

SOUTH CAMPUS BUILDINGS S201 AND S203 ELEVATOR UPGRADES

ROWAN-CABARRUS COMMUNITY COLLEGE

**1531 Trinity Church Road
Concord, NC 28027**

INVITATION TO BID

NOTICE TO BID

Sealed bids for construction of the Rowan-Cabarrus Community College, South Campus Buildings S201 and S203 Elevator Upgrades Project will be received via email (PDF format only) at collegeenvironment@rccc.edu until, but no later than **3:00 pm**, local prevailing time, **May 5, 2026**, and then publicly opened and read immediately thereafter via ZOOM. Bidders are encouraged to view the bid opening in real time via a ZOOM link that follows.

The **bid name** and **IFB # 121-042326JVC** shall be referenced in the subject line of the email.

Bidders shall be General Contractors, licensed in North Carolina, with elevator modernization experience and Owner approved sub-contractors as required. **Bidders will receive an email receipt notification that their bids have been received.**

HUB certified contractors are encouraged to bid on this project.

Bids received after the announced time and date for submittal will be rejected. Bidders are responsible for ensuring their bid is received before the deadline indicated. All firms **must be registered** with the North Carolina Electronic Vendor Portal (eVP and Purchase Orders) prior to presenting a proposal. Failure to register may result in disqualification. North Carolina Electronic Vendor Portal may be found at <https://evp.nc.gov/>

Contractual Requirement: All bidders must agree to execute a contract that incorporates and adheres to the State of North Carolina's General Terms and Conditions. These terms are available for review at: <https://www.doa.nc.gov/north-carolina-general-terms-and-conditions-5-2025/open>.

The work shall consist of modernization of two (2) existing hydraulic 3-stop elevators – one installed in Building S201, and one installed in Building S203. Upgrades shall mean that the elevator and its components shall be brought into compliance with the 2019 Edition of the North Carolina Elevator and Escalator Code, as well as other applicable Codes. The General Contractor shall be the Prime Contractor for this single-prime contract. The Prime Contractor shall hire Owner approved sub-contractors to provide all necessary support work to provide a turnkey installation, without additional funding by the Owner.

Beginning on **April 23, 2026**, Bidders may obtain electronic Bidding Documents by contacting the Engineer at baengineers@aol.com

ZOOM BID OPENING LINK

Join Zoom Meeting

<https://rccc-edu.zoom.us/j/91382312799>

Meeting ID: 913 8231 2799

One tap mobile

+13126266799,,91382312799# US (Chicago)

+16465588656,,91382312799# US (New York)

Join instructions

<https://rccc->

[edu.zoom.us/meetings/91382312799/invitations?signature=1FCDF8BErPmEQ3_0PsmG9pmfRBMW9GxYaDTxdXB05-g](https://rccc-edu.zoom.us/meetings/91382312799/invitations?signature=1FCDF8BErPmEQ3_0PsmG9pmfRBMW9GxYaDTxdXB05-g)

END OF NOTICE TO BID

GENERAL NOTES:

THE FOLLOWING NOTES ARE TO PROVIDE ADDITIONAL CLARIFICATION AND REITERATION OF THE SPECIFICATIONS:

SCHEDULE OF WORK:

THE BUILDINGS WILL BE OCCUPIED DURING PART OF THE CONSTRUCTION PERIOD. THE ELEVATORS CANNOT BE SHUT-DOWN UNTIL JULY 21, 2026, WHEN THE COLLEGE HAS A SUMMER BREAK. DURING THE OCCUPIED TIME, WORK SHALL BE SCHEDULED WITH THE PROJECT MANAGER SO THAT NORMAL OPERATION OF THE FACILITIES IS NOT DISTURBED. THIS MAY REQUIRED NIGHT, WEEKEND OR HOLIDAY WORK. ALTHOUGH THE ELEVATOR WORK CANNOT BE DONE UNTIL THE SHUT-DOWN OCCURS, THERE IS OTHER WORK THAT CAN BE DONE. THE INSTALLATION OF THE MINI-SPLIT HVAC SYSTEMS FOR THE ELEVATOR MACHINE ROOMS CAN BE DONE DURING THE OCCUPIED STAGES OF THE PROJECT.

CONTRACT REQUIREMENTS:

1. CONTRACTOR SHALL MODIFY, RETROFIT OR REPLACE EXISTING LIGHTING FIXTURES, AND/OR LAMPS AS DESCRIBED ON THE DRAWINGS.
2. SUBMIT COMPLETE DATA ON ALL MATERIALS BEING FURNISHED, EXPEDITE DELIVERY OF MATERIALS.
3. CONTRACTOR SHALL SCHEDULE HIS WORK WITH THE OWNER – NORMAL OPERATION OF THE BUILDING CANNOT BE INTERRUPTED.
4. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE CEILING TILE OR BUILDING SURFACES. ANY DAMAGE TO THE FACILITY SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE. DAMAGED CEILING TILES SHALL BE REPLACED – SOME TILES WILL NEED TO BE REPLACED WHERE RECESSED DOWNLIGHTS ARE BEING REPLACED: TILE REQUIRED = ARMSTRONG 895 (2' by 4') or ARMSTRONG 896 (2' by 2') (VERIFY WITH THE OWNER PRIOR TO ORDERING).
5. See PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

DIVISION OF WORK:

GENERAL CONTRACTOR (PRIME CONTRACTOR):

1. GENERAL CONTRACTOR SHALL ACT AS PROJECT EXPEDITER.
2. INCLUDE ALL WORK SHOWN IN PRIME CONTRACT.
3. PROVIDE AND INCLUDE IN THE PRIME CONTRACT ALL NECESSARY QUALIFIED SUB-CONTRACTORS REQUIRED FOR WORK THAT THE PRIME CONTRACTOR IS NOT QUALIFIED TO PERFORM.
4. See PROJECT MANUAL FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

SUB-CONTRACTORS AS REQUIRED:

1. PRIME CONTRACTOR SHALL PROVIDE ANY AND ALL SUB-CONTRACTORS NECESSARY TO COMPLETE THE PROJECT. ALL CONTRACTORS SHALL BE LICENSED IN THE STATE OF NORTH CAROLINA AND HAVE HAD A MINIMUM OF 5 YEARS EXPERIENCE WITH WORK OF THIS NATURE. LISTED BELOW ARE "OWNER PREFERRED" SUB-CONTRACTORS. THESE ARE CONTRACTORS THAT ARE DOING WORK, OR HAVE DONE WORK FOR THE COLLEGE BEFORE. THE PRIME CONTRACTOR IS NOT REQUIRED TO USE THESE CONTRACTORS, AND MAY SUBMIT OTHER QUALIFIED FIRMS FOR CONSIDERATION – COMPLETE REFERENCE AND EXPERIENCE DATA MUST BE SUBMITTED TWO WEEKS PRIOR TO THE BID OPENING. AN ADDENDUM WILL BE ISSUED SEVEN (7) DAYS PRIOR TO BIDDING STATING WHETHER THE PROPOSED SUB-CONTRACTORS ARE ACCEPTABLE OR NOT.

THE "OWNER PREFERRED" CONTRACTORS ARE:

ELEVATOR:	CHARTER ELEVATOR Keith Desmond Keith.Desmond@charterelevator.com Office: 877-632-4278 Mobile: 919-441-3416
HVAC:	SUPERIOR MECHANICAL SYSTEMS OF CHARLOTTE, INC. bwyke@superiorsinc.com Phone: 704-309-9212
ELECTRICAL:	MULTI-ELECTRICAL SERVICES, INC. Bob McVay mcvayb@multielectrical.com Office: 704-932-4650 Mobile: 704-791-5213
DATA:	MODERN EDGE TECHNOLOGY SOLUTIONS, INC. Jason White jason@modernedgetechnology.com Office: 336-308-8020x1001 Mobile: 336-460-4355
FIRE ALARM:	KNC TECHNOLOGIES Nick Long nickl@knctech.us Office: 336-760-5512 Mobile: 336-575-5767

OWNER'S PROJECT MANAGER:

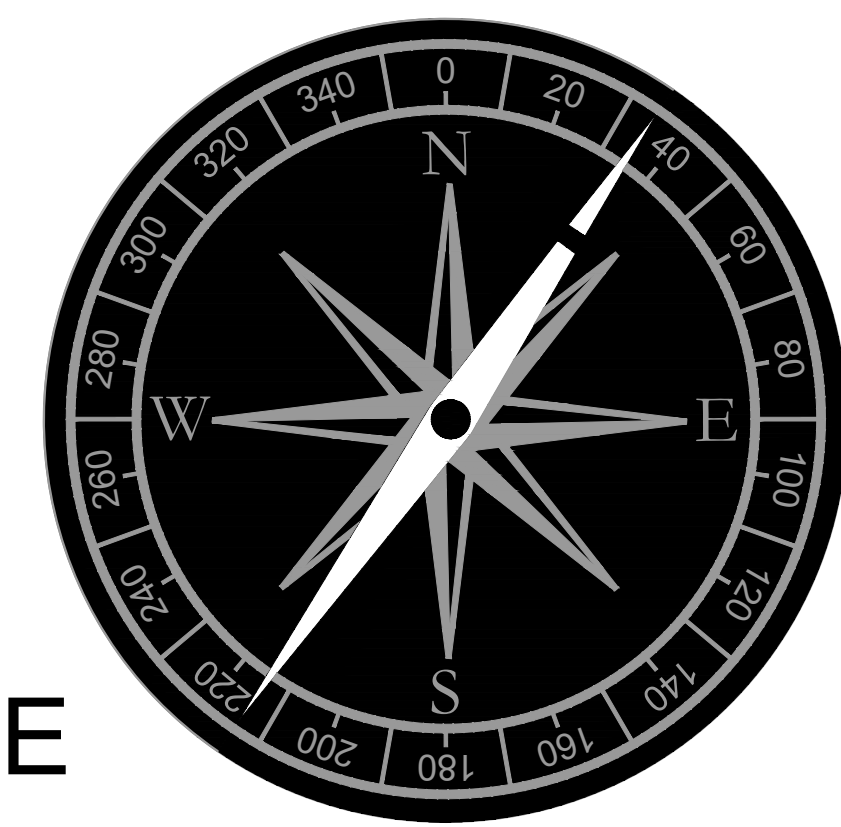
JOHN COLE
Office: 704-216-7222
Mobile: 704-640-1852
john.cole@rccc.edu

OWNER'S FACILITIES SUPERVISOR:

RON EURY
Office: 704-216-7610
Mobile: 980-622-4233
ron.eury@rccc.edu

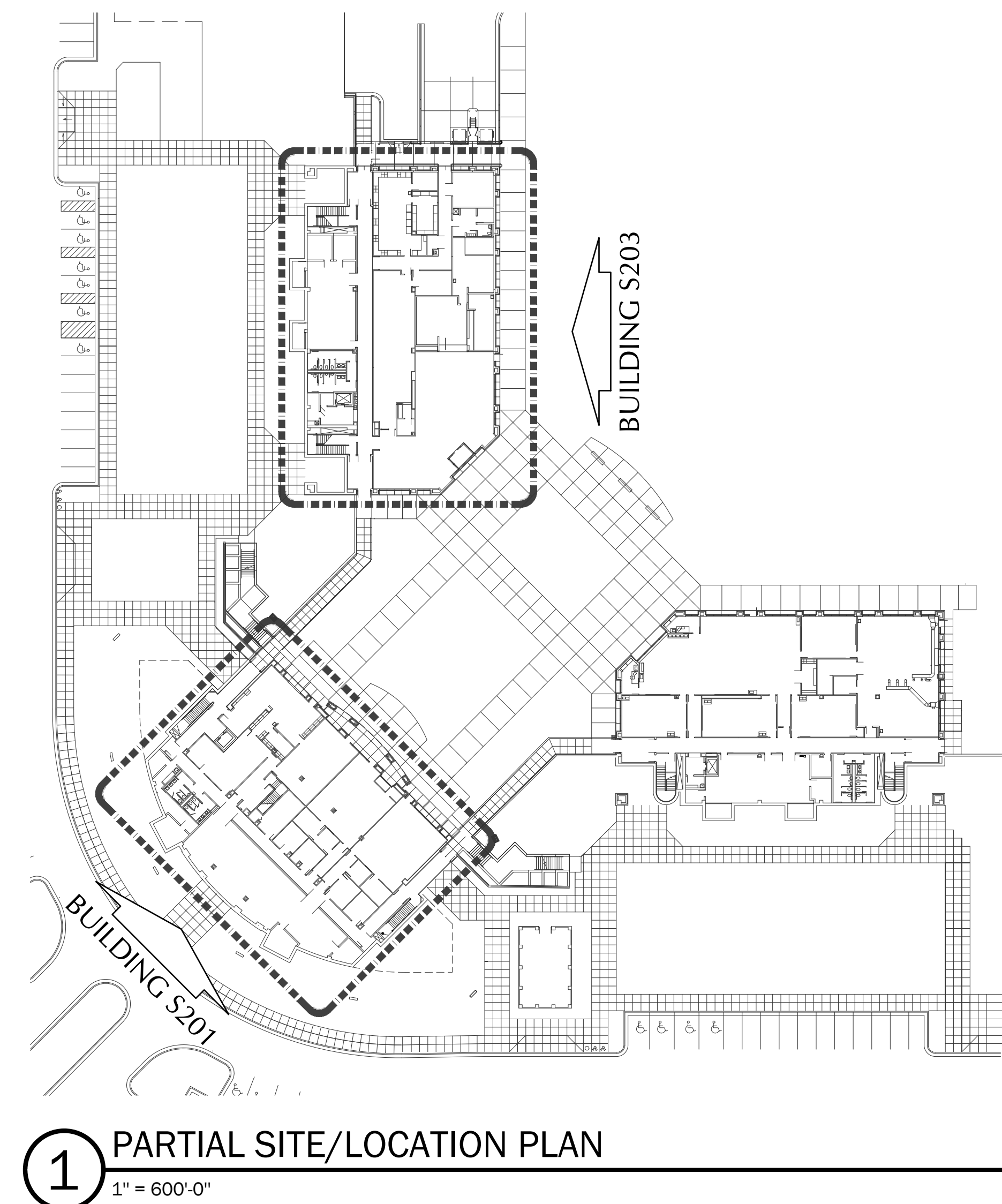
SCHEDULING OF WORK AND BUILDING ACCESS SHALL BE COORDINATED WITH THE PROJECT MANAGER.

Rowan- Cabarrus COMMUNITY COLLEGE



HYDRAULIC ELEVATOR MODERNIZATION BUILDINGS S201 + S203

SOUTH CAMPUS
1531 Trinity Church Road
Concord, NC 28027



1 PARTIAL SITE/LOCATION PLAN
1" = 600'-0"

bae

**Bullard Associates
Engineers**

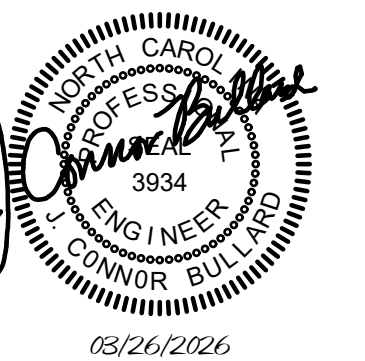
1 Water Thrush Road
Lake Wylie, SC 29710
Telephone: 803-701-7151
Mobile: 704-604-9609
baeengineers@aol.com

NCBELS Licence #F-1515

**Rowan-
Cabarrus
COMMUNITY COLLEGE**

HYDRAULIC ELEVATOR
MODERNIZATION
BUILDINGS S201 + S203
SOUTH CAMPUS

SOUTH CAMPUS
1531 Trinity Church Road
Concord, NC 28027



REVISIONS		
NO.	DATE	DESCRIPTION

COVER SHEET

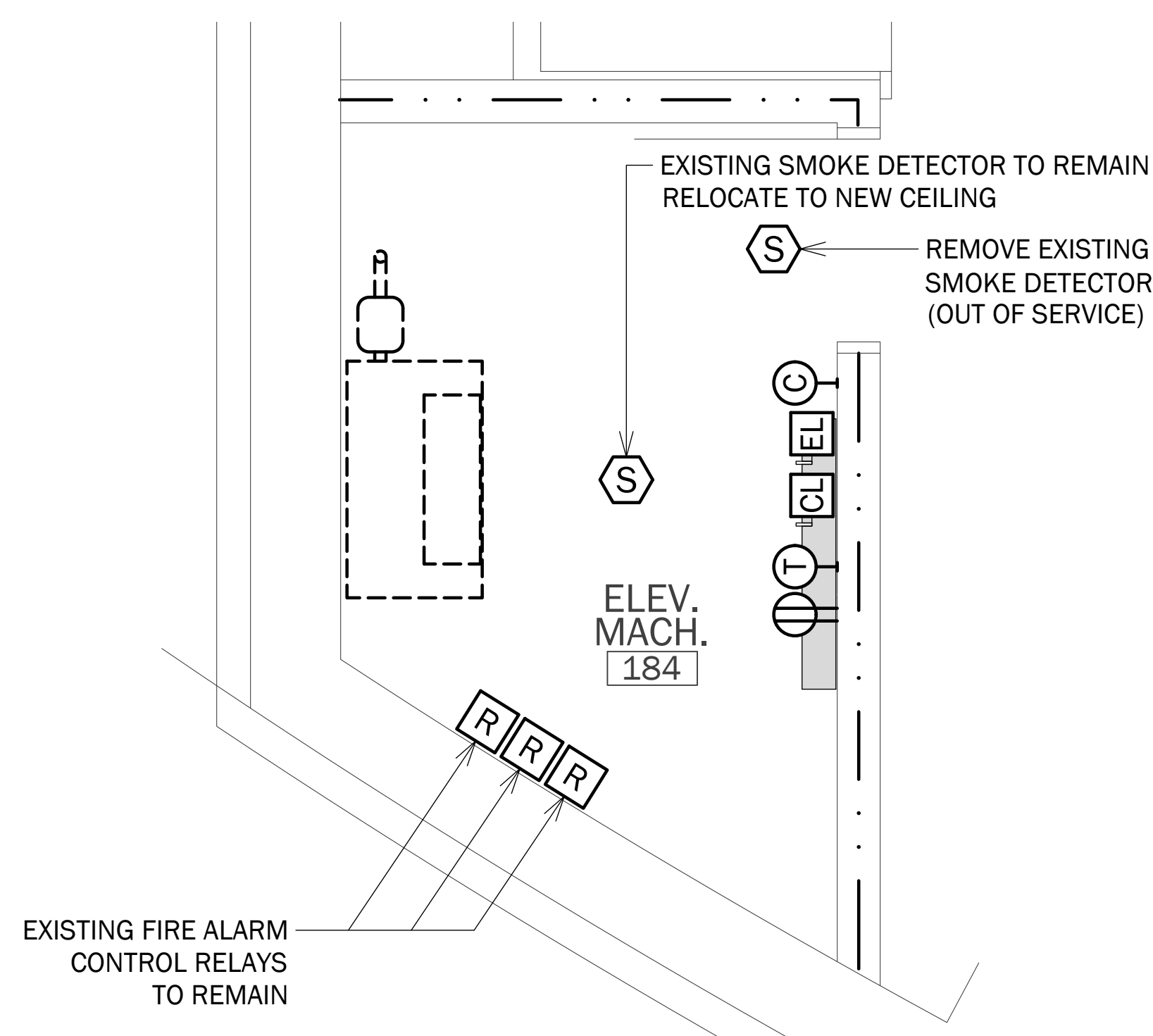
INDEX OF DRAWINGS

EL000 COVER SHEET
EL100 BUILDING S201 PLAN - EXISTING CONDITIONS/DEMOLITION
EL101 BUILDING S201 PLAN - EXISTING CONDITIONS/DEMOLITION
EL102 BUILDING S203 PLAN - EXISTING CONDITIONS/DEMOLITION
EL200 BUILDING S201 PLAN - NEW WORK
EL201 BUILDING S203 PLAN - NEW WORK
EL300 HVAC SPLIT-SYSTEM CONNECTIONS/DETAILS
EL400 ELEVATOR BASE BID + ALTERNATES BUILDING S201
EL401 ELEVATOR BASE BID + ALTERNATES BUILDING S203
EL500 MISCELLANEOUS DETAILS

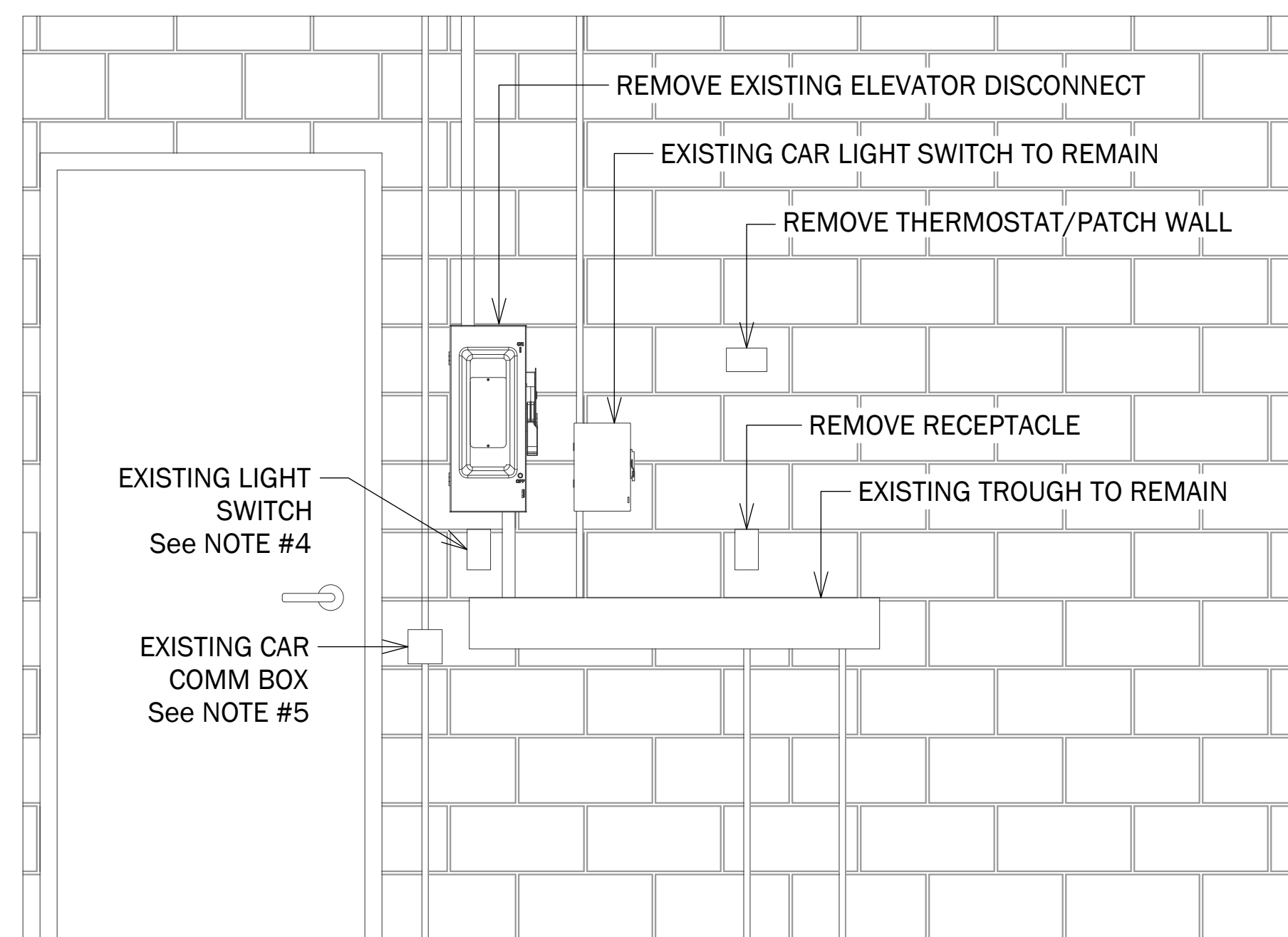
SHEET TITLE	
26010.00	EL000
PROJECT NUMBER	
03.26.2026	SHEET OF
RELEASE DATE	

