%		

PCC Public Services Program - Fire/EMS

PCC Annex Building

Updated: 3/10/26

	Current Space	Requested Size 10/14/30	Proposed Opt A 02/12/26 *see note below	Proposed Opt A-2, B, & C 02/12/26	Proposed Preferred Opt 03/10/26	Current Option Capacity/Notes	User Requests/Special Requirements/Notes
Classroom 1	793	793		791	791		
Classroom 2	643	643		635	635		
Fire/EMS Skills Lab 1	155	155		155	155	Labeled as "Breakout Room" on plan	
Fire/EMS Skills Lab 2	155	155		155	155	Labeled as "Breakout Room" on plan	
Fire/EMS Skills Lab 3		155				Shared space in Greenville Center	
Computer Lab	715	715		675	675	Larger Computer Lab shared in Greenville Center	
Classroom 3		800				Shared space in Greenville Center	
Conference Room	243	243		250	250		
Fire/EMS Office 1	140	140	124	140	140		
Fire/EMS Office 2	140	140	129	140	140		
Fire/EMS Office 3 - Director	190	190	165	190	190		
Fire/EMS Office 4	142	142	115	140	140		
Fire/EMS Office 5	141	141	115	135	135		
Fire/EMS Office 6	143	143		135	135		
Fire/EMS Office 7	148	148		130	130		
Fire/EMS Office 8	135	135		130	130		
Flex Space/Student Lounge	350	350		340	340	Shared space in Greenville Center	
Staff Breakroom/ Work Room	166	500		166	166		
Reception/Waiting/Lobby	330	330		339	339		
Women's Restroom	142	142		142	142		
Men's Restroom	142	142		142	142		
Janitor Closet	55	55		55	55		
Data Closet	105	105		50	50		
Electrical Room	105	105		50	50		
Storage 1	166	166		165	165		
Storage 2	162	162		161	161		
Storage 3	162	162					
Storage Mezzanine		1000			1029	Upfit current Annex to include mezzanine above classroom on plan east of building.	
TOTAL PROGRAM SPACE	5768	8057	648	5411	6440		
TOTAL BUILDING SIZE (INCLUDING HALLS, WALLS, ETC)	8031	9031		8031	9060		
Building Efficiency	71.82%	89.21%		67.38%	71.08%		

* Option A assumed all Fire/EMS program needed to fit into the Greenville Center and be removed from the Annex Building. SF's listed here indicate space in the Greenville Center Building, not the Annex for this option. All other spaces are required are shared within the LET program in the same building.



**GREENVILLE CENTER-PUBLIC SERVICES
RENOVATION**

PITT COMMUNITY COLLEGE
3107 S. Memorial Drive, Greenville, NC



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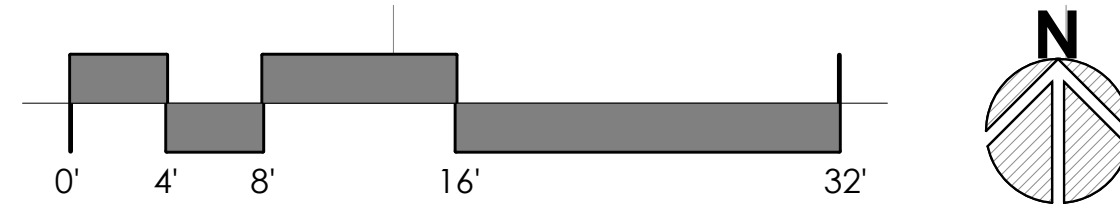
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PROJECT #: 25012
ISSUE DATE: 03/10/2026

PHASE:
STUDY

SHEET NAME & NUMBER
EXISTING FIRST FLOOR PLAN



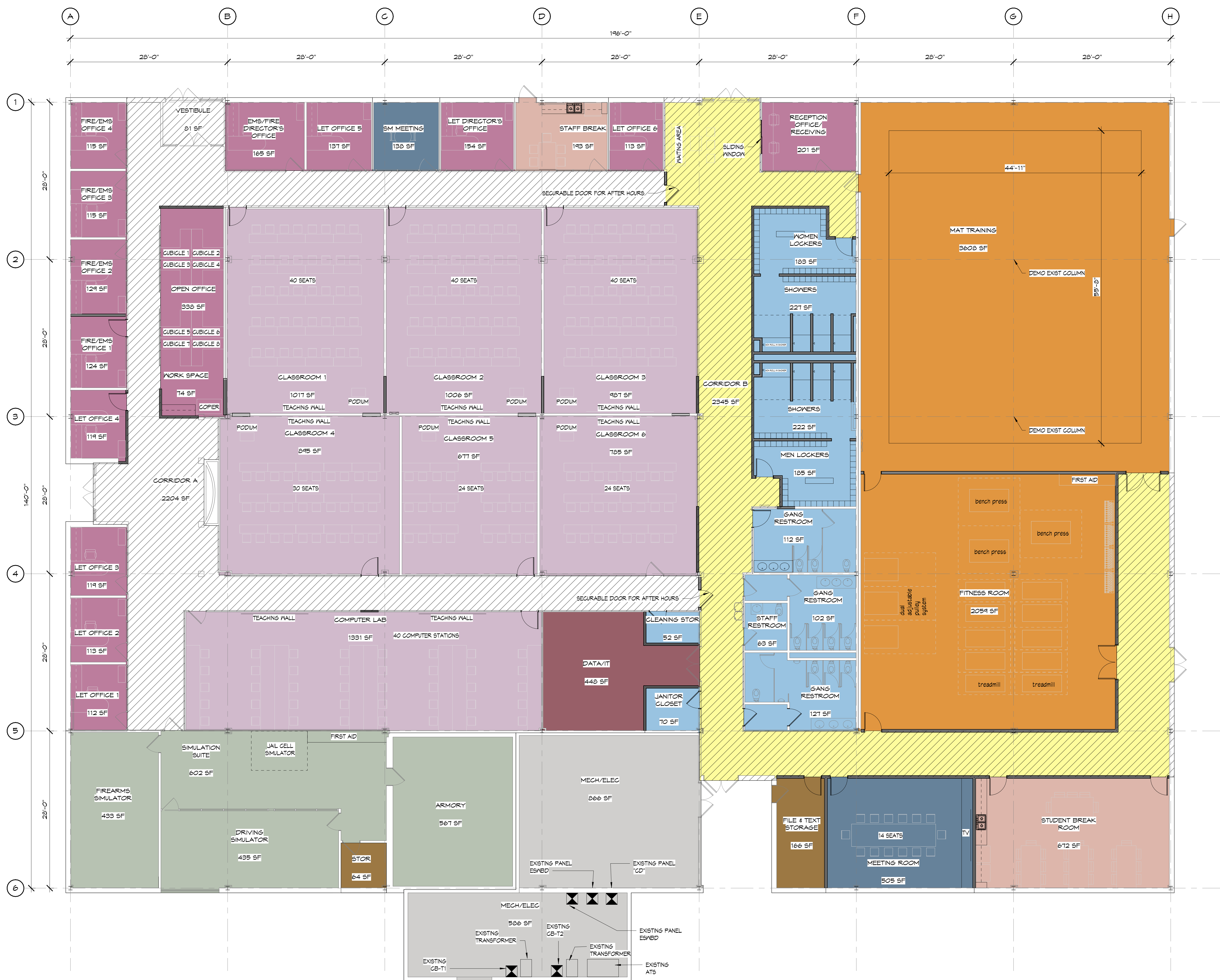
EXISTING FIRST FLOOR ①
1/8" = 1'-0"

A1.01



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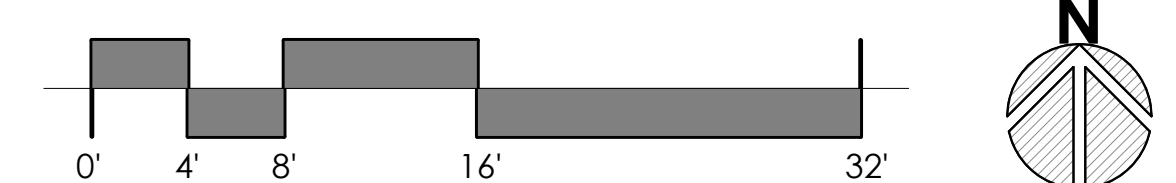
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PROPOSED FLOOR PLAN OPTION A



PROPOSED FLOOR PLAN OPTION A ①
 1/8" = 1'-0"