DEMOLITION NOTES:

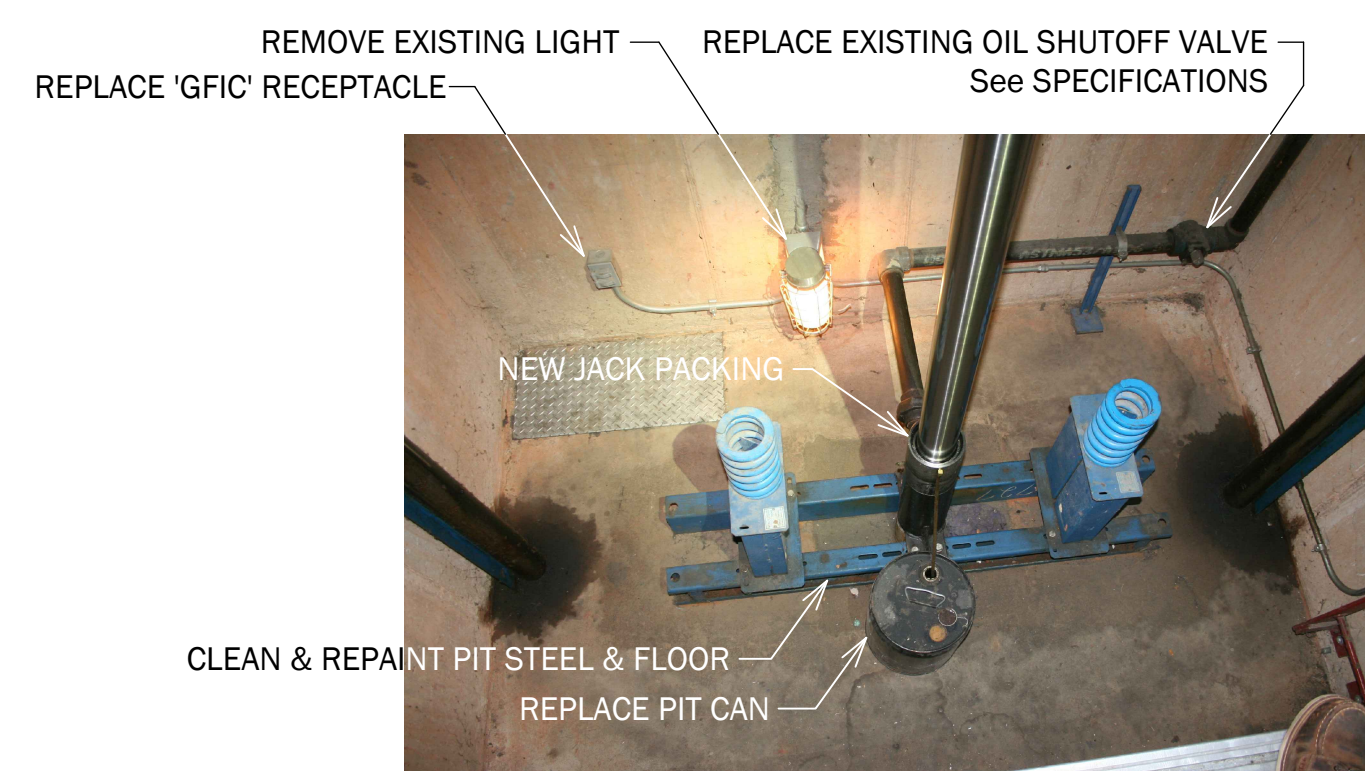
1. See SHEET EL000 AND THE PROJECT MANUAL FOR ADDITIONAL INFORMATION ON THE ELEVATOR SYSTEM DEMOLITION.
2. REMOVE DUCT PENETRATIONS, SEAL AND PAINT WALL. PATCHED AREA SHALL HAVE SAME FIRE RATING AS WALL = 1-HOUR.
3. CUT DUCT AS REQUIRED - BLANK OFF EXISTING DUCT. SYSTEM SHALL BE RE-BALANCED, IF NECESSARY.
4. REMOVE EXISTING SWITCH, PLATE AND CIRCUIT. NEW SWITCH, PLATE & CIRCUIT WILL BE PROVIDED UNDER NEW WORK - See SHEET EL102.
5. EXISTING BOX AND CONDUIT FOR COMMUNICATIONS SHALL REMAIN. EXISTING CONDUIT HAS TELEPHONE WIRING (TO REMAIN). NEW CAT6 DATA DROP WILL BE PROVIDED UNDER NEW WORK - See SHEET EL102.
6. REMOVE EXISTING THERMOSTAT AND WIRING - PATCH AND PAINT WALL - 1-HOUR FIRE RATING.



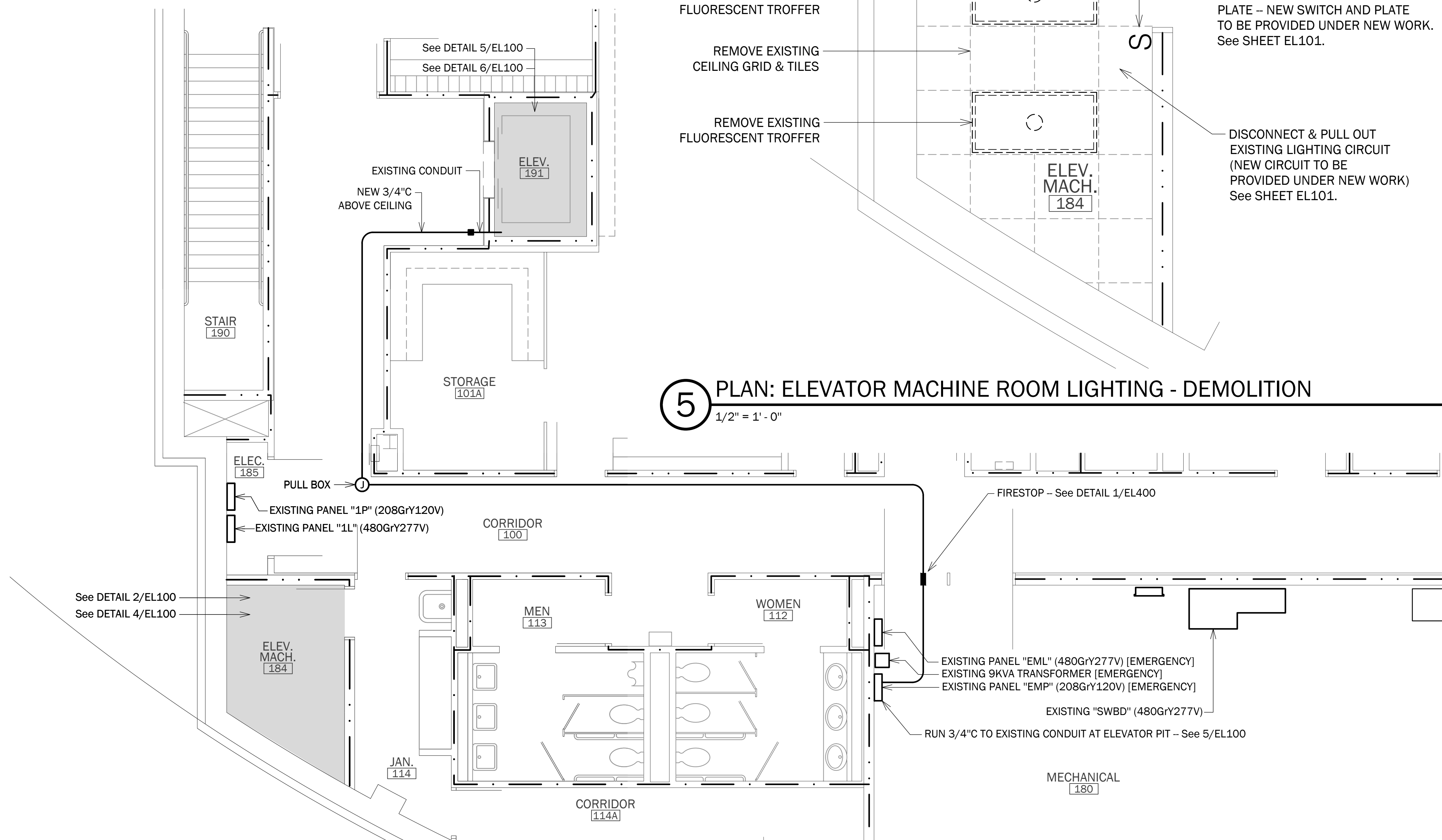
2 PLAN: ELEVATOR MACHINE ROOM FIRE ALARM - DEMOLITION
1/2" = 1'-0"



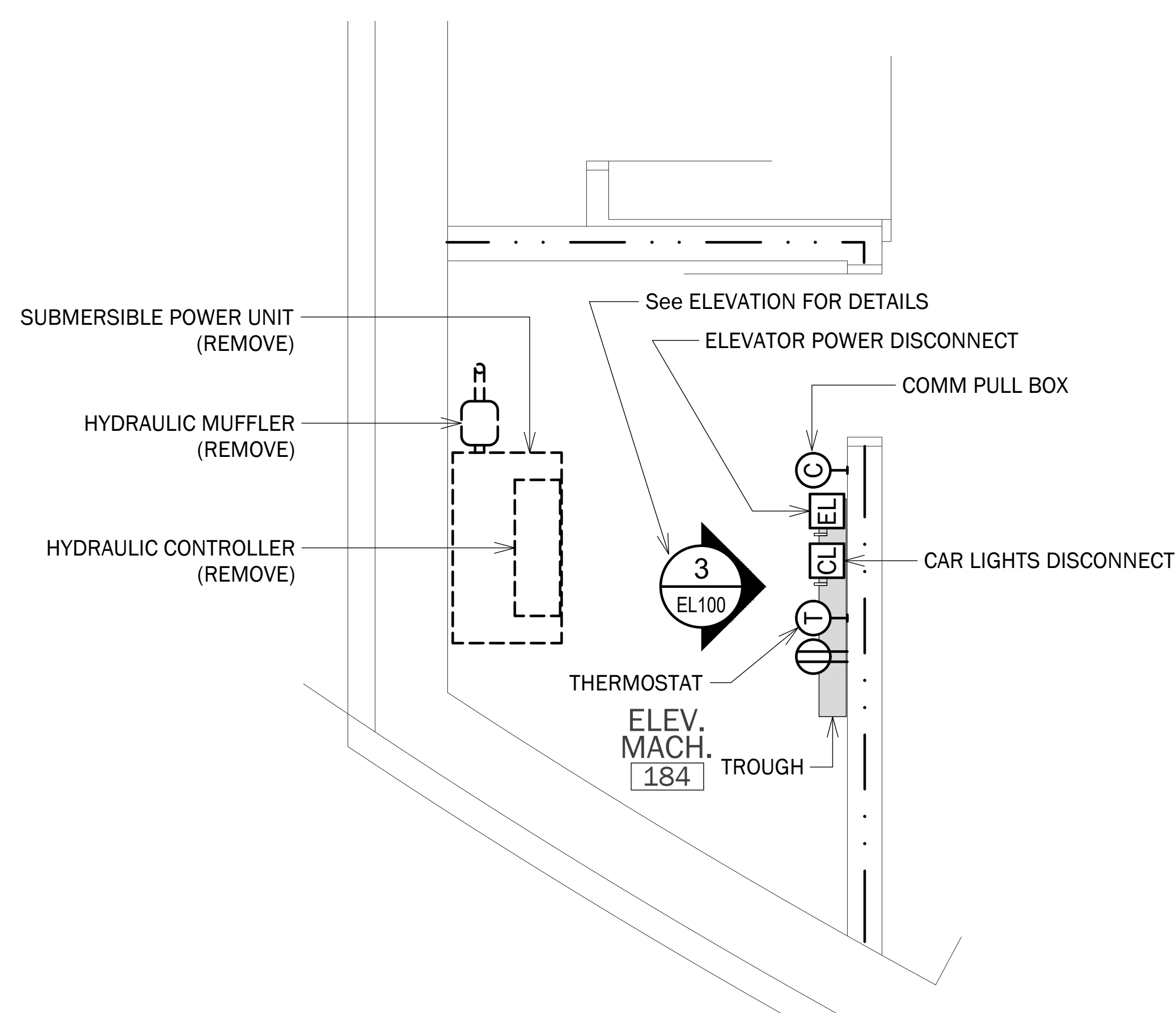
3 ELEVATION: MACHINE ROOM [184] WALL - DEMOLITION
3/4" = 1'-0"



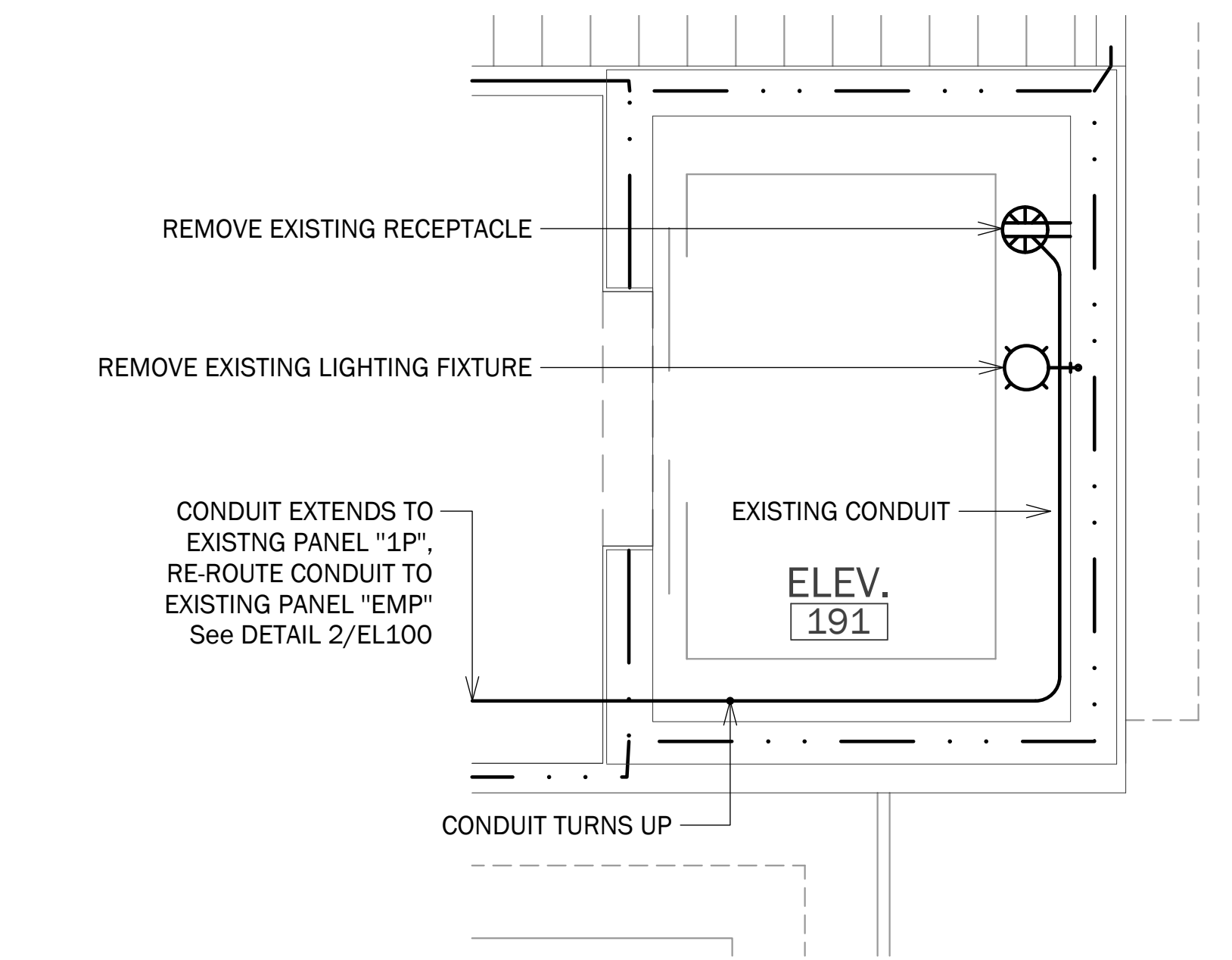
6 ELEVATOR PIT: BUILDING S201 DEMOLITION
Not To Scale



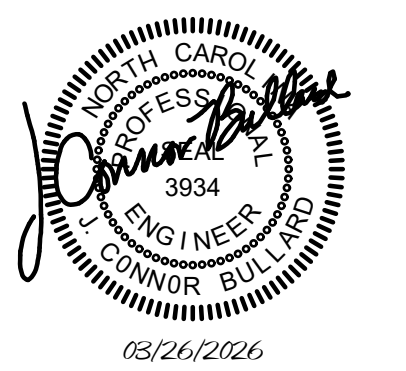
1 PARTIAL PLAN: BUILDING S201 - DEMOLITION
1/4" = 1'-0"



4 PLAN: ELEVATOR MACHINE ROOM [184] - DEMOLITION
1/2" = 1'-0"



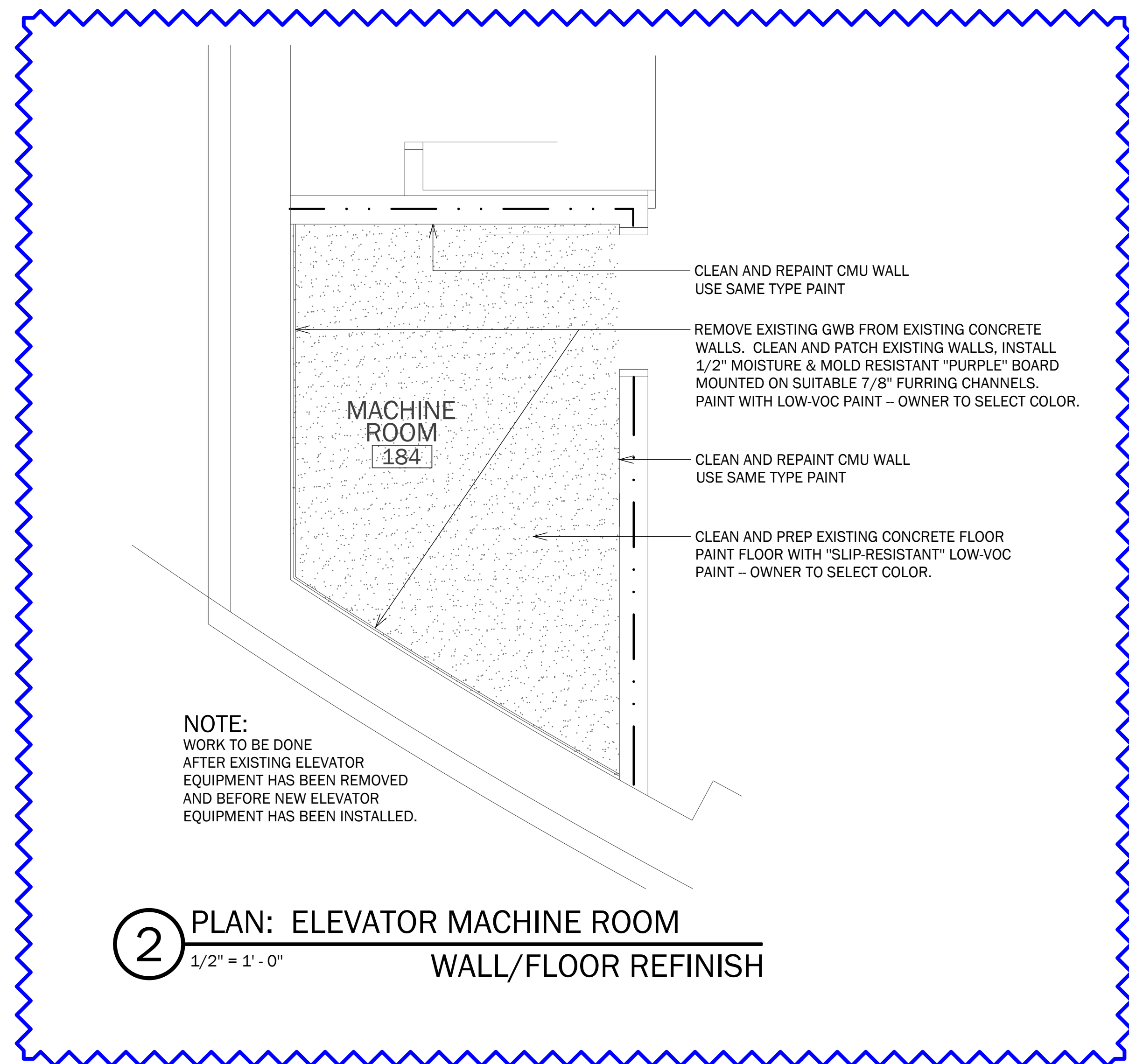
5 PLAN: ELEVATOR PIT [191] - DEMOLITION
1/2" = 1'-0"