GREENVILLE CENTER - PUBLIC SERVICES RENOVATION
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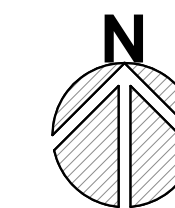
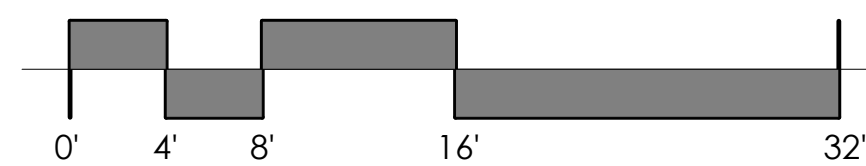
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SHEET NAME & NUMBER

PROPOSED FLOOR PLAN OPTION A-2

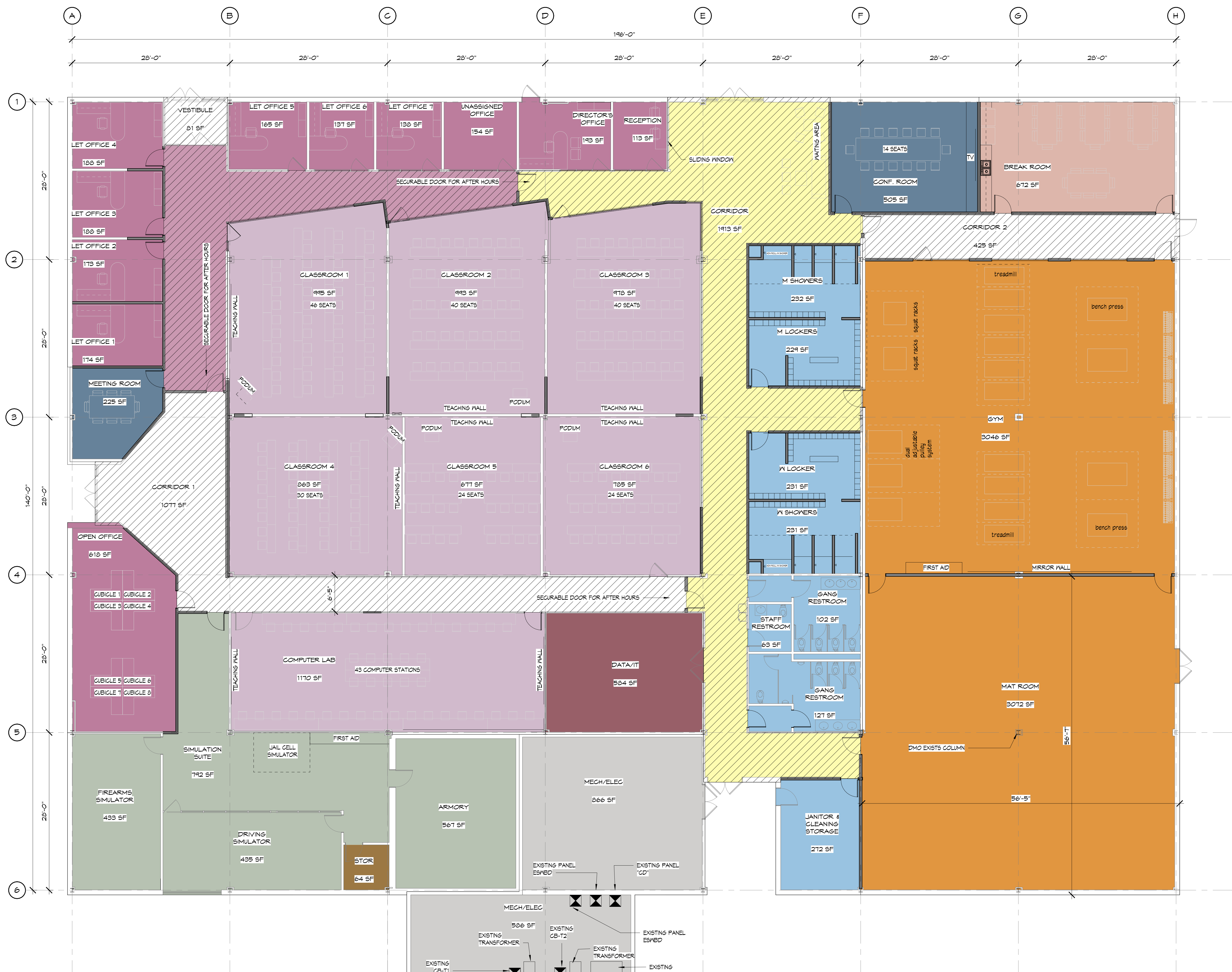