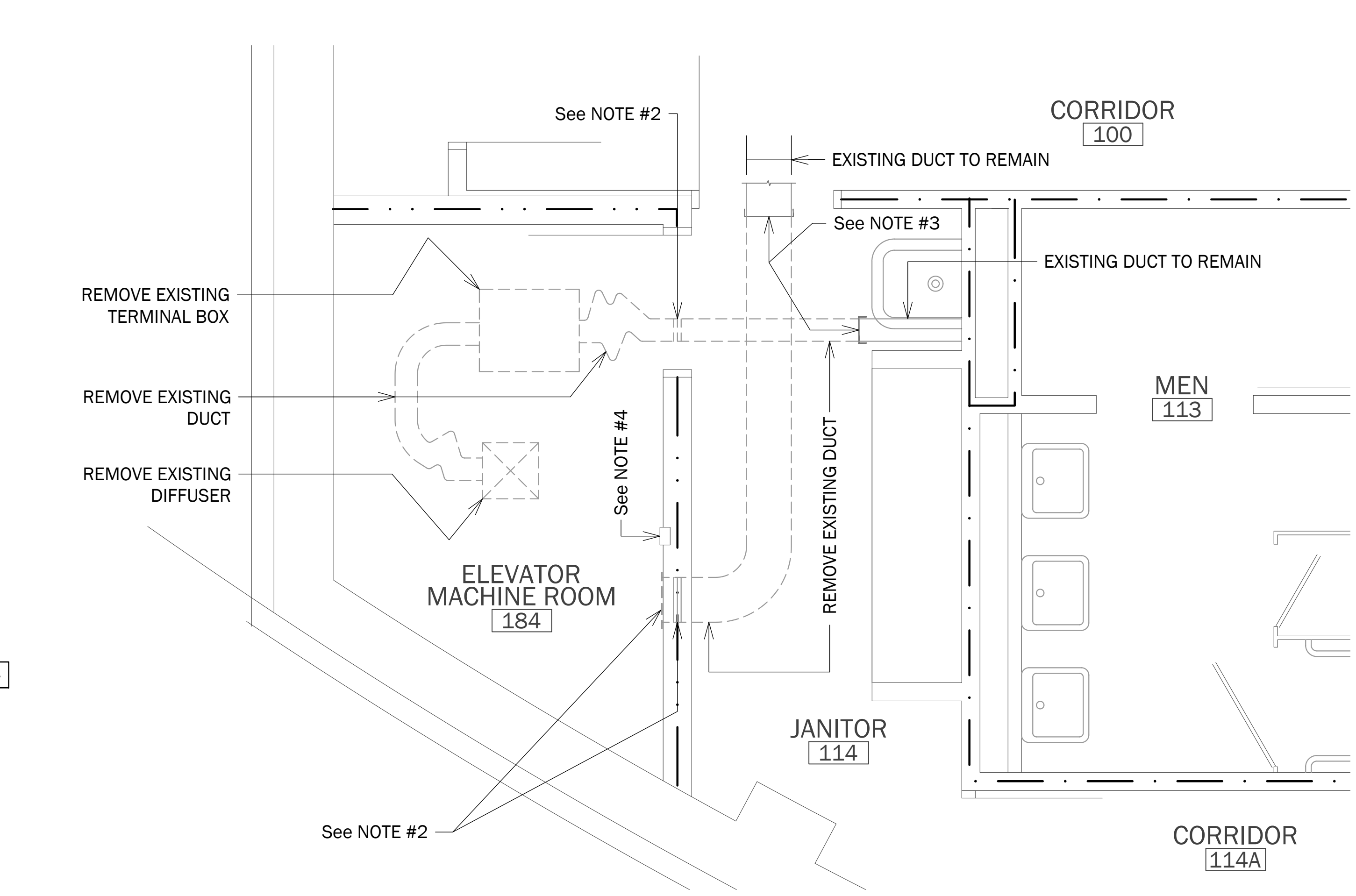
REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING S201 PLAN - EXISTING CONDITIONS/DEMOLITION

SHEET TITLE	
26010.00	PROJECT NUMBER
03.26.2026	RELEASE DATE
EL100	SHEET OF



② PLAN: ELEVATOR MACHINE ROOM
1/2" = 1' - 0"
WALL/FLOOR REFINISH



① PLAN: ELEVATOR MACHINE ROOM - HVAC - DEMOLITION
1/2" = 1' - 0"

NOTES:

1. See SHEET ELO00 AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. REMOVE EXISTING DUCTWORK THROUGH EXISTING RATED WALLS, PATCH WALL TO MATCH FIRE RATING AND PAINT AS DIRECTED.
3. CUT OFF AND REMOVE EXISTING DUCTWORK, CAP REMAINING DUCTWORK AIRTIGHT.
4. REMOVE EXISTING THERMOSTAT & BOX -- PATCH WALL AND PAINT AS DIRECTED.

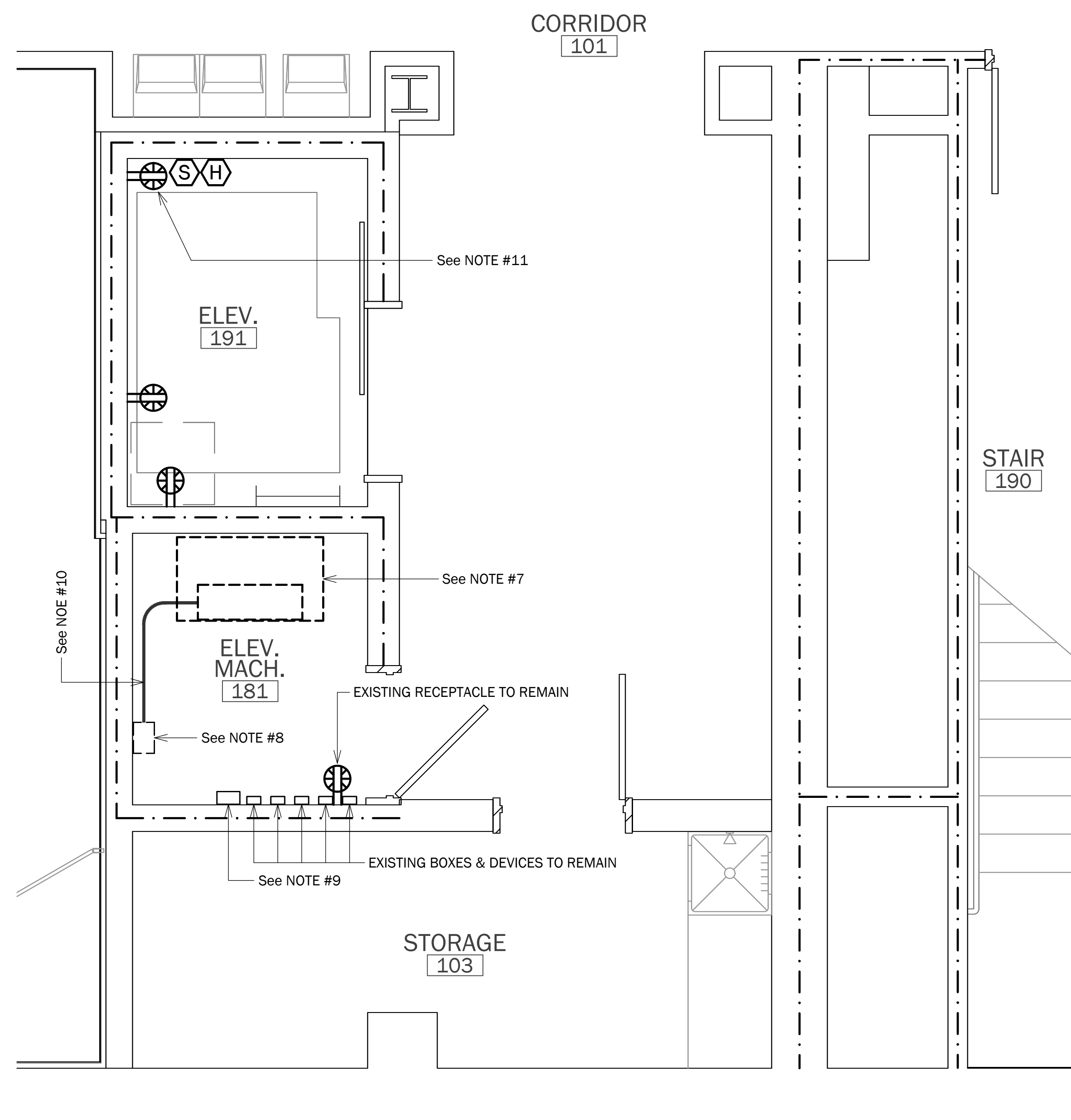


REVISIONS		
NO.	DATE	DESCRIPTION
1	04/14/2026	ADDED ROOM FINISH DETAILS FOR MACHINE ROOM (184)

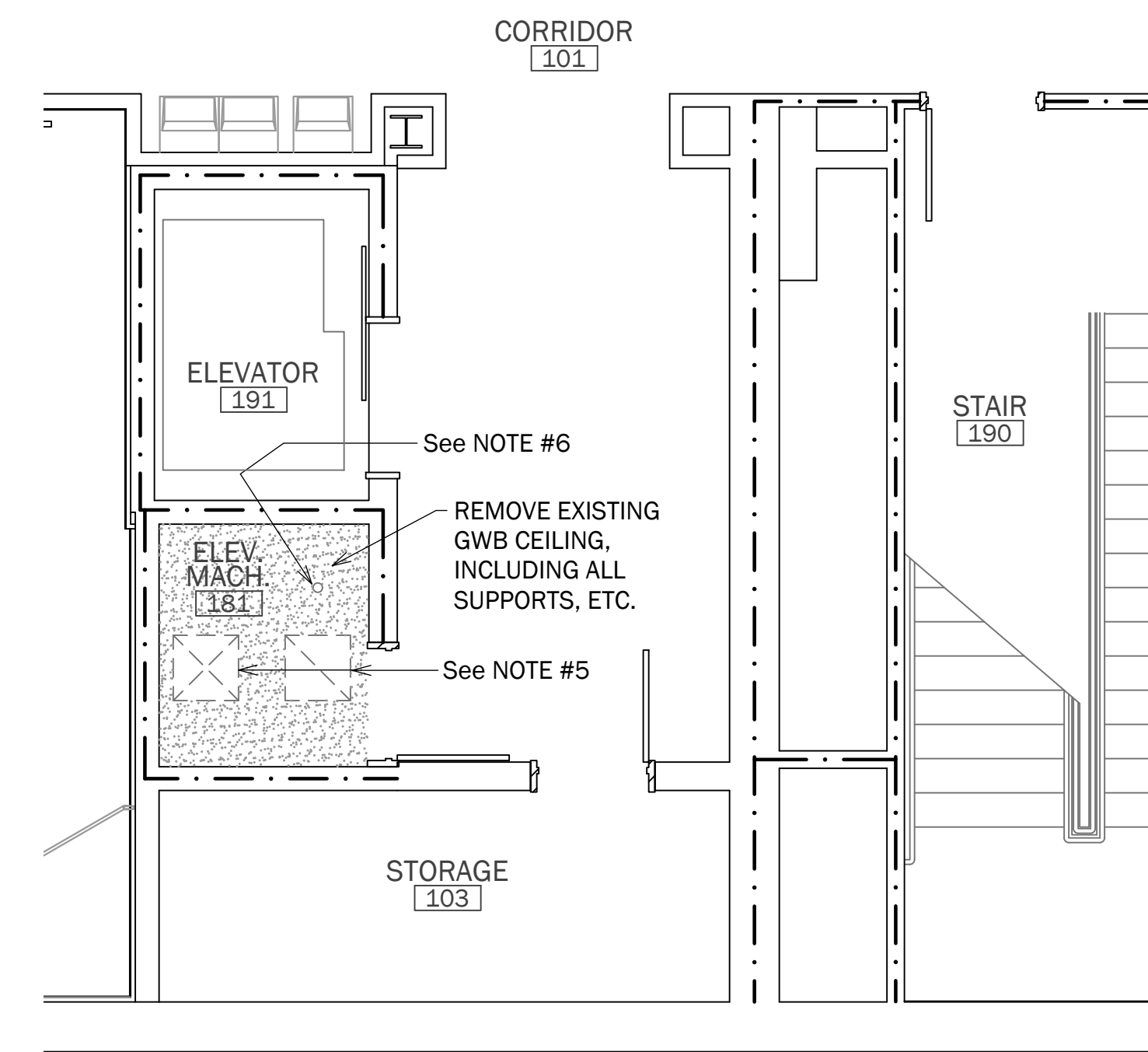
BUILDING S201 PLAN - EXISTING CONDITIONS/DEMOLITION

SHEET TITLE	
26010.00	EL101
PROJECT NUMBER	
03.26.2026	
RELEASE DATE	SHEET OF

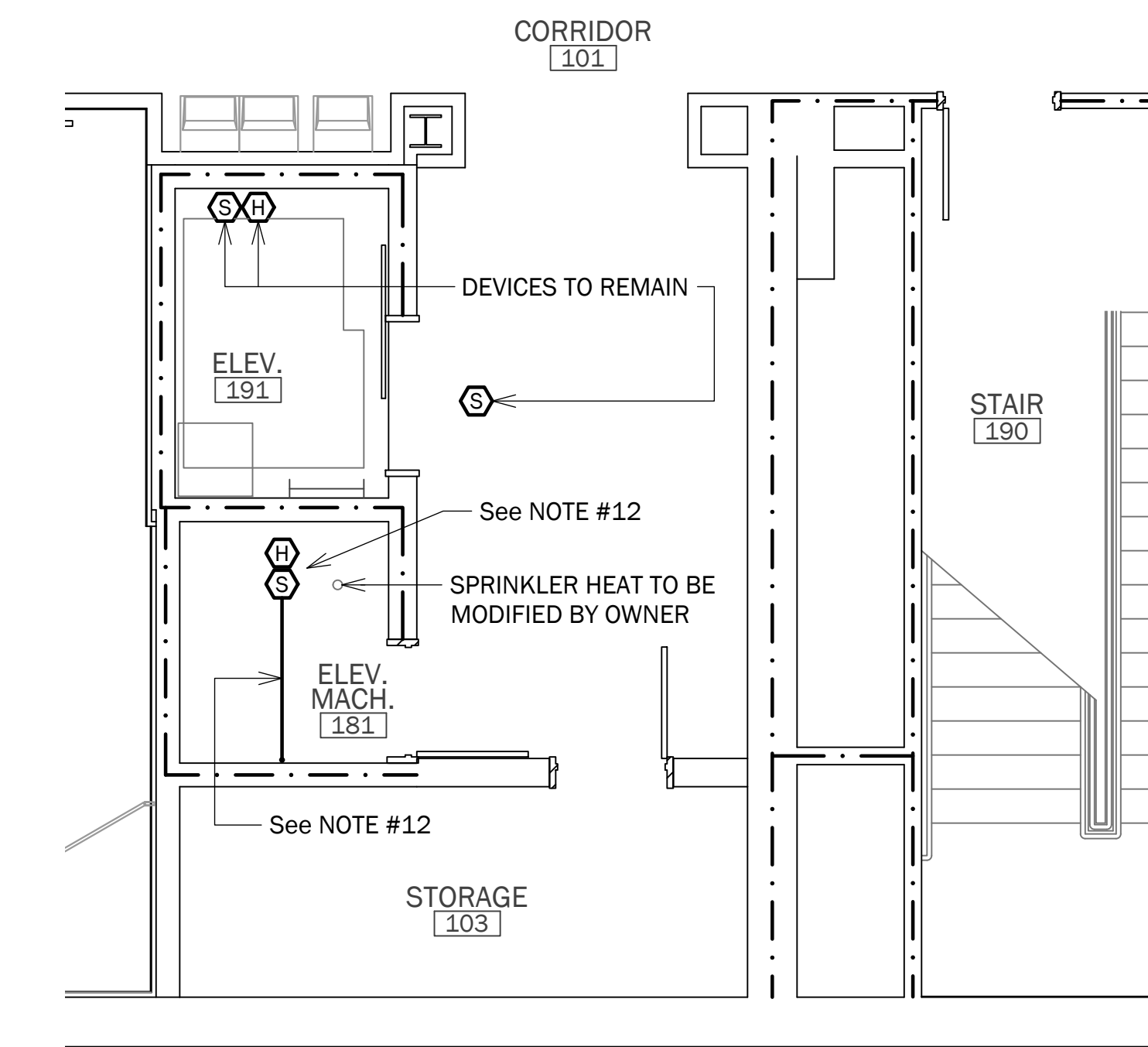
BUILDING S201



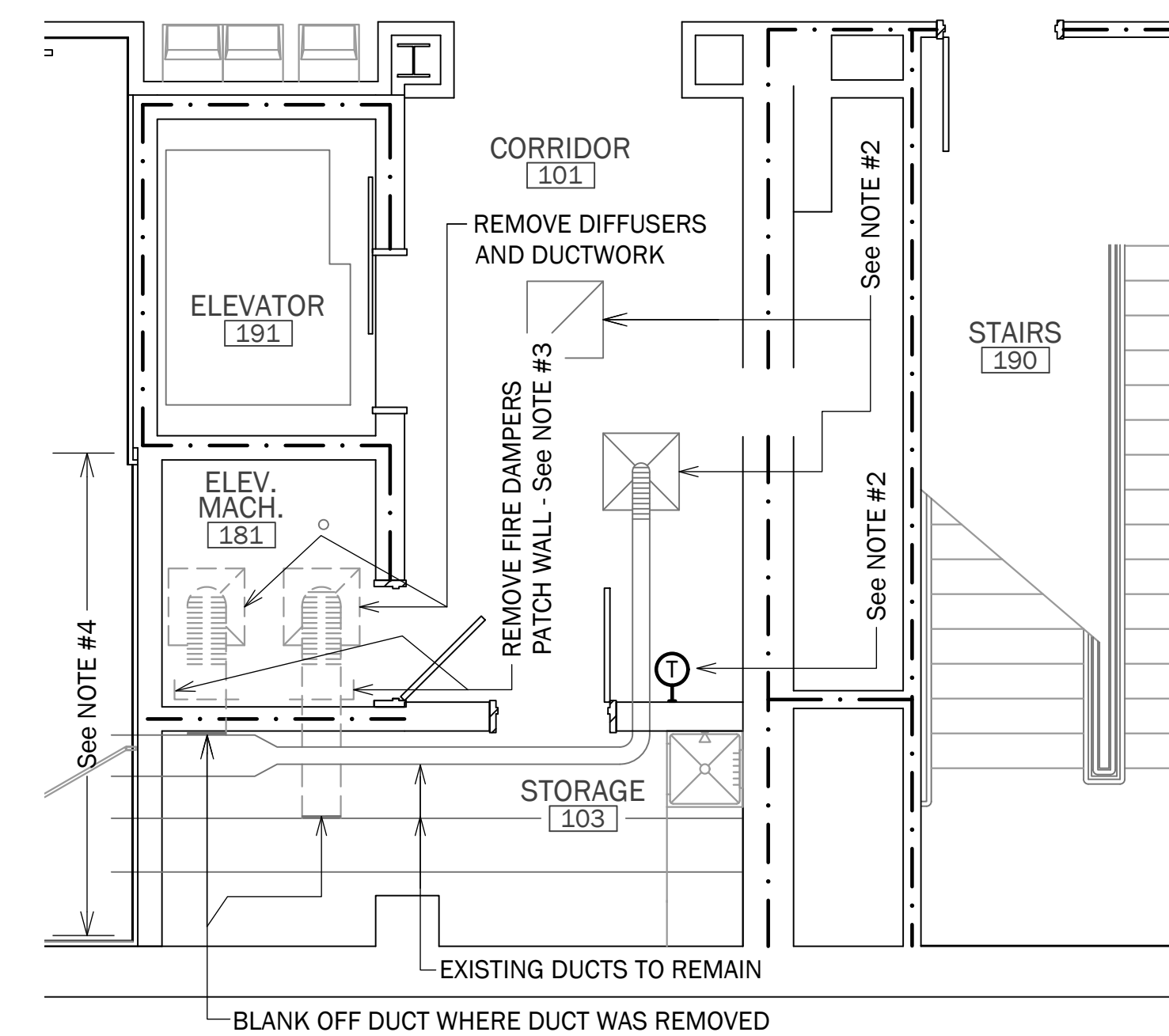
3 PARTIAL PLAN: BUILDING S203 - EQUIPMENT - DEMOLITION
1/2" = 1' - 0"



2 PARTIAL PLAN: BUILDING S203 - CEILING DEMOLITION
1/4" = 1' - 0"



1 PARTIAL PLAN: BUILDING S203 - FIRE ALARM DEMOLITION
1/4" = 1' - 0"



5 PARTIAL PLAN: BUILDING S203 - HVAC DEMOLITION
1/4" = 1' - 0"

DEMOLITION NOTES:

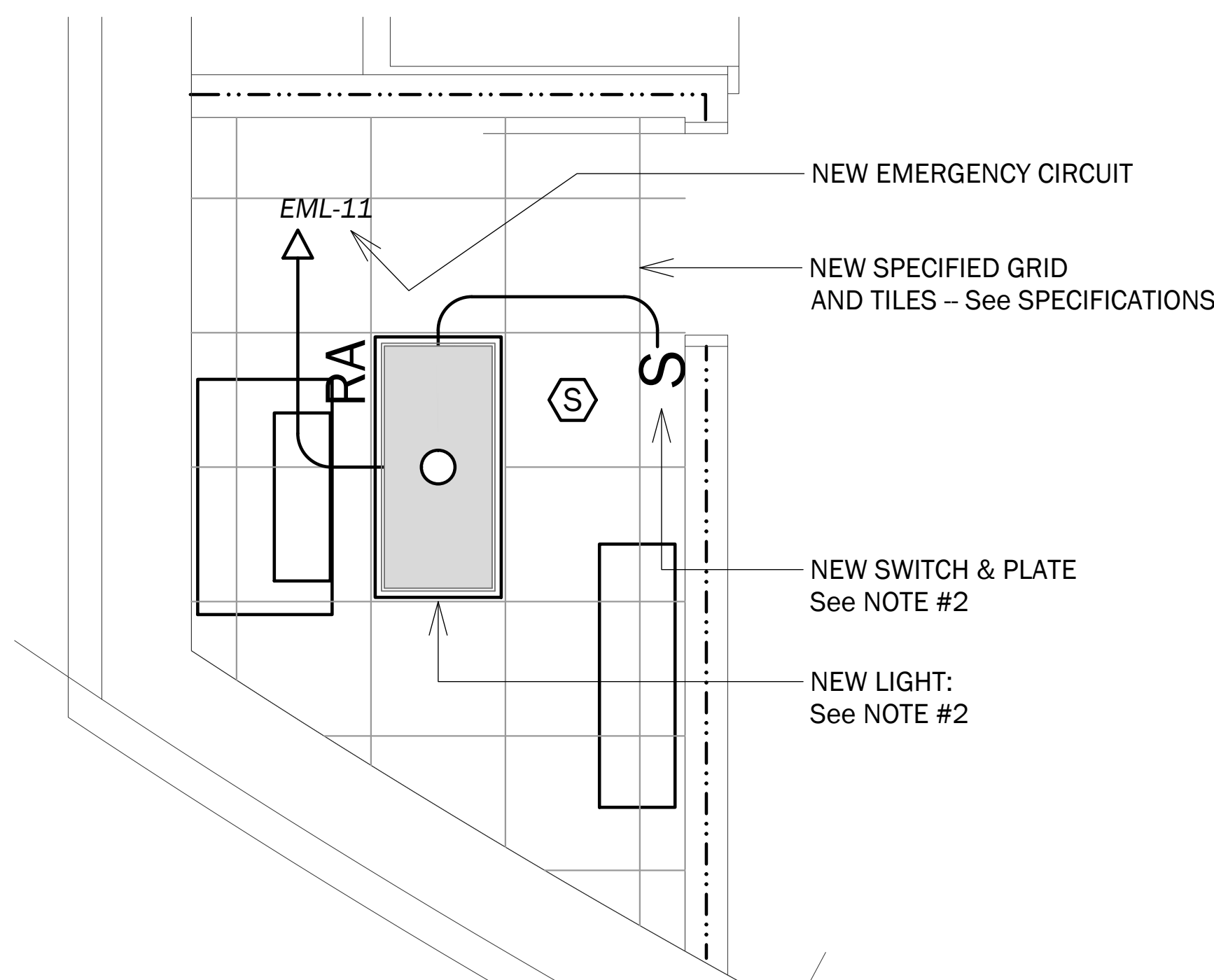
1. See SHEET ELO00 AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. EXISTING HVAC DEVICES TO REMAIN.
3. REMOVE FIRE DAMPERS AND PATCH 1-HOUR RATED WALL.
4. See SECTION 5/EL500 FOR ADDITIONAL INFORMATION.
5. REMOVE EXISTING HVAC AIR DEVICES.
6. EXISTING SPRINKLER HEAT TO BE MODIFIED BY THE OWNER.
7. REMOVE EXISTING SUBMERSIBLE POWER UNIT & HYDRAULIC CONTROLLER.
8. REMOVE EXISTING ELEVATOR DISCONNECT SWITCH.
9. EXISTING DISCONNECT FOR CAR LIGHTS TO REMAIN.
10. REMOVE WIRING BETWEEN DISCONNECT AND CONTROLLER - MODIFY CONDUIT.
11. EXISTING RECEPTACLES IN PIT SHALL REMAIN.
12. CEILING IN THIS ROOM TO BE REMOVED & REPLACED. RELOCATED FIRE ALARM DEVICES TO NEW CEILING. EXISTING CONDUIT FEEDING THESE DEVICES IS CURRENTLY RUN EXPOSED ON EXISTING CEILING - RELOCATE TO ABOVE NEW CEILING.