PROPOSED FLOOR PLAN OPTION A-2
 1/8" = 1'-0" ①



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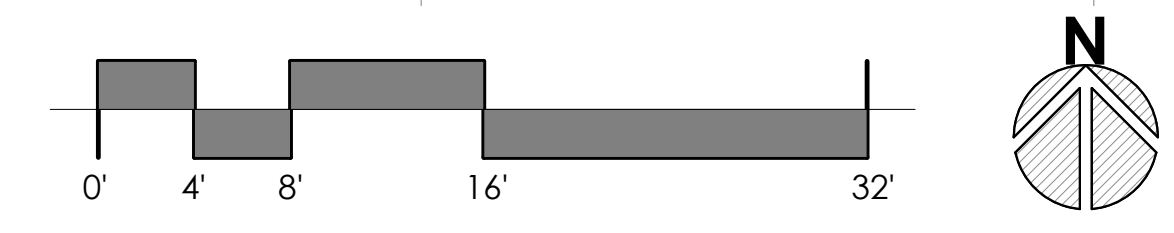
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SHEET NAME & NUMBER
PROPOSED FLOOR PLAN OPTION B



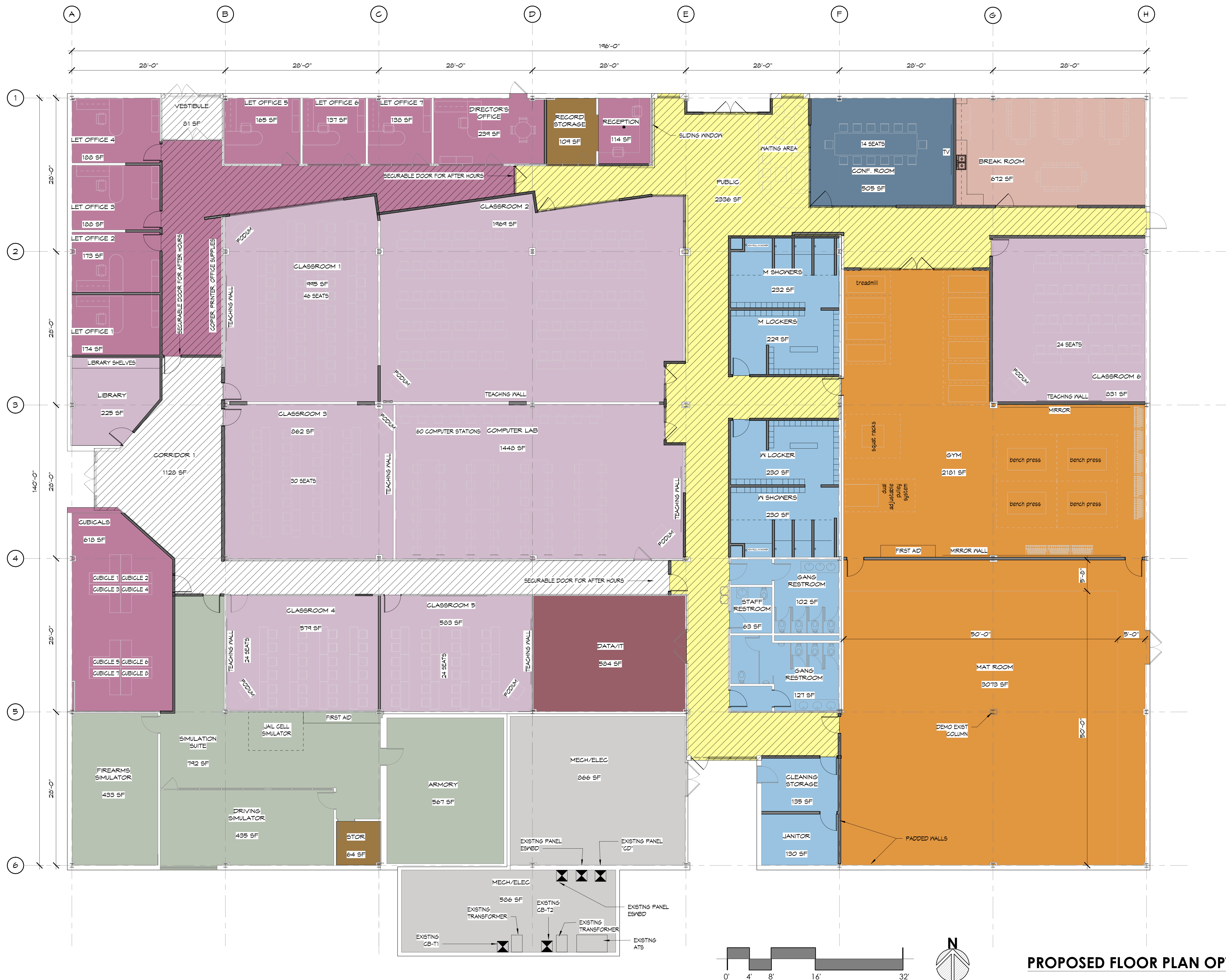
PROPOSED FLOOR PLAN OPTION B 1
 1/8" = 1'-0"