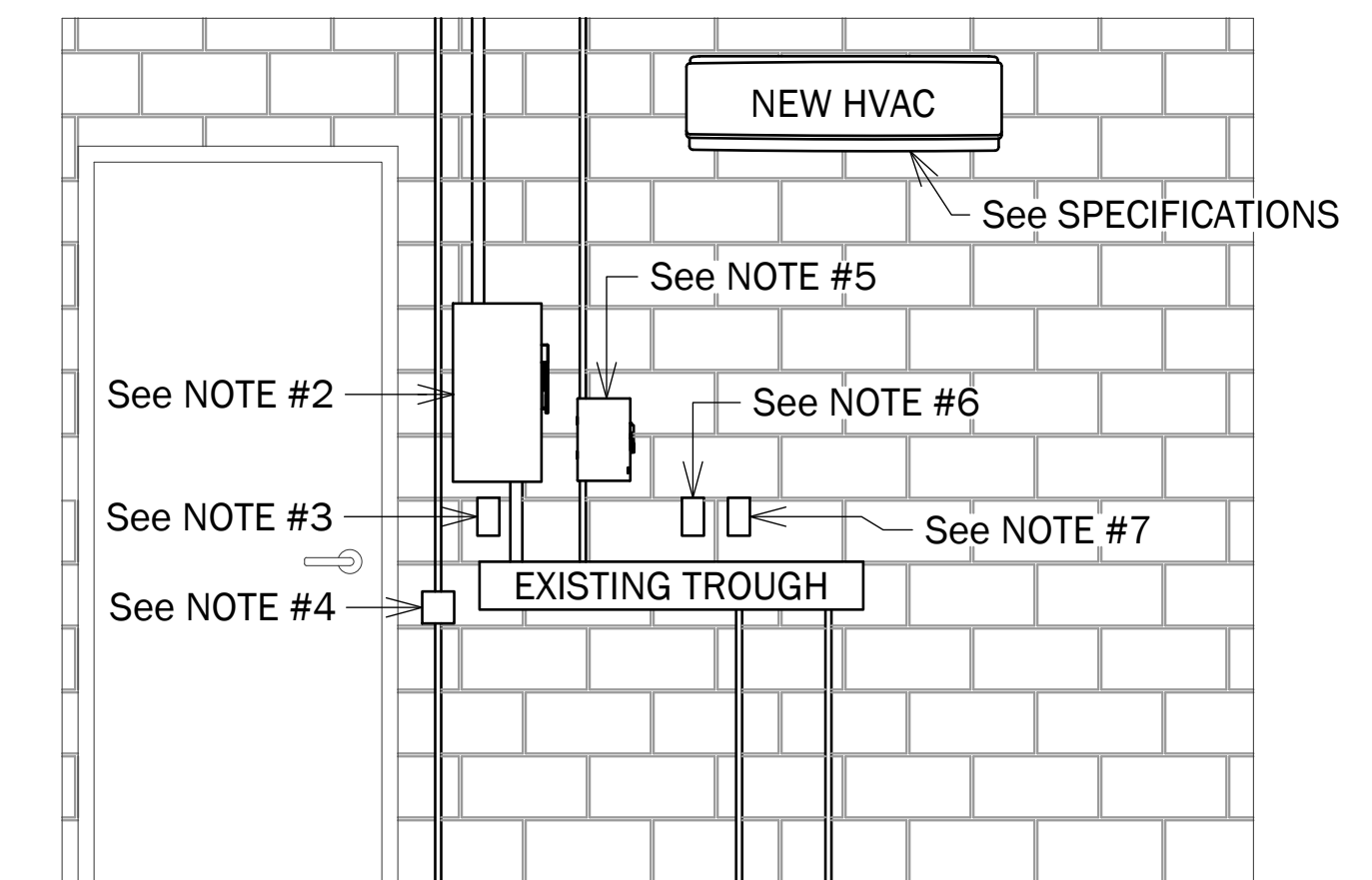
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NO.	DATE	DESCRIPTION

BUILDING S203 PLAN -
EXISTING CONDITIONS/
DEMOLITION

SHEET TITLE	
26010.00	EL102
PROJECT NUMBER	
03.26.2026	RELEASE DATE
	SHEET OF



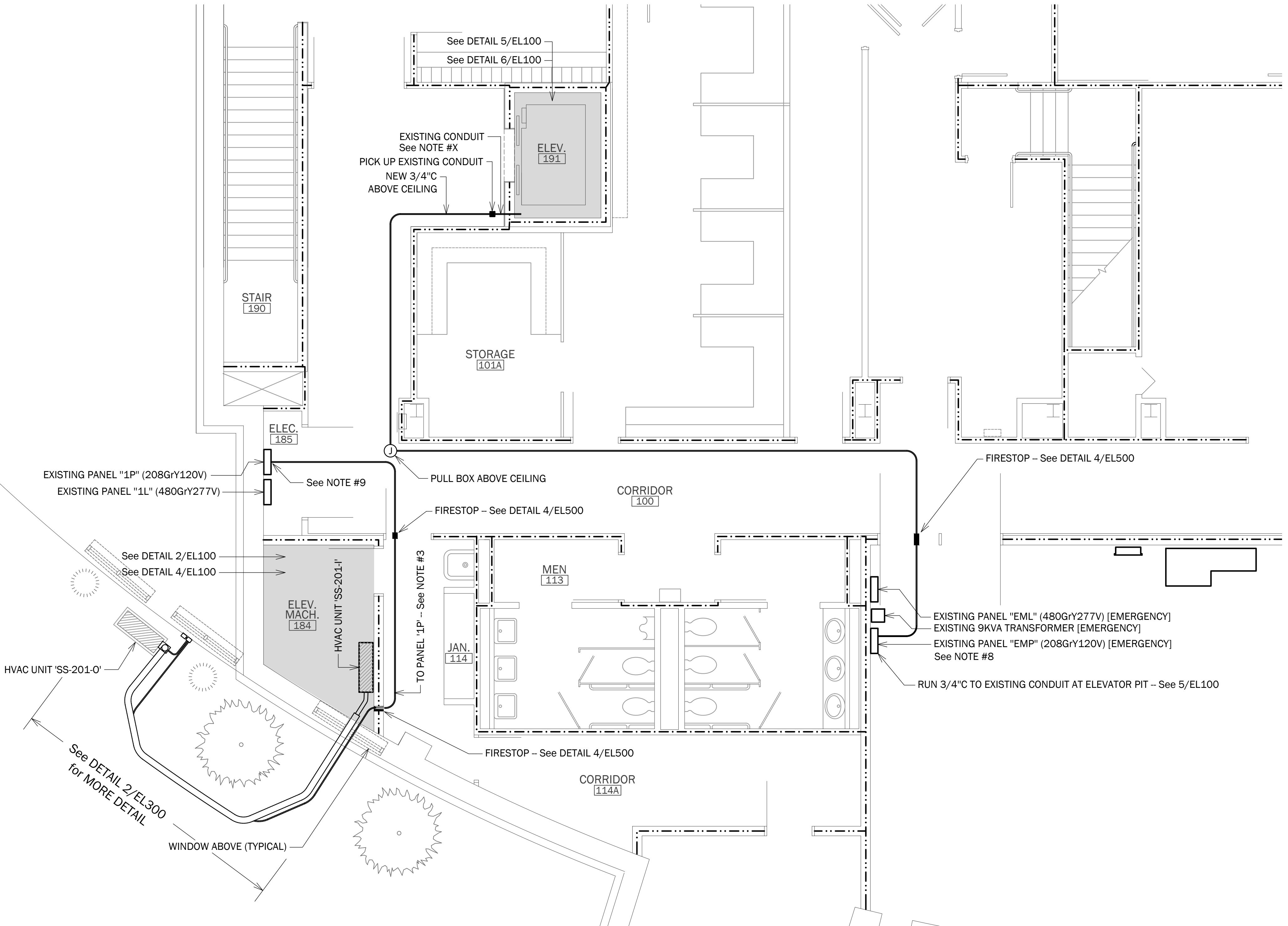
3 PLAN: ELEVATOR MACHINE ROOM [184] - LIGHTING - NEW WORK
 1/2" = 1' - 0"



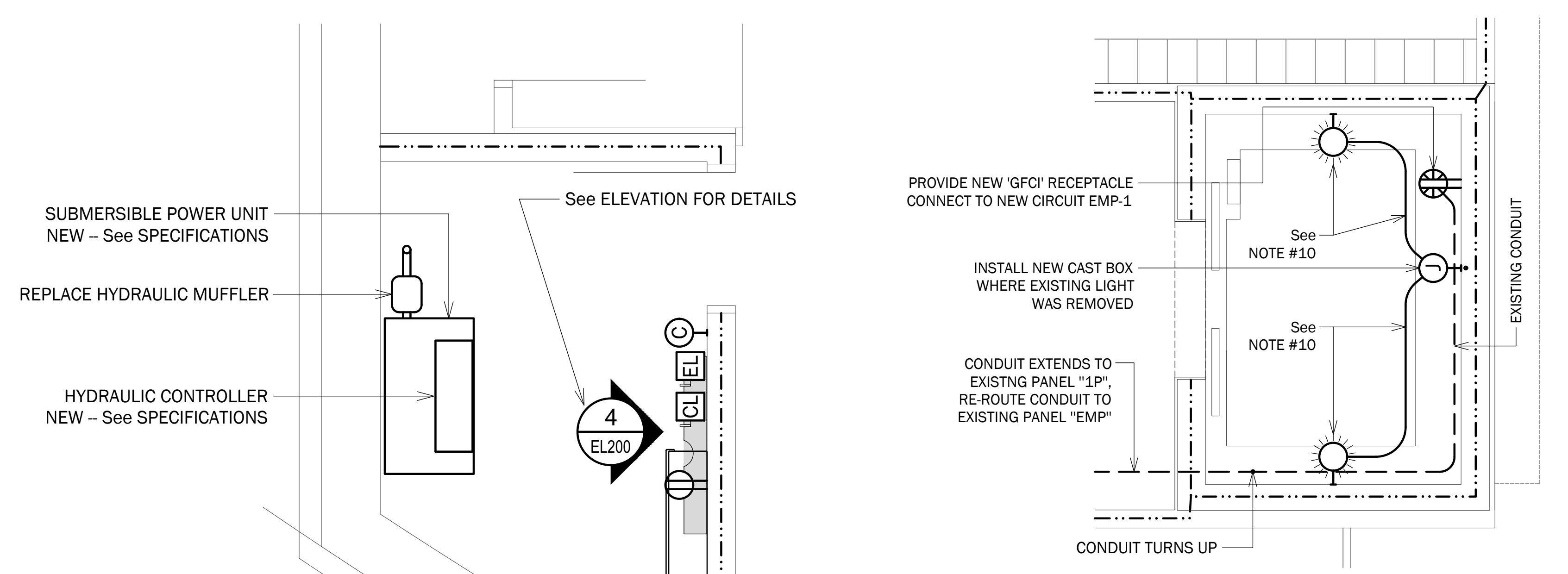
4 ELEVATION: WALL - NEW WORK
 Not To Scale

NOTES:

- See SHEET EL000 AND THE PROJECT MANUAL FOR ADDITIONAL INFORMATION ON THE ELEVATOR SYSTEM.
- FURNISH & INSTALL NEW ELEVATOR DISCONNECT: PROVIDE A NEW EATON #DH363FGK, or EQUAL, 100A/600V/3P/4W/HD/NEMA 1 ENCLOSURE. PROVIDE EATON #DS200EK1 AUXILIARY CONTACT. PROVIDE LABELING AS NOTED. REWORK CONDUIT AS REQUIRED IF NEW SWITCH IS LARGER THAN EXISTING SWITCH. LABEL SWITCH AS DIRECTED. REPLACE CONDUCTORS FROM SWITCH TO NEW ELEVATOR CONTROLLER AS SHOWN IN 5/EL201.
- REPLACE EXISTING LIGHT SWITCH AND PLATE: HUBBELL #1221GY WITH 302 BRUSHED STAINLESS STEEL PLATE. NEW LIGHT FIXTURE SHALL BE COLUMBIA #NBT24-35L070G-A12125F-ED1U, or EQUAL.
- EXISTING DATA BOX TO REMAIN - INSTALL NEW CAT6 DROP - RUN TO SERVER ROOM [208] AND PUNCH DOWN AS DIRECTED BY RCCC IT DEPARTMENT.
- EXISTING ELEVATOR LIGHT CIRCUIT DISCONNECT TO REMAIN.
- REMOVE EXISTING THERMOSTAT AND FILL OPENING.
- REPLACE EXISTING RECEPTACLE WITH 20A 'GFCI' TYPE - HUBBELL #GFR20GRY, or EQUAL.
- USE EXISTING 'SPARE' 20A BREAKER EMP-11 TO FEED ELEVATOR PIT.
- INSTALL NEW 20A/2P BREAKER IN EXISTING SPACES ONLY 34,36 IN EXISTING PANEL "1P." USE EXISTING 20A/1P BREAKER IN POSITION 40 TO FEED NEW GFCI RECEPTACLE.
- PROVIDE TWO (2) NEW LIGHTS FOR ELEVATOR PIT - INSTALL ON CAST BOX AND RUN CONDUIT TO NEW CAST BOX LOCATED WHERE THE EXISTING LIGHT WAS REMOVED. CONNECT NEW LIGHTS TO EXISTING PIT LIGHT CIRCUIT & SWITCH. NEW LIGHTING FIXTURES SHALL BE RAB #VXBRLD26NDG, or EQUAL. VERIFY EXACT LOCATIONS.
- NEW LAY-IN CEILING THE EXISTING LAY-IN CEILING IN MACHINE ROOM [184] SHALL BE REMOVED - A NEW 2' by 2' LAY-IN CEILING SHALL BE INSTALLED WITH STANDARD TEES AND CEILING TILES SPECIFIED ON SHEET EL000. TEES SHALL BE EQUAL TO ARMSTRONG:
 PRELUDE ML MAIN BEAM
 PRELUDE ML CROSS TEE
 7/8" HEMMED ANGLE MOLDING
 LAY-OUT AS SHOWN ON THE DRAWINGS, INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.

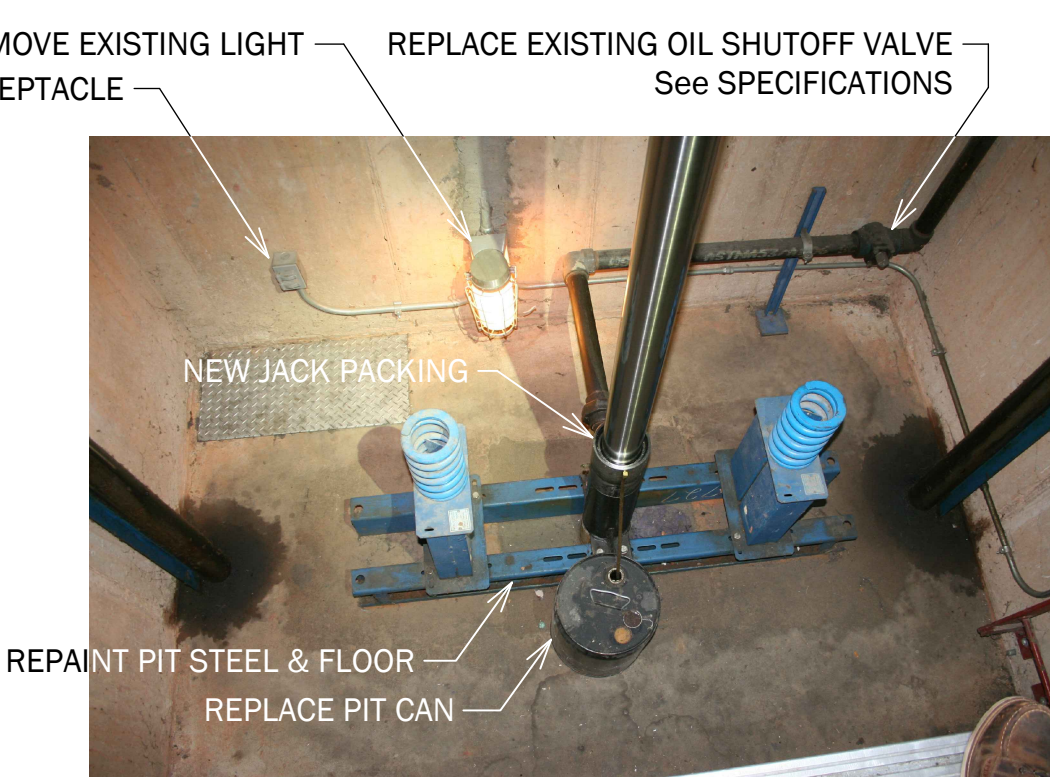


1 PARTIAL PLAN: BUILDING S201
 1/4" = 1' - 0"



6 PLAN: ELEVATOR PIT - NEW WORK
 1/2" = 1' - 0"

5 PLAN: ELEVATOR MACHINE ROOM [184] - NEW WORK
 1/2" = 1' - 0"



2 ELEVATOR PIT: BUILDING S201
 Not To Scale
NEW WORK

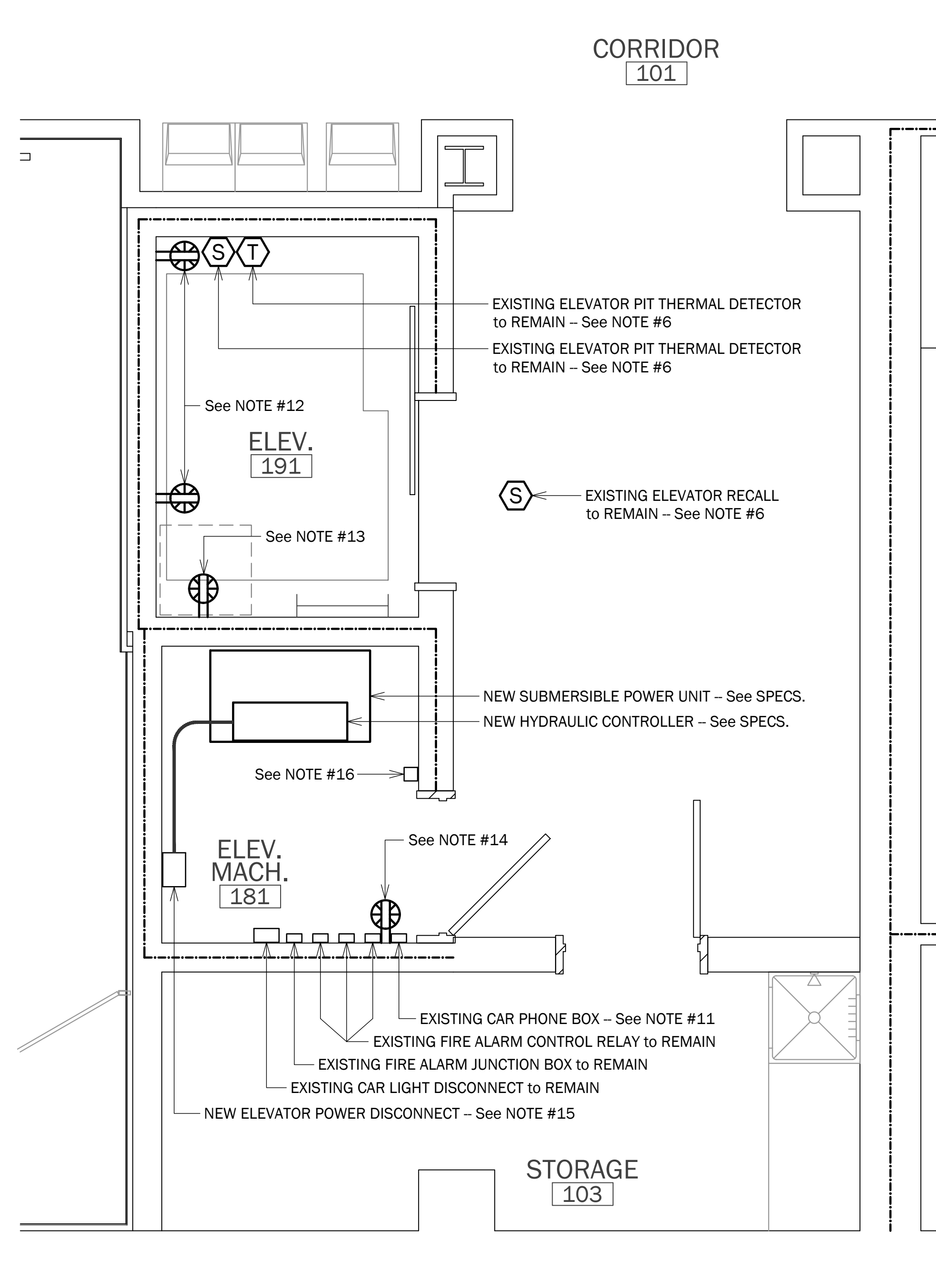
See SHEET EL400 for BASE BID & ALTERNATES DETAILS

BUILDING S201

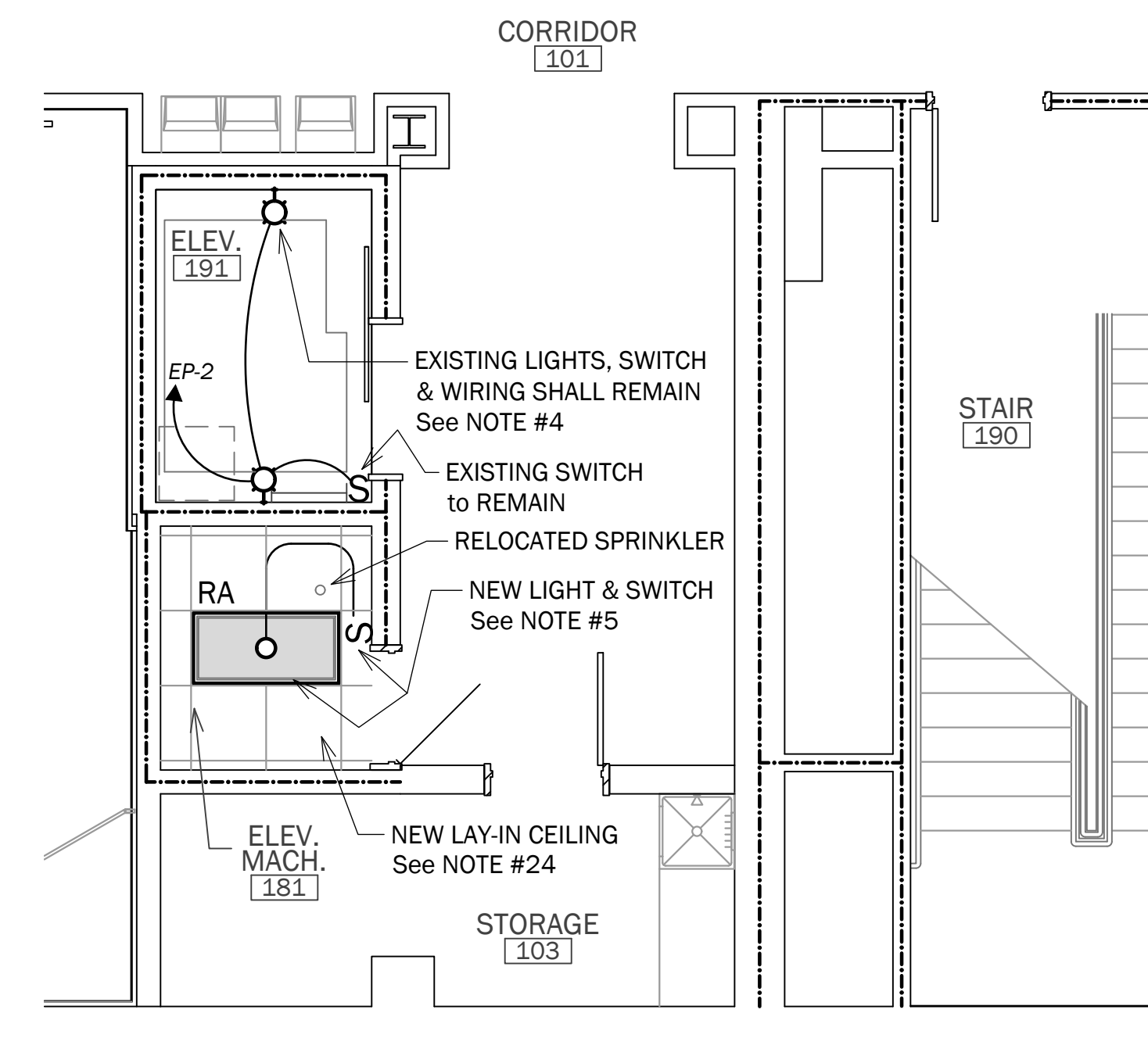
REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING S201 PLAN - NEW WORK

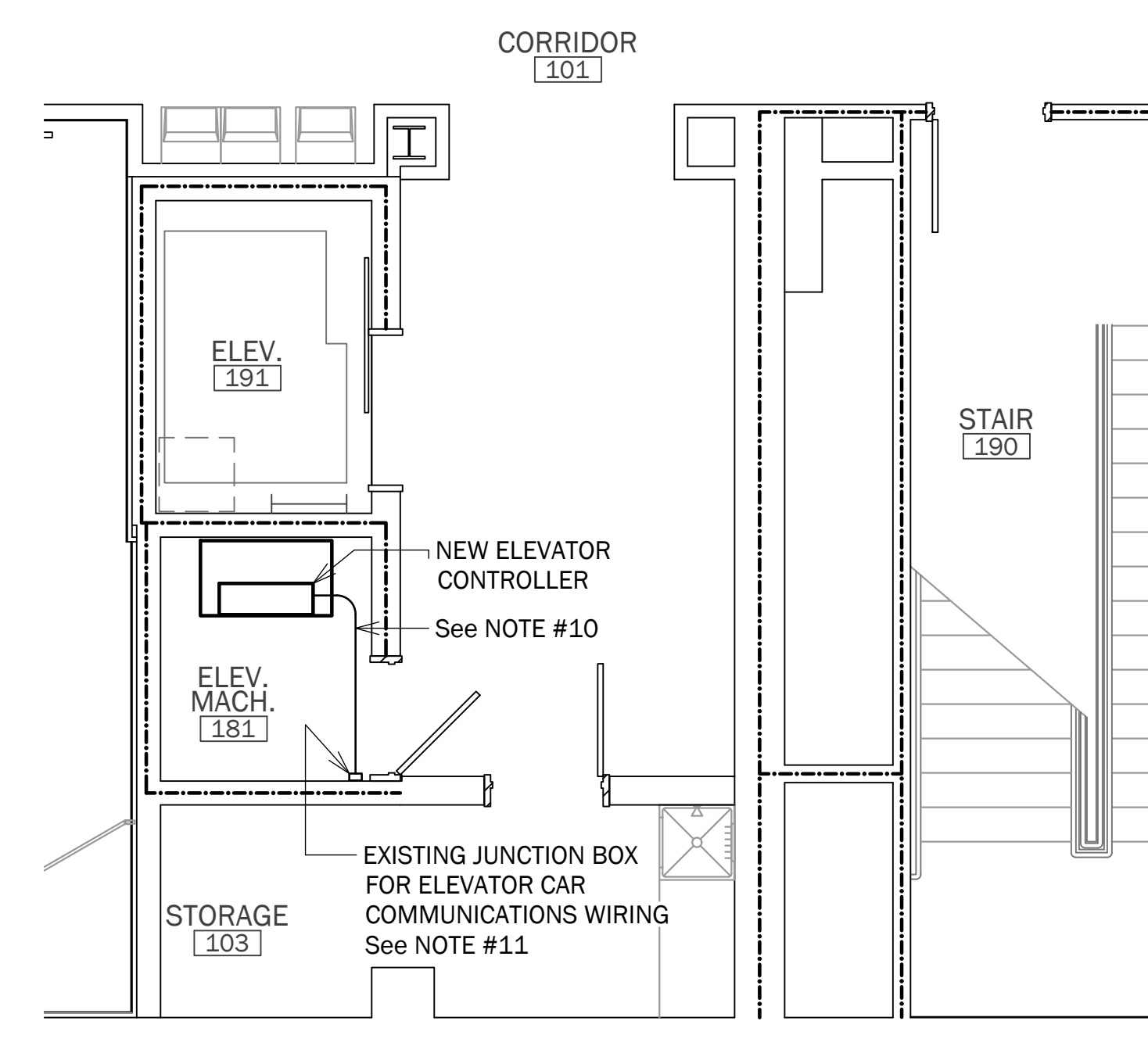
SHEET TITLE	26010.00
PROJECT NUMBER	03.26.2026
RELEASE DATE	EL200
SHEET	OF



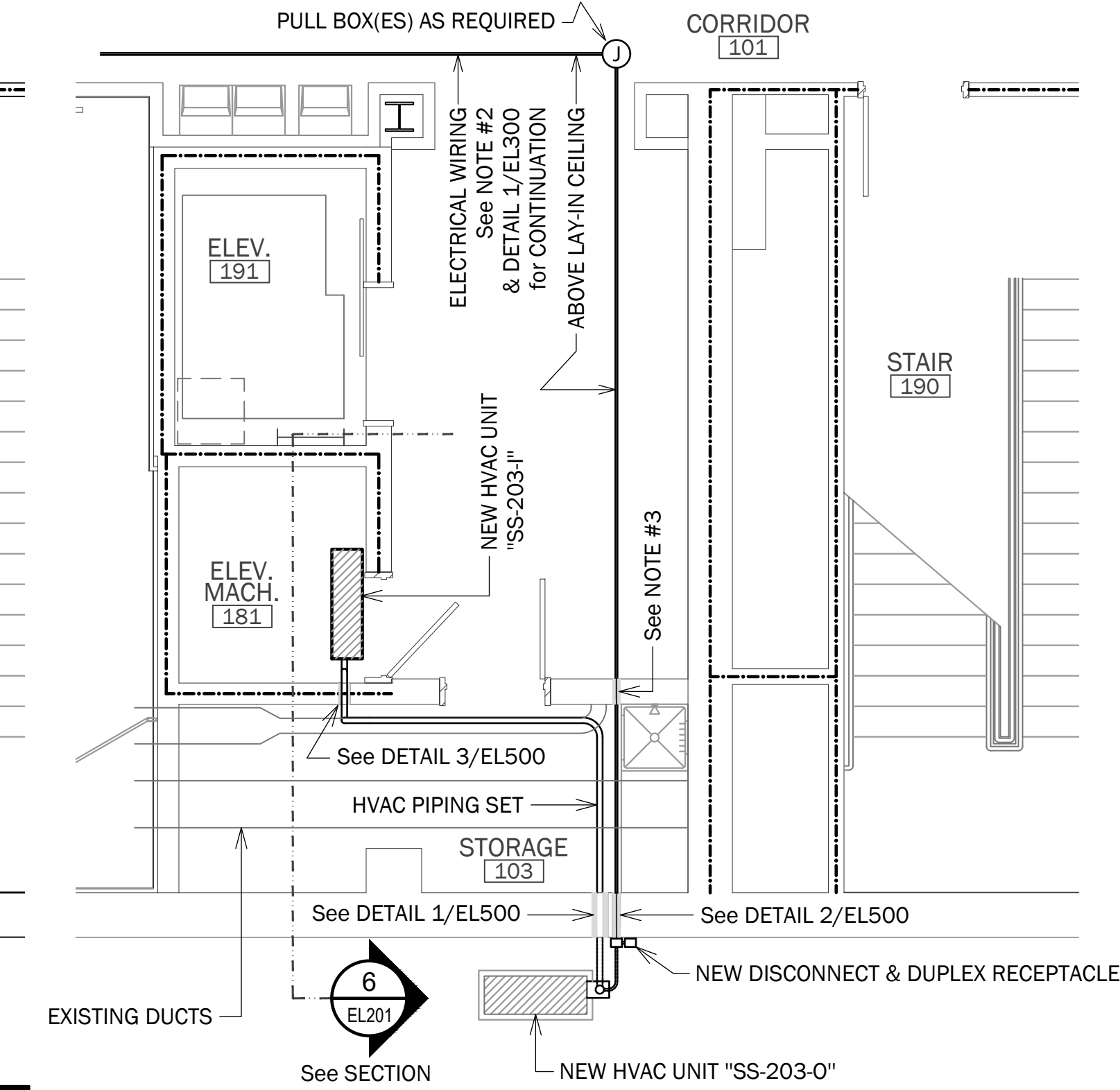
5 PARTIAL PLAN: ELEVATOR EQUIPMENT - NEW WORK
1/2" = 1' - 0"



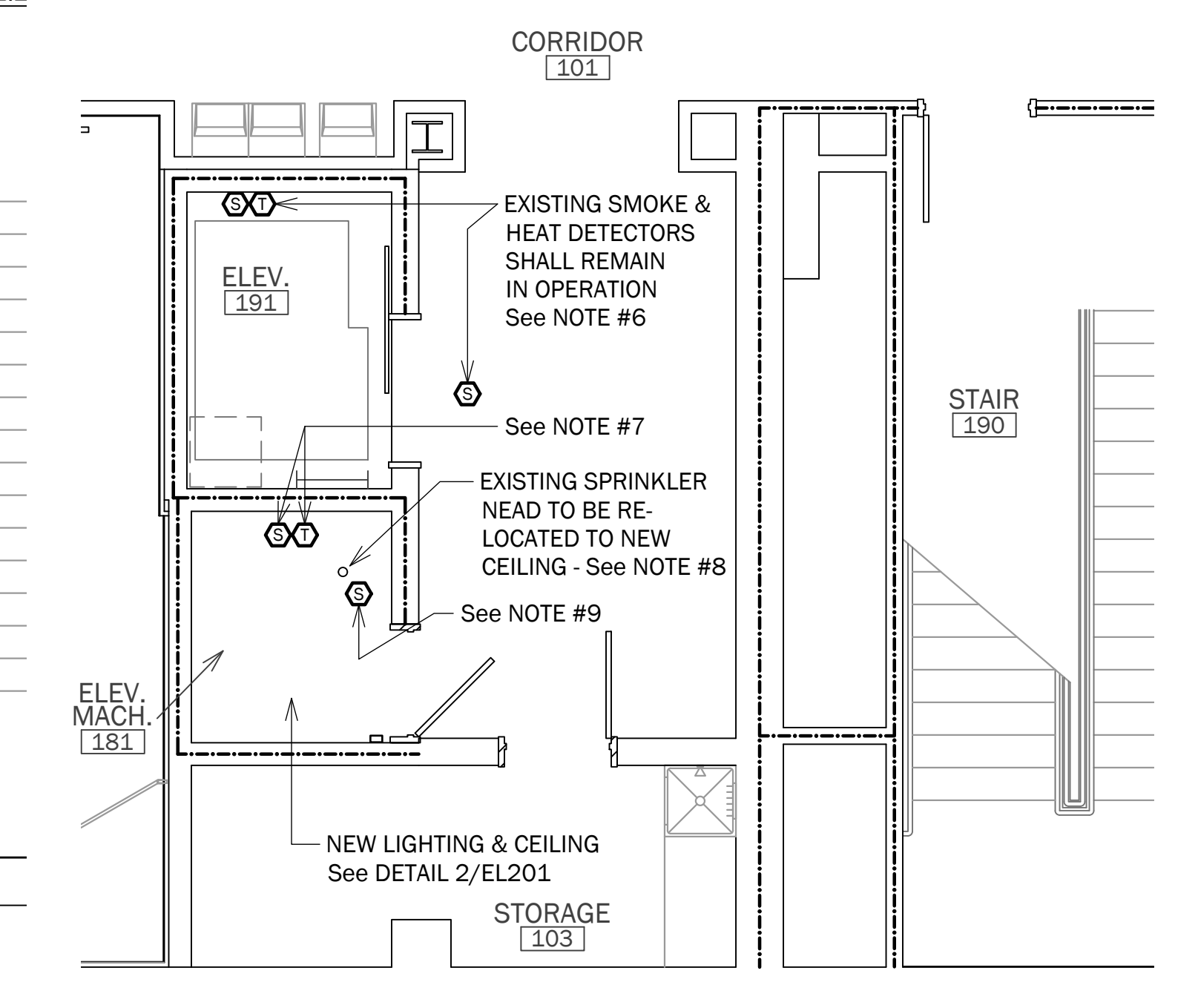
2 PARTIAL PLAN: CEILING - NEW WORK
1/4" = 1' - 0"



4 PARTIAL PLAN: COMM - NEW WORK
1/4" = 1' - 0"



1 PARTIAL PLAN: HVAC - NEW WORK
1/4" = 1' - 0"



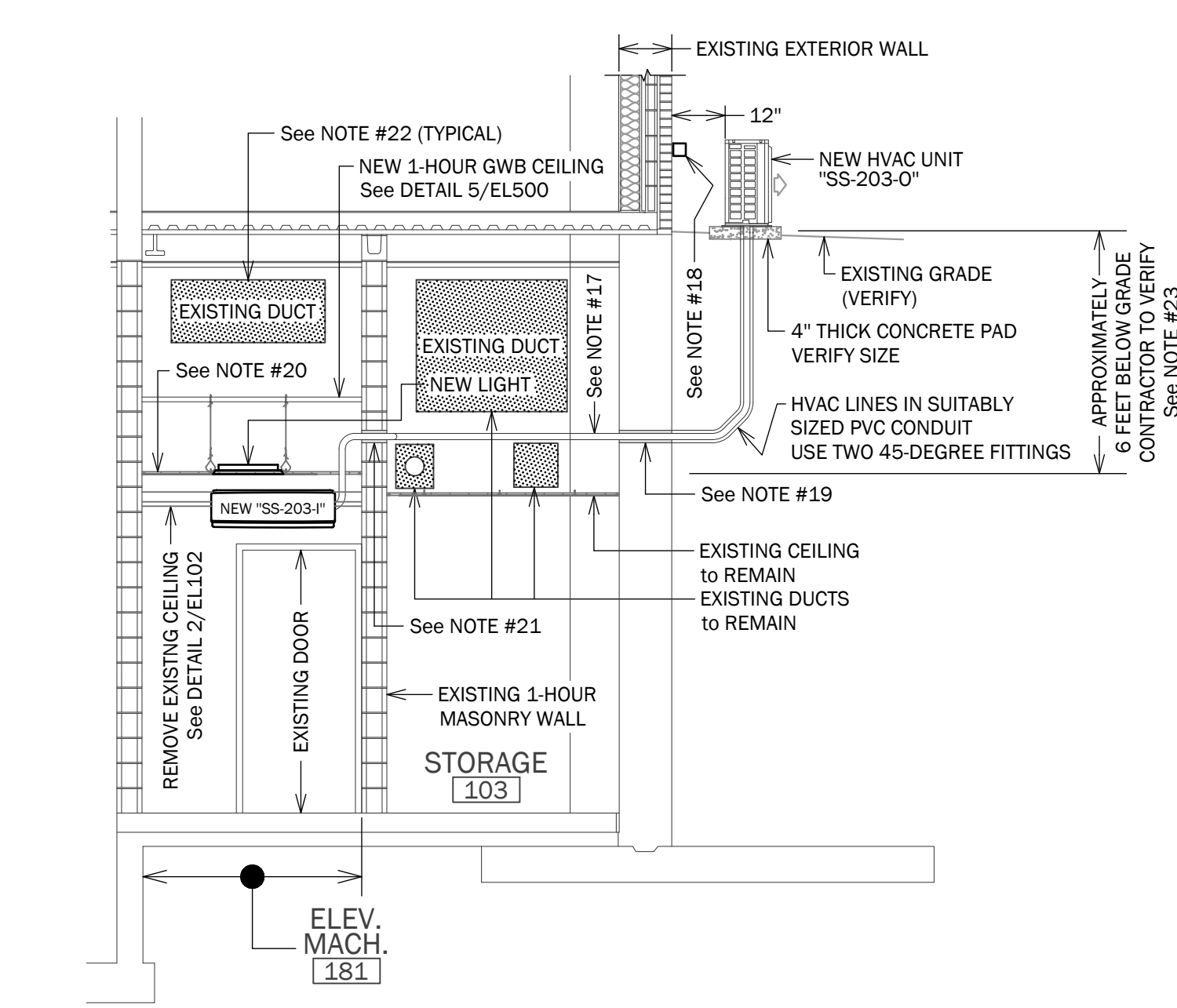
3 PARTIAL PLAN: FIRE ALARM - NEW WORK
1/4" = 1' - 0"

NEW WORK NOTES:

- See SHEET EL000 AND THE PROJECT MANUAL FOR ADDITIONAL INFORMATION ON THE ELEVATOR SYSTEM.
- RUN CONDUIT CONTAINING POWER FOR "SS-203-0" & EXTERIOR 'GFCI' RECEPTACLE NEAR OUTDOOR HVAC UNIT - See 1/EL300.
- SEAL AROUND CONDUIT, FIRE STOPPING NOT REQUIRED.
- EXISTING LIGHTS, SWITCH & WIRING SHALL REMAIN. REPLACE LAMPS IN LIGHT FIXTURES WITH GE #93129366 LAMP.
- PROVIDE NEW FIXTURE WITH NEW SWITCH & PLATE: LIGHT = COLUMBIA #NBT24-35L070G-A12125F-ED1U, or EQUAL. USE EXISTING CIRCUIT EP-2. HUBBELL #1221-GY SWITCH WITH MATCHING 302 STAINLESS STEEL PLATE.
- FIRE ALARM SUB-CONTRACTOR SHALL VERIFY THAT THE DEVICES ARE FUNCTIONING PROPERLY WITH THE NEW ELEVATOR SYSTEM.
- SAME AS NOTE 6. EXCEPT DEVICES SHALL BE RELOCATED FROM GWB CEILING BEING REMOVED TO THE NEW LAY-IN CEILING.
- EXISTING SPRINKLER HEAD WILL BE RELOCATED TO NEW CEILING BY OWNER.
- FIRE ALARM SUB-CONTRACTOR SHALL VERIFY THAT THIS SMOKE DETECTOR IS INACTIVE, IF SO, HE SHALL REMOVE IT COMPLETELY.
- WIRING CONNECTION TO NEW CONTROLLER: RE-ROUTE EXISTING COMMUNICATION CONDUIT TO NEW ELEVATOR CONTROLLER - PULL IN EXISTING & NEW CONDUCTORS
- EXISTING CAR COMMUNICATIONS BOX: EXISTING BOX CURRENTLY CONTAINS TELEPHONE CABLE. LEAVE EXISTING CABLE AND FURNISH & INSTALL TWO (2) CAT6 DATA CABLES FROM RACK IN MDF [208B] - VERIFY CONNECTION POINT WITH RCCC IT DEPARTMENT.
- EXISTING ELEVATOR PIT RECEPTACLES: RECEPTACLES SHALL REMAIN IN SERVICE.
- EXISTING ELEVATOR PIT RECEPTACLE: EXISTING RECEPTACLE FEEDING EXISTING SUMP PUMP - VERIFY THAT PUMP IS OPERATING PROPERLY, CLEAN PUMP AND PIT.
- EXISTING MACHINE ROOM RECEPTACLE: REPLACE: HUBBELL #GFR20GYB RECEPTACLE WITH MATCHING 302 STAINLESS STEEL PLATE. MODIFY WIRING AS REQUIRED FOR GROUND-FAULT PROTECTION. LABEL PLATE PER DRAWING DETAIL.
- FURNISH & INSTALL NEW ELEVATOR DISCONNECT: PROVIDE A NEW EATON #DH363FGK, or EQUAL, 100A/600V/3P/4W/HD/NEMA 1 ENCLOSURE. PROVIDE EATON #DS200EK1 AUXILIARY CONTACT. PROVIDE LABELING AS MOTED. REWORK CONDUIT AS REQUIRED IF NEW SWITCH IS LARGER THAN EXISTING SWITCH. LABEL SWITCH AS DIRECTED. REPLACE CONDUCTORS FROM SWITCH TO NEW ELEVATOR CONTROLLER AS SHOWN IN 5/EL201.