GREENVILLE CENTER - PUBLIC SERVICES

RENOVATION

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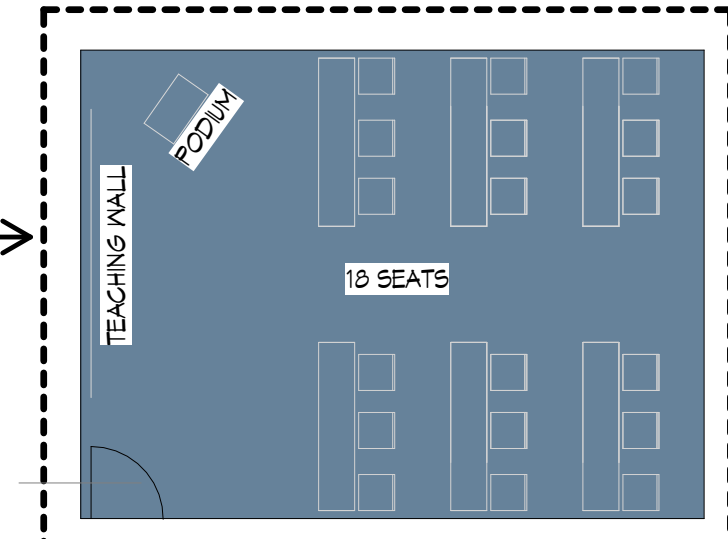
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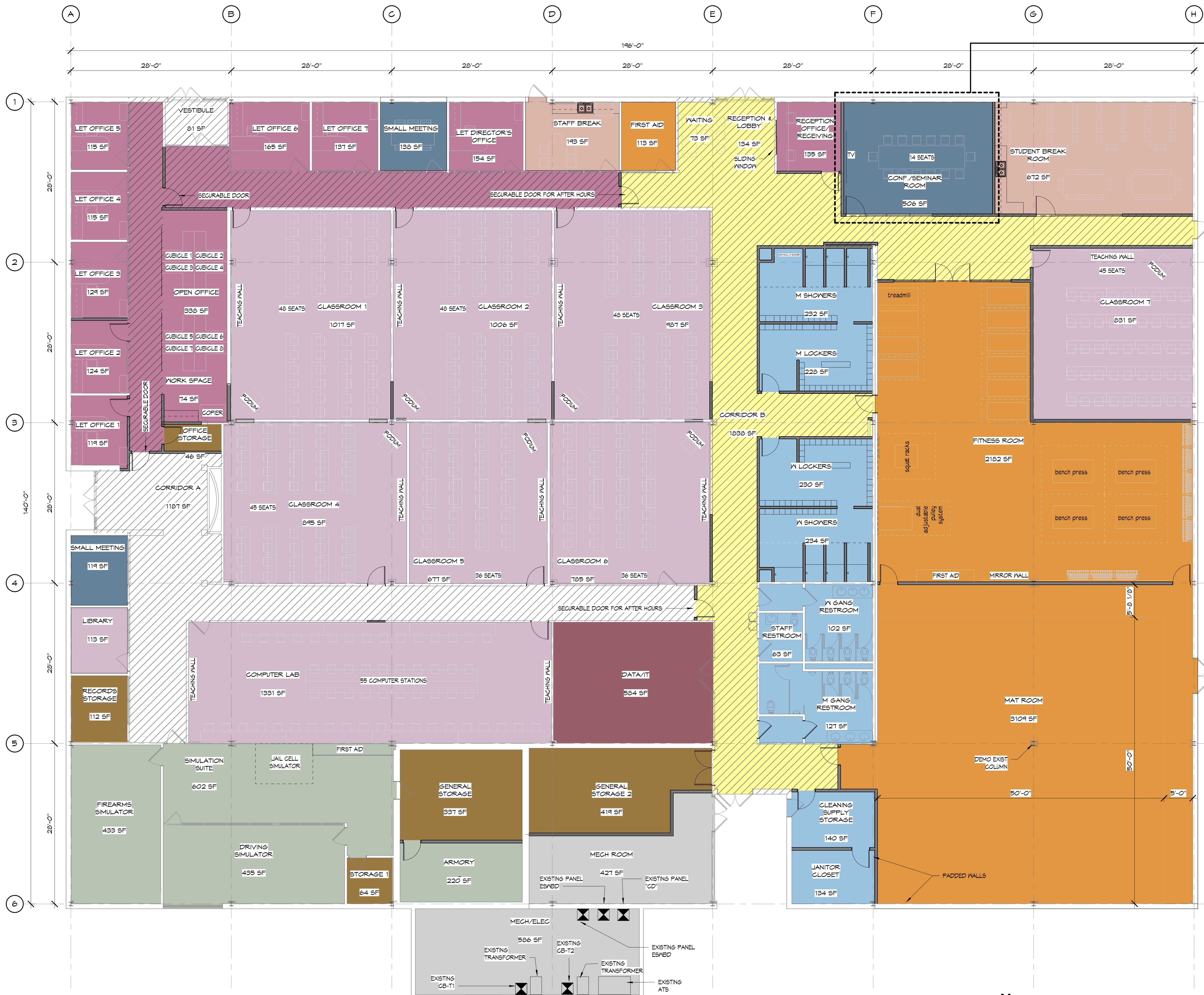
SHEET NAME & NUMBER