NEW WORK NOTES:

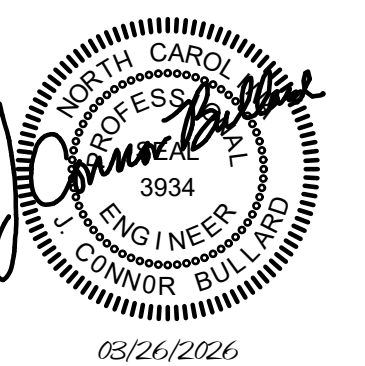
- NEW WIRELESS HVAC CONTROL: See SPECIFICATIONS, LOCATE AS DIRECTED.
- NEW HVAC LINE SET: ROUTING OF HVAC LINE SET IS SHOWN FOR INTENT. CONTRACTOR SHALL VERIFY ROUTE TO AVOID CONFLICTS WITH EXISTING DUCTWORK AND OTHER ITEMS. LINE SET SHALL BE PROTECTED AND SUPPORTED PROPERLY.
- DISCONNECT & SERVICE RECEPTACLE: See DRAWING DETAILS FOR OUTDOOR UNIT DISCONNECT AND SERVICE RECEPTACLE.
- EXTERIOR WALL PENETRATION: See DETAILS 1/EL500 AND 2/EL500 FOR SEALING AROUND LINES IN EXTERIOR WALLS.
- NEW LAY-IN CEILING: See DRAWING DETAILS & SPECIFICATIONS.
- FIRE-RATED WALL PENETRATIONS: See DETAILS 3/EL500 (HVAC LINE SET) & 4/EL500 (ELECTRICAL).
- EXISTING DUCTWORK: LOCATIONS AND SIZES OF EXISTING DUCTWORK SHOWN ARE BASED ON AVAILABLE RECORD DOCUMENTS - CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS. HE SHALL ADJUST HIS LAYOUTS TO SUIT THE ACTUAL DUCTWORK LOCATIONS AND SIZES.
- EXCAVATION/BACKFILL: AN APPROXIMATE 6 FOOT DEEP EXCAVATION WILL BE NEEDED TO INSTALL ELECTRICAL CONDUIT AND HVAC LINE SET THROUGH EXISTING CONCRETE WALL. THIS SHALL BE DONE BY AN EXPERIENCE CONTRACTOR AND SHALL COMPLY WITH OSHA AND OTHER APPLICABLE REGULATIONS. BACKFILL SHALL BE INSTALLED PER SPECIFICATIONS.
- NEW LAY-IN CEILING: THE GWB CEILING IN MACHINE ROOM [181] SHALL BE REMOVED - A NEW 2' by 2' LAY-IN CEILING SHALL BE INSTALLED WITH STANDARD TEES AND CEILING TILES SPECIFIED ON SHEET ELO00. TEES SHALL BE EQUAL TO ARMSTRONG: PRELUDE ML MAIN BEAM PRELUDE ML CROSS TEE 7/8" HEMMED ANGLE MOLDING LAY-OUT AS SHOWN ON THE DRAWINGS, INSTALLATION PER MANUFACTURER'S INSTRUCTIONS.



6 SECTION: NEW WORK
1/4" = 1' - 0"

See SHEET EL401 for BASE BID & ALTERNATES DETAILS

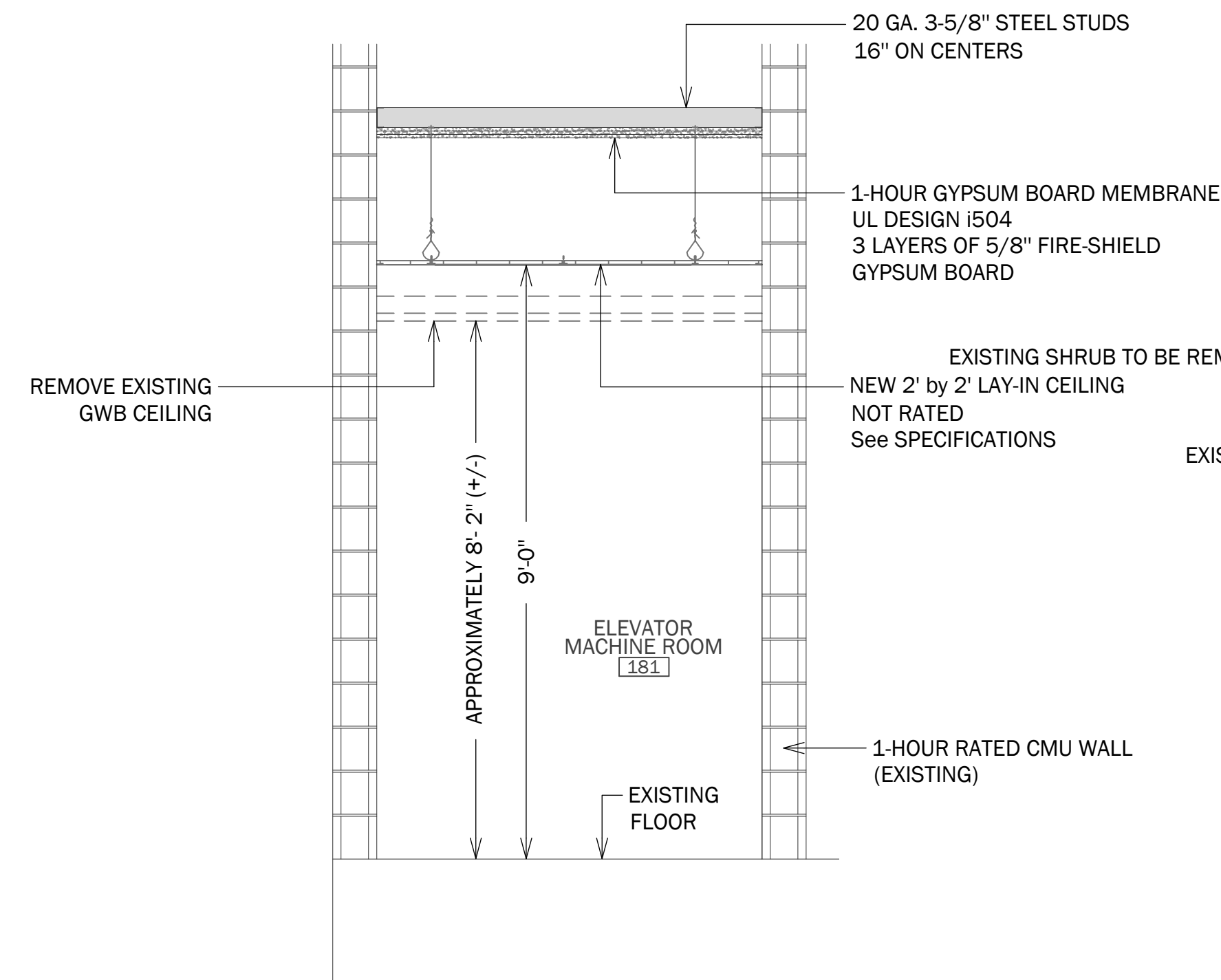
BUILDING S203



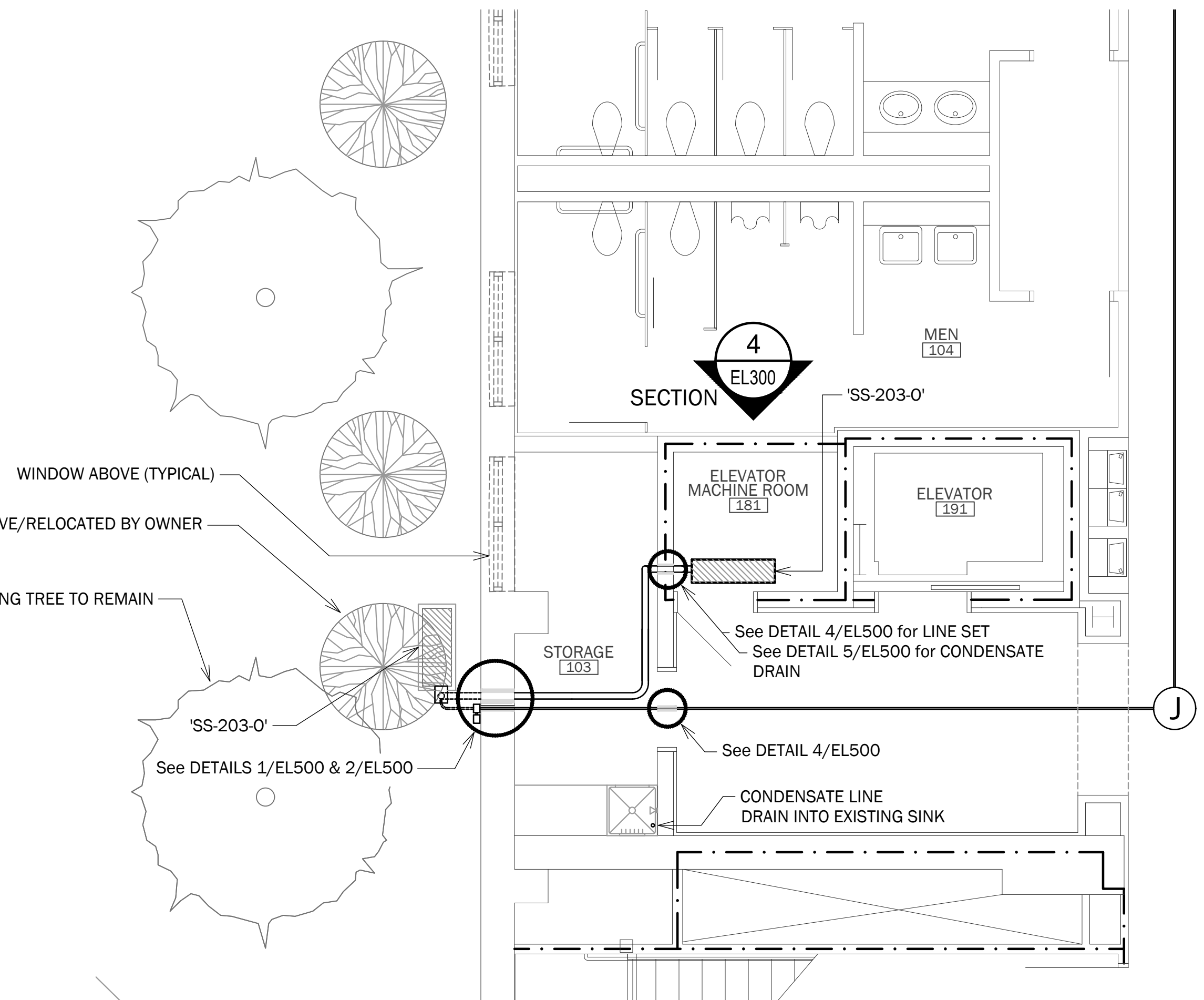
REVISIONS		
NO.	DATE	DESCRIPTION

BUILDING S203 PLAN - NEW WORK

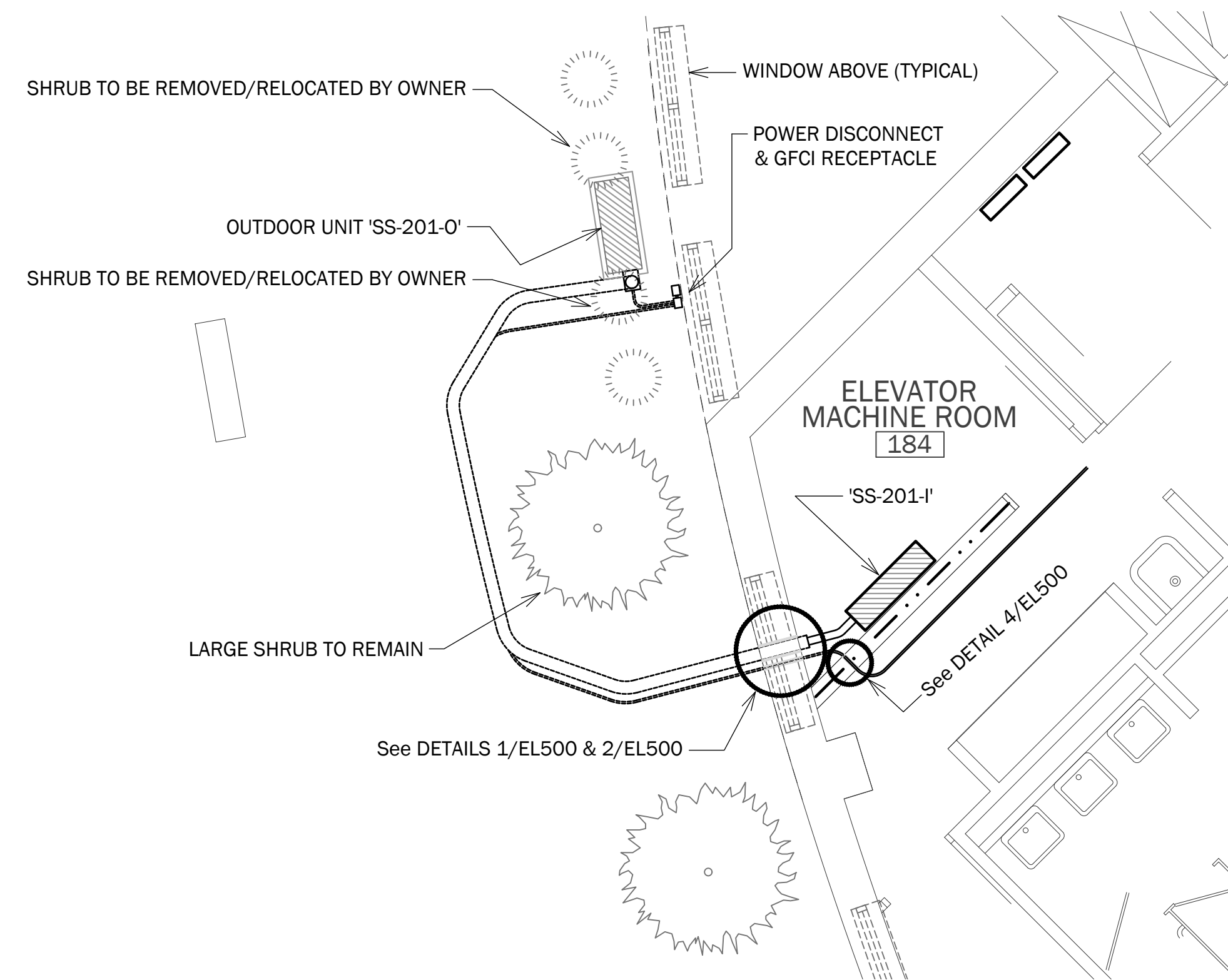
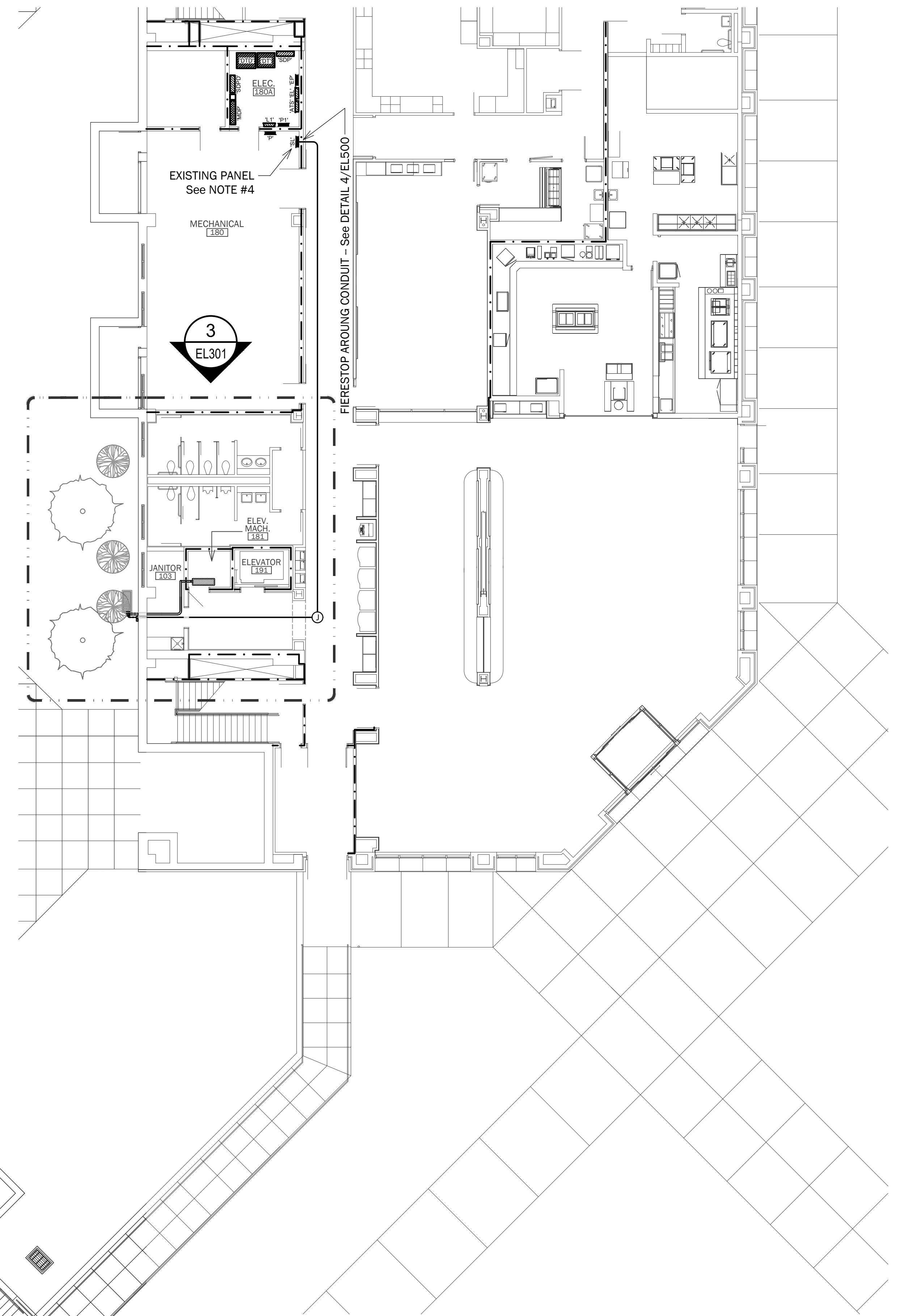
SHEET TITLE		EL201
26010.00	PROJECT NUMBER	
03.26.2026	RELEASE DATE	SHEET OF



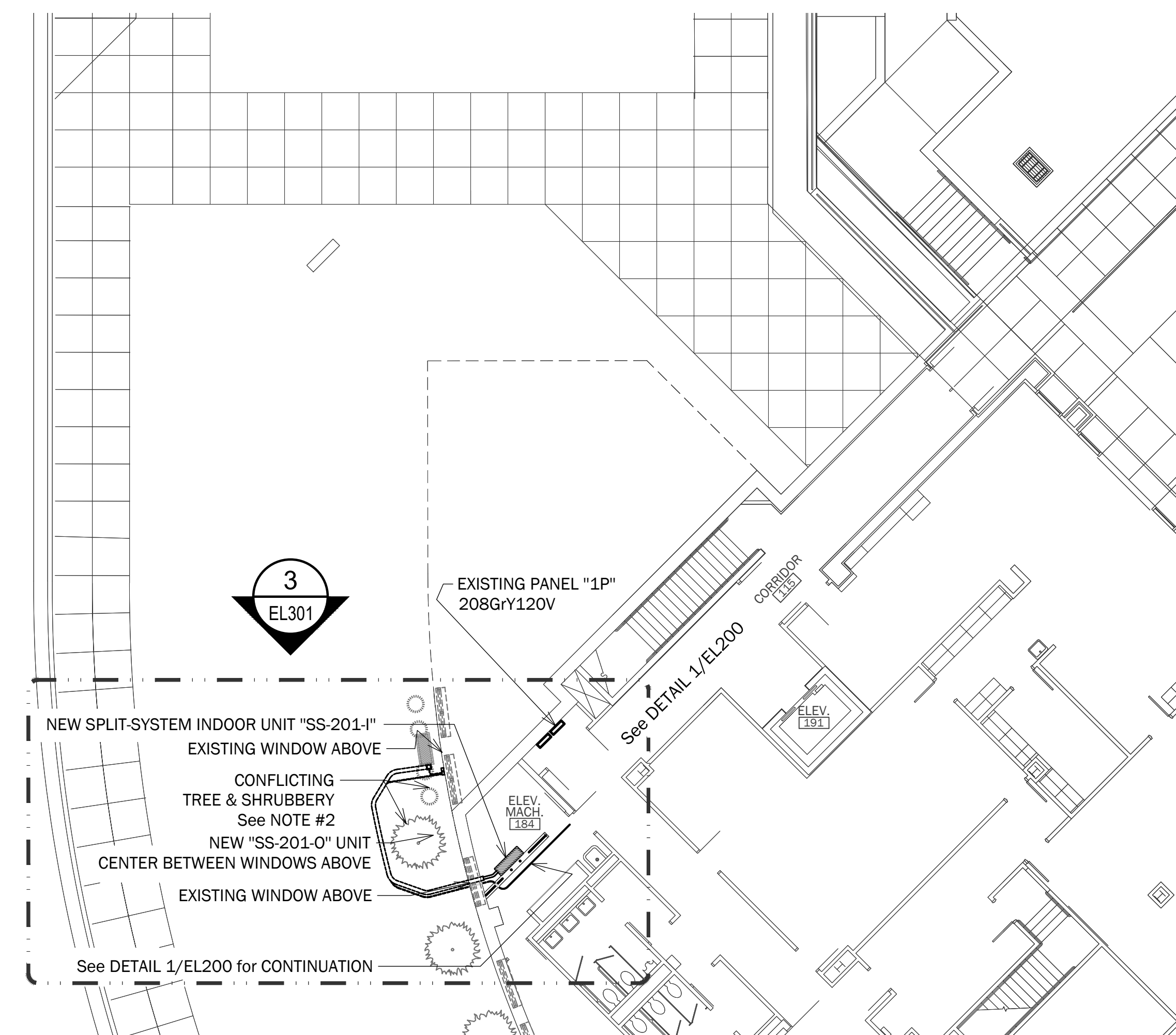
4 SECTION: ROOM [181]
 1/2" = 1' - 0"



3 PARTIAL PLAN: BUILDING S203
 3/32" = 1' - 0"



2 PARTIAL PLAN: BUILDING S201
 3/32" = 1' - 0"



1 PARTIAL SITE PLAN
 3/32" = 1' - 0"

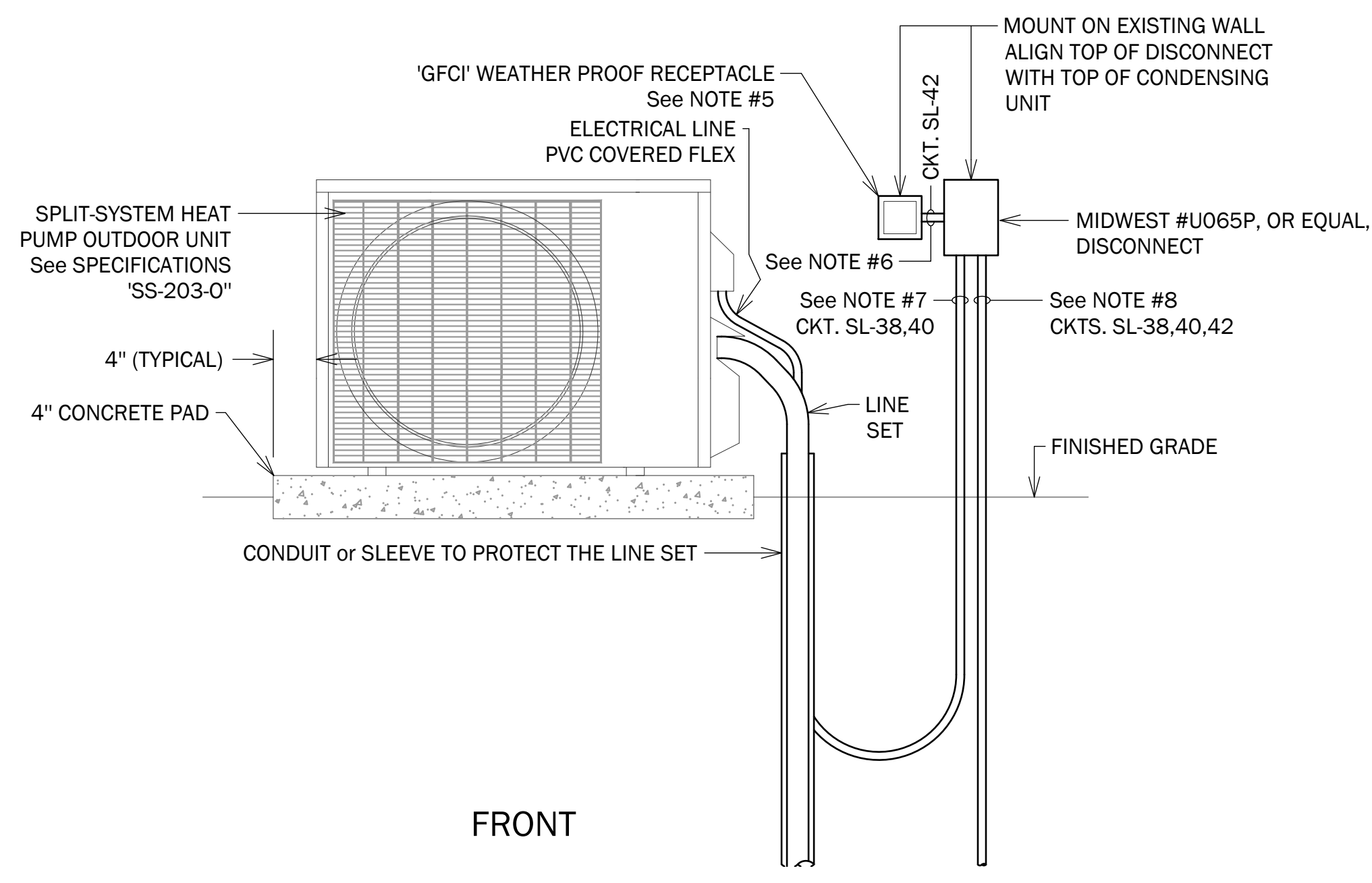
NOTES:

- THE LAYOUTS AND DETAILS SHOWN ON THIS DRAWING COVER THE INSTALLATION OF THE SPLIT-SYSTEM HVAC SYSTEMS REQUIRED. ADDITIONAL INFORMATION IS CONTAINED ON OTHER DRAWINGS IN THIS SET.
- AT BUILDING S201, THERE ARE CONFLICTS WITH THE OUTDOOR UNIT AND EXISTING PLANTING. OWNER WILL REMOVE AND/OR RELOCATE THE PLANTING - GC SHALL COORDINATE.
- AT BUILDING S203, THERE MAY BE CONFLICTS WITH THE OUTDOOR UNIT AND EXISTING PLANTING. OWNER WILL REMOVE AND/OR RELOCATE THE PLANTING - GC SHALL COORDINATE.
- PROVIDE NEW BREAKERS IN EXISTING PANEL "SL" TO FEED NEW SPLIT-SYSTEM AND THE SERVICE RECEPTACLE. EXISTING PANEL: EATON TYPE 'PRL2a' INSTALLED IN 2018, PROVIDE THE FOLLOWING CIRCUIT BREAKERS:
 CIRCUIT SL-42, 20A/1P TO FEED SERVICE RECEPTACLE
 CIRCUIT SL-38.40, 20A/2P TO FEED "SS-203-0" CONDENSING UNIT
 POSITIONS SHOWN ARE "SPACES ONLY," SO NEW BREAKERS NEED TO BE FURNISHED - NEW BREAKERS SHALL MATCH EXISTING.
- PROVIDE 'GFCI' 20A DUPLEX RECEPTACLE IN A CAST BOX WITH 'IN-USE' WEATHER PROOF COVER NEAR THE OUTDOOR CONDENSING UNIT - SEE DRAWING FOR LOCATION. BOX = BELL #5346-0
 COVER = HUBBELL-TAYMAC #MX7280S
 RECEPTACLE = HUBBELL #GFTW20GY
- 2#12 + 1#12 (e.g.) in 3/4" GRC.
- 2#10 + 1#10 (e.g.) in 3/4" GRC.
- 4#10 + 1#10 (e.g.) in 3/4" GRC.

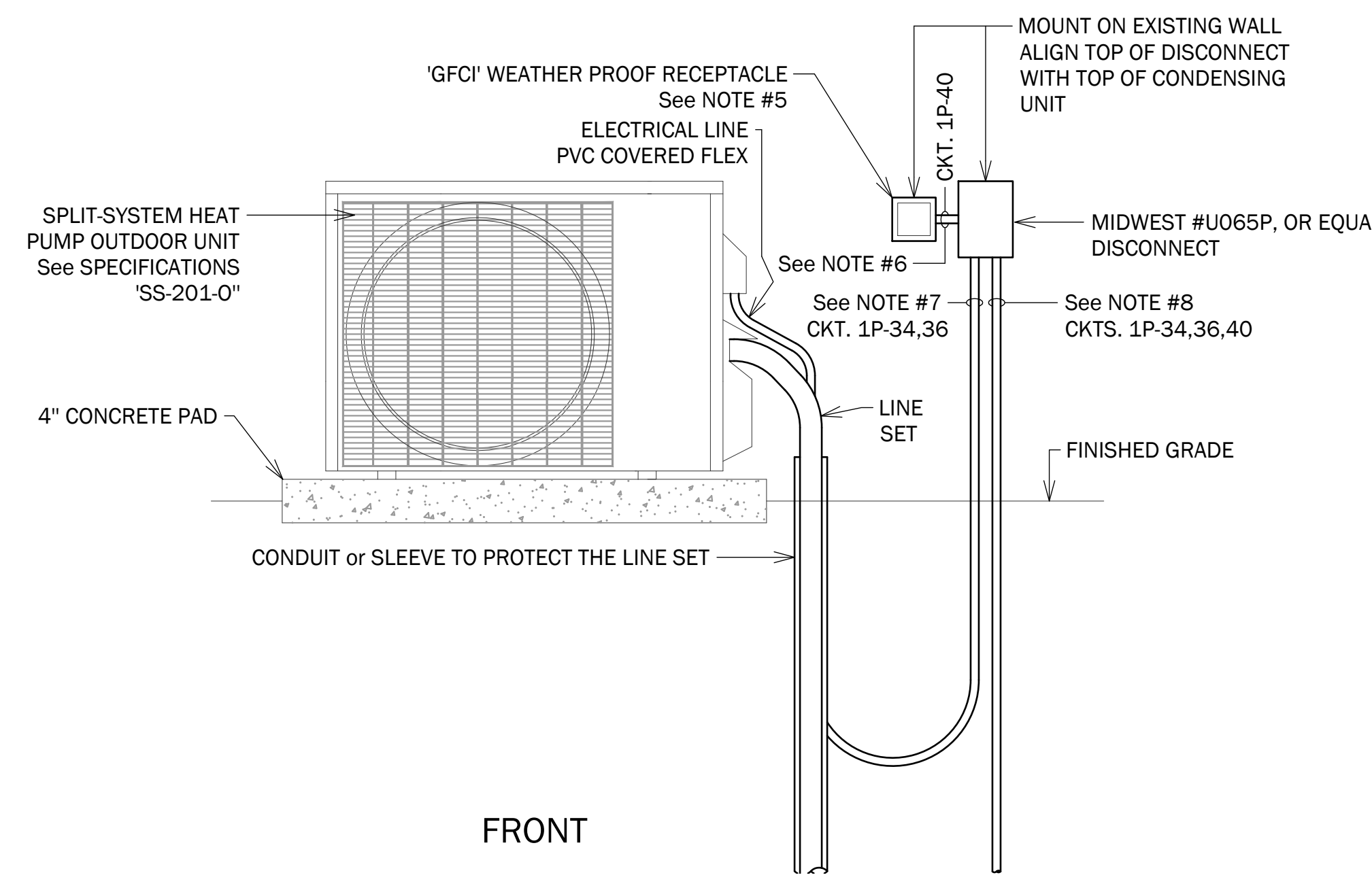
REVISIONS		
NO.	DATE	DESCRIPTION

HVAC SPLIT-SYSTEM CONNECTIONS

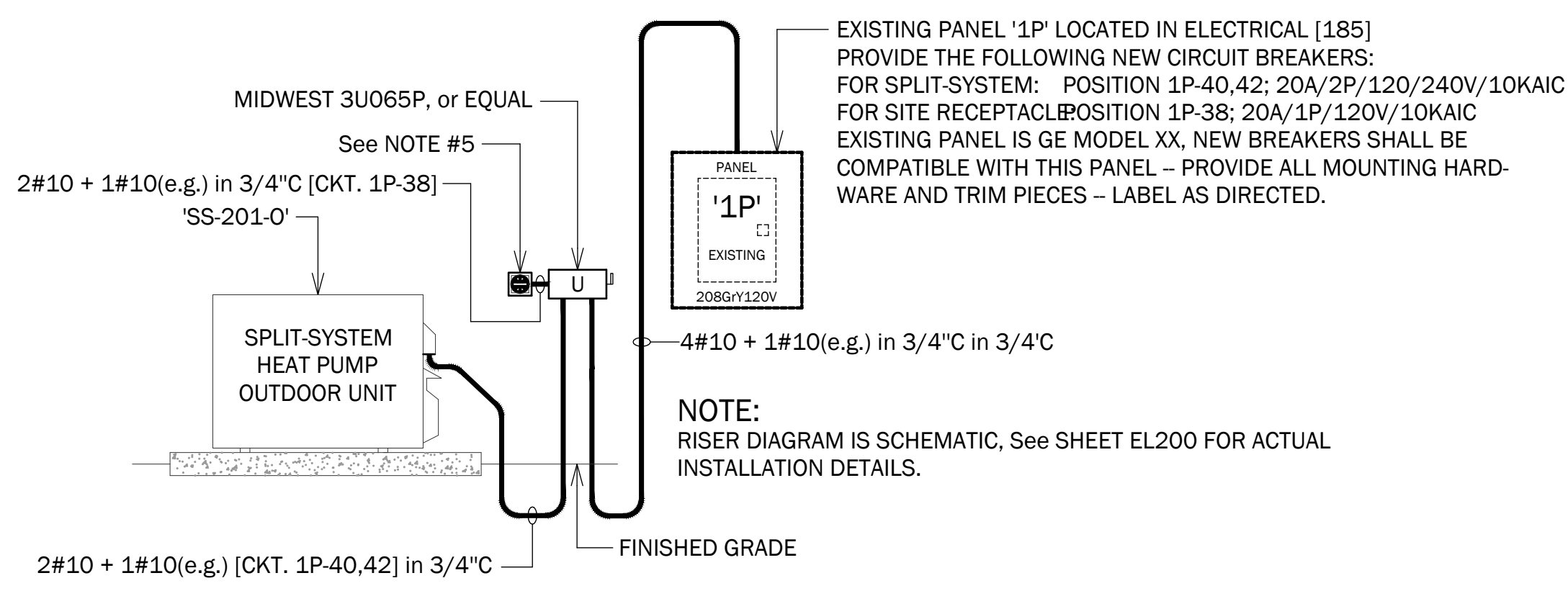
SHEET TITLE	
26010.00	EL300
PROJECT NUMBER	
03.26.2026	
RELEASE DATE	SHEET OF



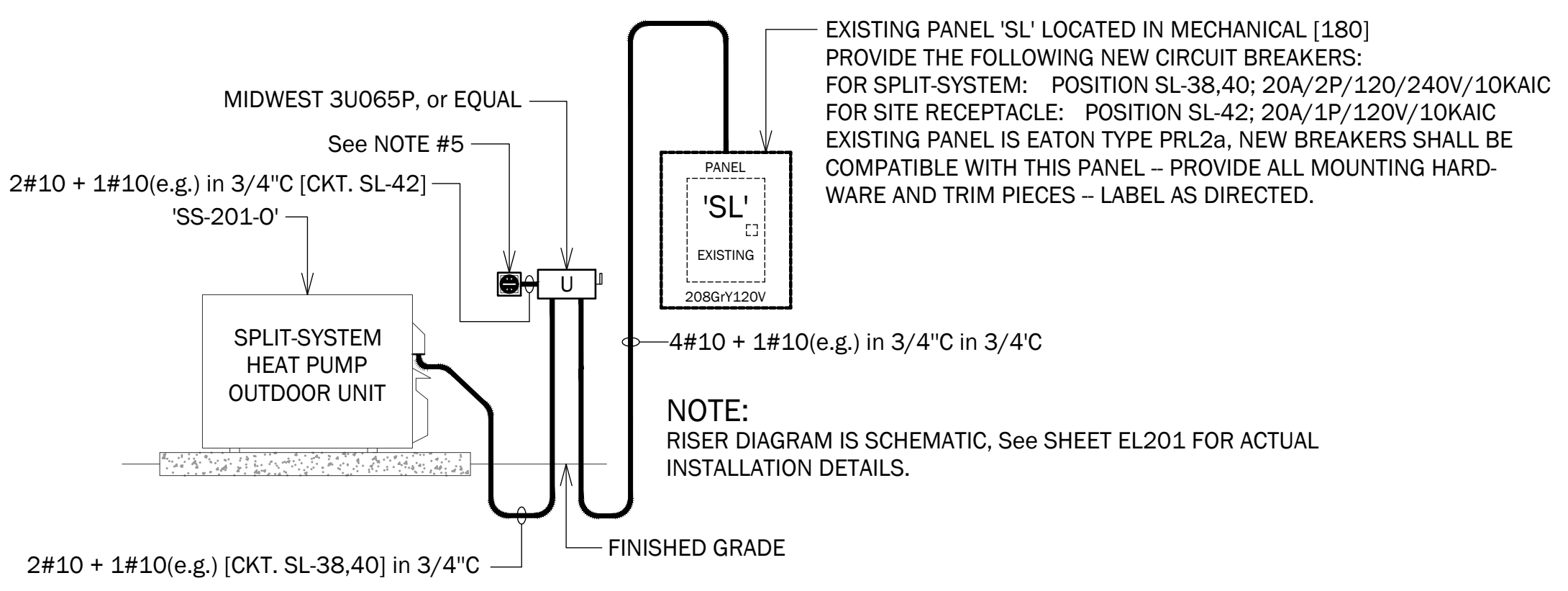
3 DETAIL: EXTERIOR HVAC UNIT ('SS-203-0')
1" = 1'-0"



2 DETAIL: EXTERIOR HVAC UNIT ('SS-201-0')
1" = 1'-0"



5 POWER RISER DIAGRAM (BUILDING S201)
Not To Scale



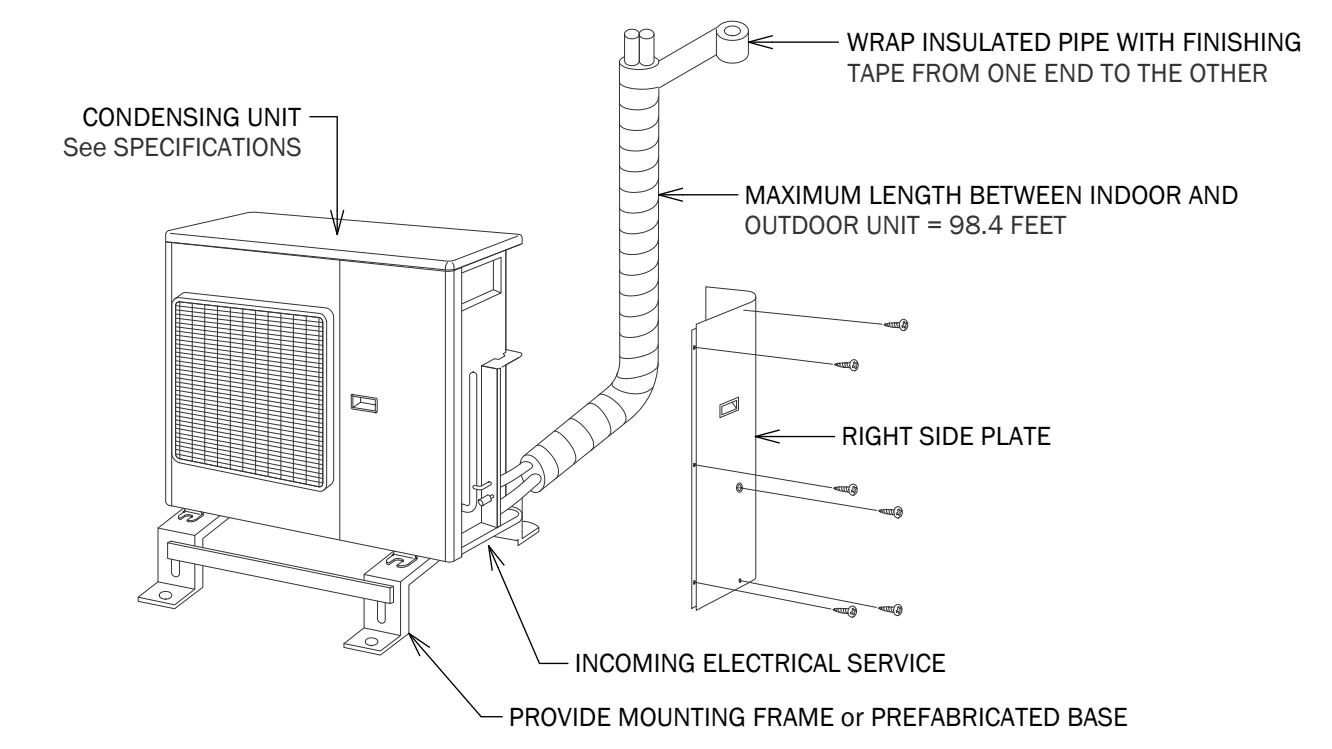
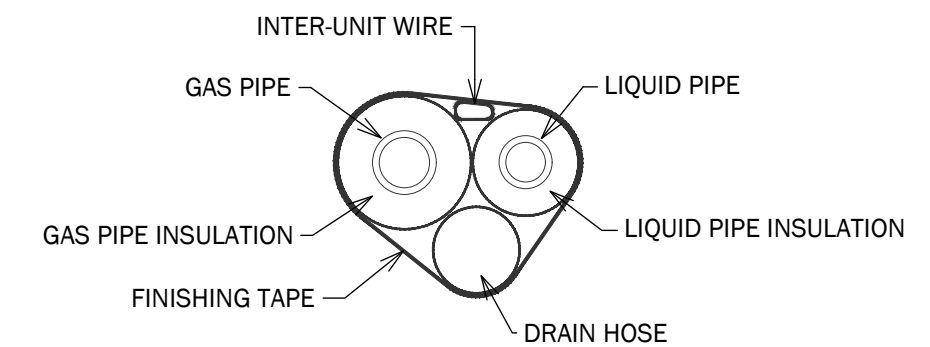
4 POWER RISER DIAGRAM (BUILDING S203)
Not To Scale

SPLIT-SYSTEM HVAC SYSTEM LEGEND:

UNIT DESIGNATION	MODEL NUMBER	LOCATION	COMMENTS
"SS-201-0"	DAIKIN #RX18XVJU	BUILDING S201, EXTERIOR	See SPECIFICATIONS
"SS-201-1"	DAIKIN #FTX18AXVJU	BUILDING S201, ROOM 184. ELEVATOR MACHINE ROOM	See SPECIFICATIONS
"SS-203-0"	DAIKIN #RX18XVJU	BUILDING S203, EXTERIOR	See SPECIFICATIONS
"SS-203-1"	DAIKIN #FTX18AXVJU	BUILDING S203, ROOM 181. ELEVATOR MACHINE ROOM	See SPECIFICATIONS

NOTES:

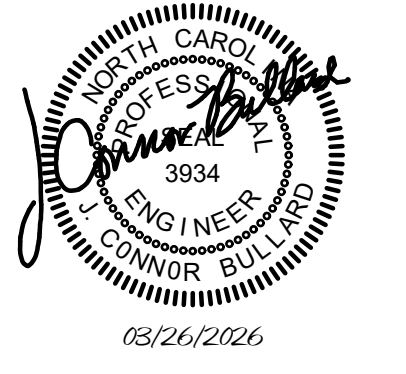
- THE LAYOUTS AND DETAILS SHOWN ON THIS DRAWING COVER THE INSTALLATION OF THE SPLIT-SYSTEM HVAC SYSTEMS REQUIRED. ADDITIONAL INFORMATION IS CONTAINED ON OTHER DRAWINGS IN THIS SET.
- AT BUILDING S201, THERE ARE CONFLICTS WITH THE OUTDOOR UNIT AND EXISTING PLANTING. OWNER WILL REMOVE AND/OR RELOCATE THE PLANTING - GC SHALL COORDINATE.
- AT BUILDING S203, THERE MAY BE CONFLICTS WITH THE OUTDOOR UNIT AND EXISTING PLANTING. OWNER WILL REMOVE AND/OR RELOCATE THE PLANTING - GC SHALL COORDINATE.
- PROVIDE NEW BREAKERS IN EXISTING PANEL "SL" TO FEED NEW SPLIT-SYSTEM AND THE SERVICE RECEPTACLE. EXISTING PANEL: EATON TYPE 'PRL2a' INSTALLED IN 2018, PROVIDE THE FOLLOWING CIRCUIT BREAKERS:
CIRCUIT SL-42, 20A/1P TO FEED SERVICE RECEPTACLE
CIRCUIT SL-38,40, 20A/2P TO FEED "SS-203-0" CONDENSING UNIT
POSITIONS SHOWN ARE "SPACES ONLY," SO NEW BREAKERS NEED TO BE FURNISHED - NEW BREAKERS SHALL MATCH EXISTING.
- PROVIDE 'GFCI' 20A DUPLEX RECEPTACLE IN A CAST BOX WITH 'IN-USE' WEATHER PROOF COVER NEAR THE OUTDOOR CONDENSING UNIT - SEE DRAWING FOR LOCATION. BOX = BELL #5346-0
COVER = HUBBELL-TAYMAC #MX7280S
RECEPTACLE = HUBBELL #GFTW20GY
- 2#12 + 1#12 (e.g.) in 3/4" GRC.
- 2#10 + 1#10 (e.g.) in 3/4" GRC.
- 4#10 + 1#10 (e.g.) in 3/4" GRC.