PROPOSED FLOOR PLAN OPTION C

PROPOSED FLOOR PLAN OPTION C ①
1/8" = 1'-0"



ALTERNATE FURNITURE LAYOUT FOR SEMINAR STYLE SPACE



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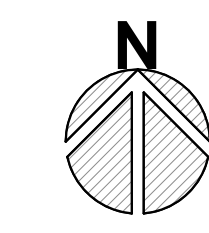
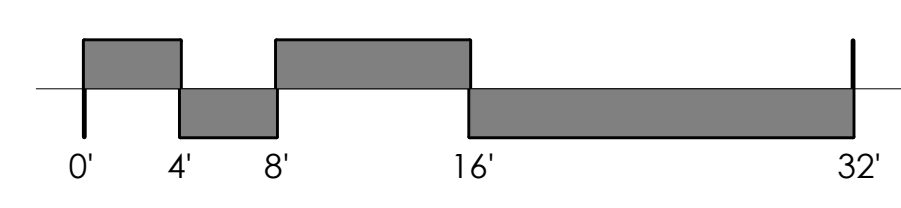
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SHEET NAME & NUMBER

PROPOSED FLOOR PLAN-PREFERRED OPTION



PROPOSED FLOOR PLAN-PREFERRED OPTION 1
1/8" = 1'-0"

A1.06

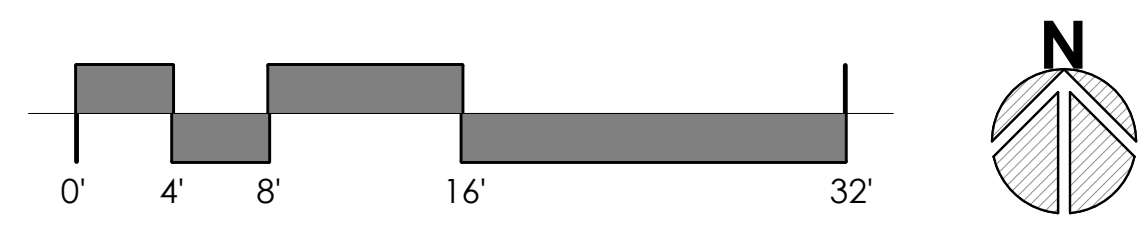


GREENVILLE CENTER ANNEX
FIRE/EMS

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FIRST FLOOR FFE 1
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SHEET NAME & NUMBER
FIRST FLOOR PROPOSED PLAN