NOTE:
See SPECIFICATIONS FOR INFORMATION ABOUT THE MINI-SPLIT SYSTEM. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION AND ALL APPLICABLE CODES AND ORDINANCES. SUB CONTRACTOR SHALL BE AN APPROVED MECHANICAL CONTRACTOR LICENSED IN THE STATE OF NORTH CAROLINA.

See DRAWINGS FOR ACTUAL DETAILS.

6 TYPICAL OUTDOOR HVAC UNIT DETAILS
Not To Scale



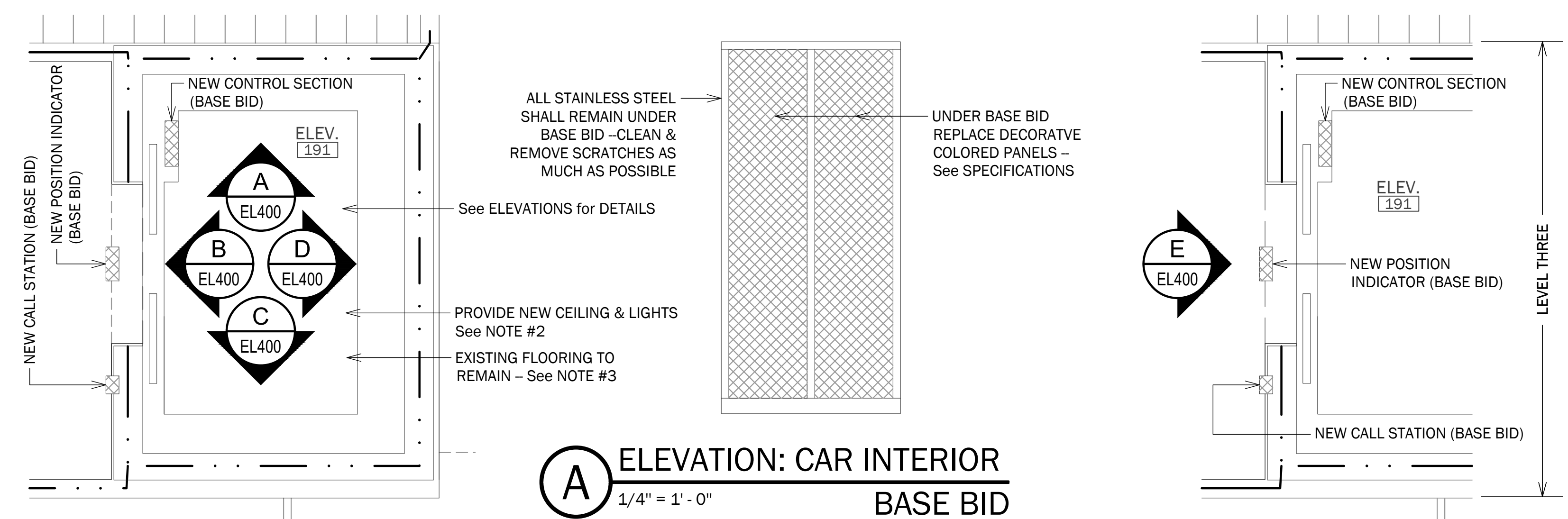
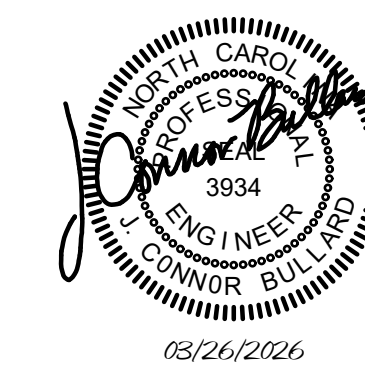
REVISIONS

NO.	DATE	DESCRIPTION

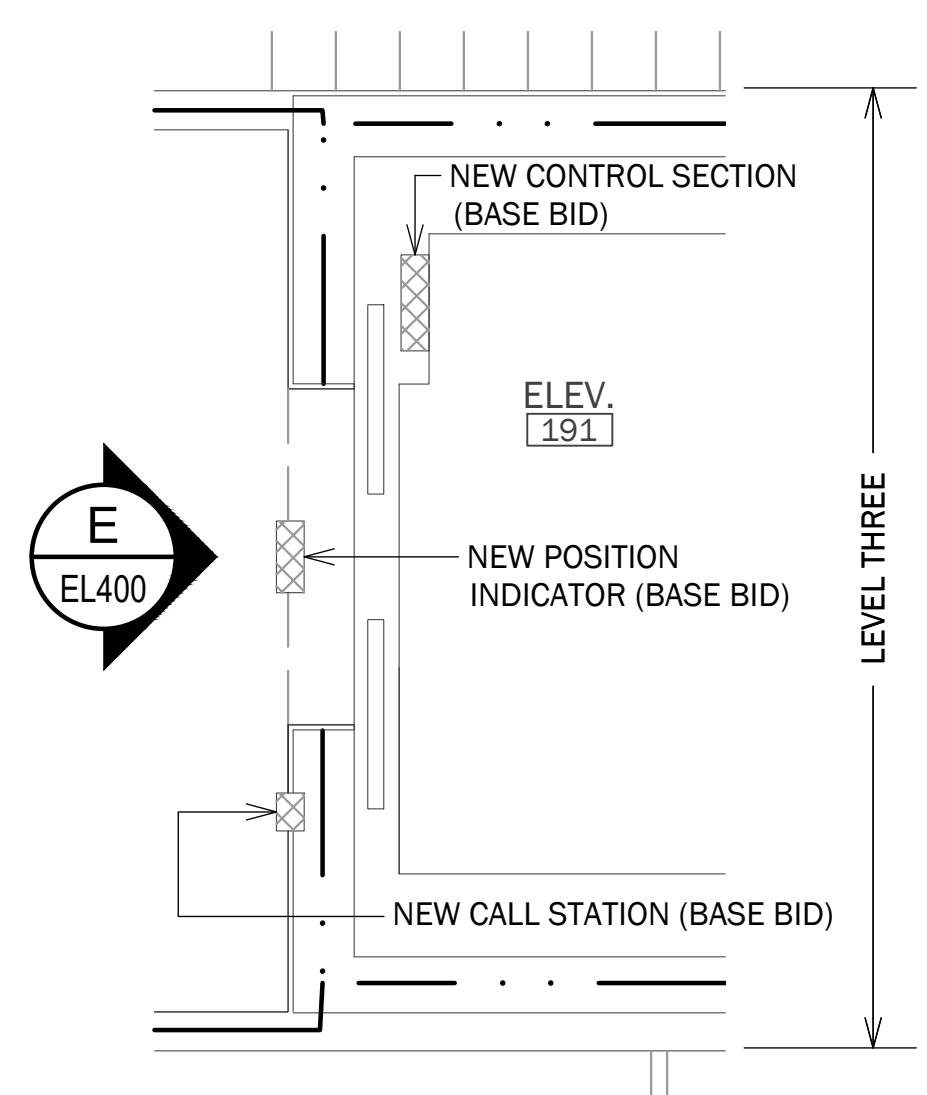
HVAC SPLIT-SYSTEM DETAILS

SHEET TITLE

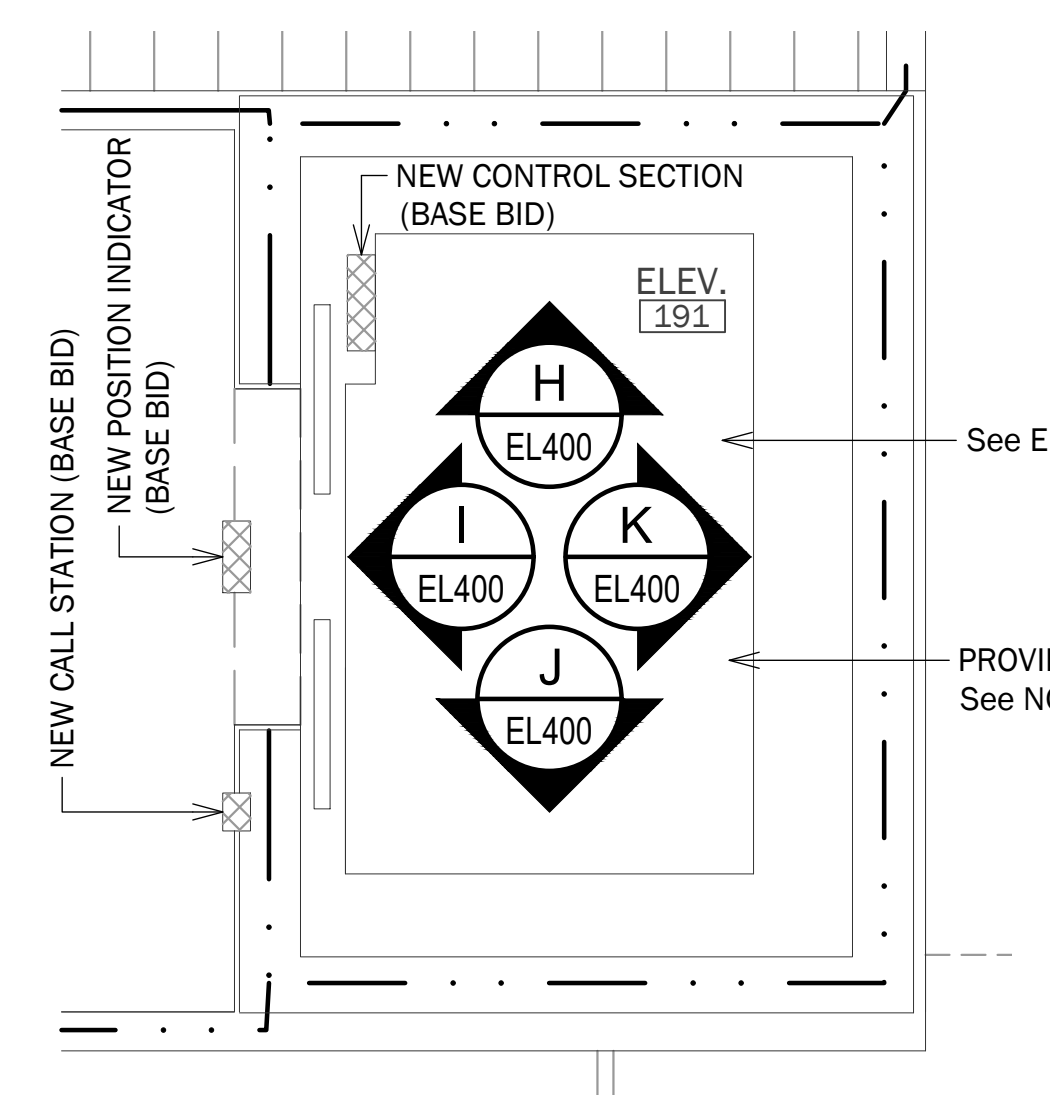
26010.00	EL301
PROJECT NUMBER	
03.26.2026	RELEASE DATE
	SHEET OF



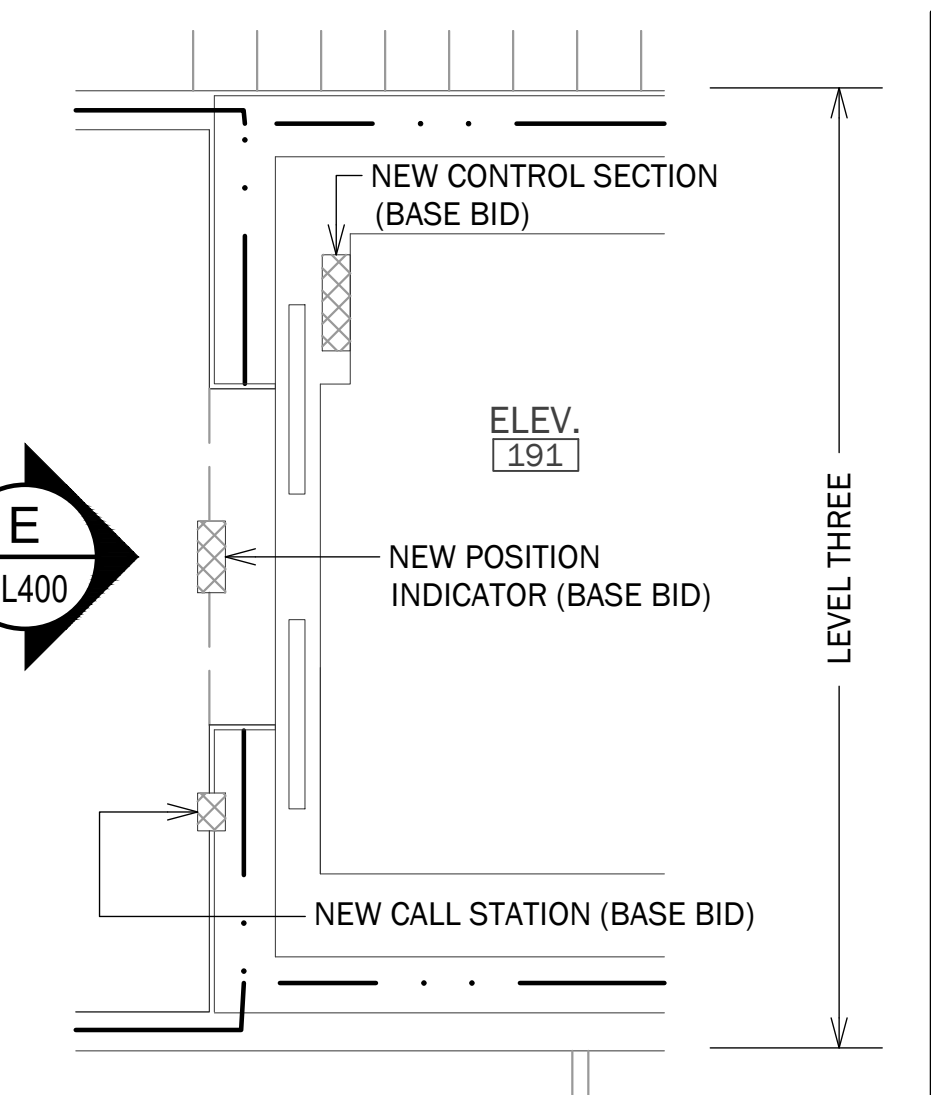
A ELEVATION: CAR INTERIOR
 1/4" = 1'-0" BASE BID



2 PLAN @ ELEVATOR ENTRY
 1/4" = 1'-0" BASE BID



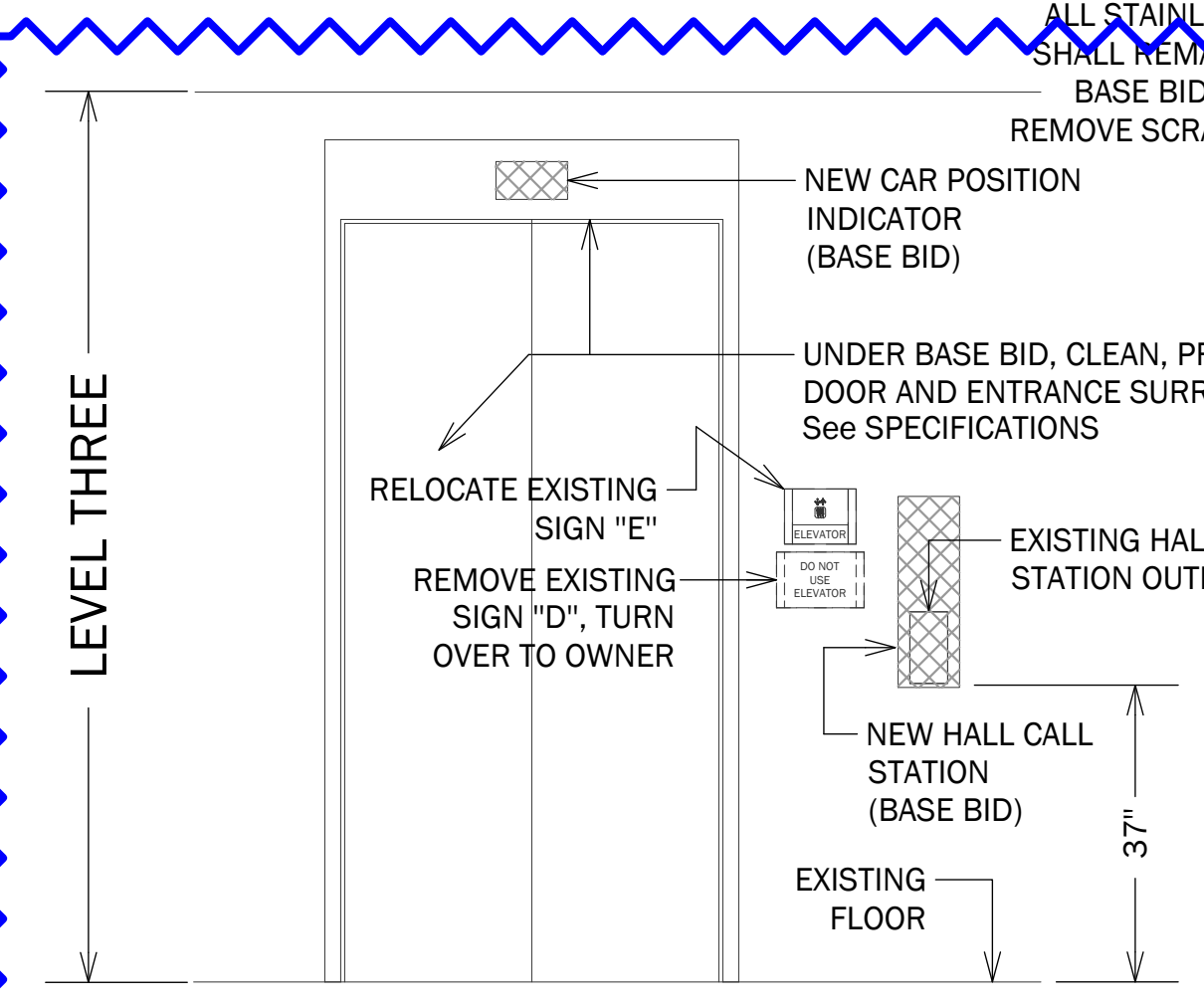
H ELEVATION: CAR INTERIOR
 1/4" = 1'-0" ALTERNATE #1



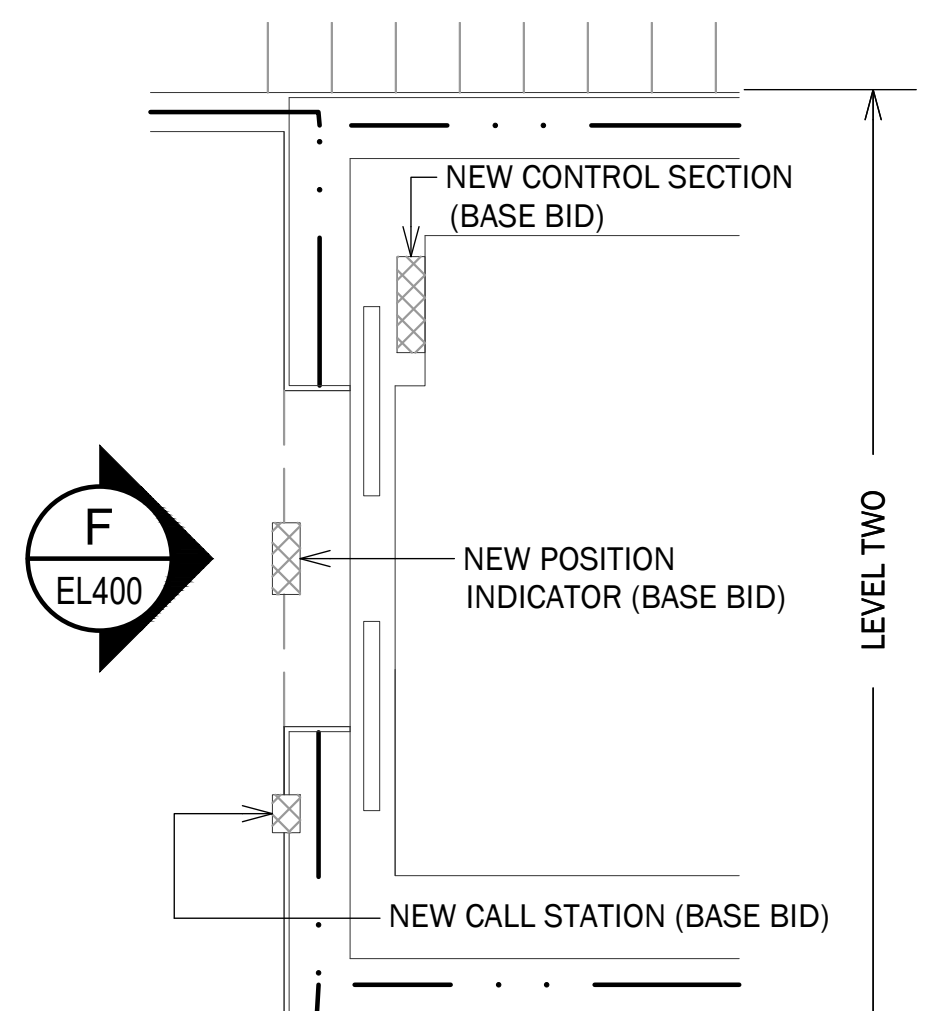
6 PLAN @ ELEVATOR ENTRY
 1/4" = 1'-0" ALTERNATE #1

1 PLAN: ELEVATOR S201
 1/4" = 1'-0" BASE BID

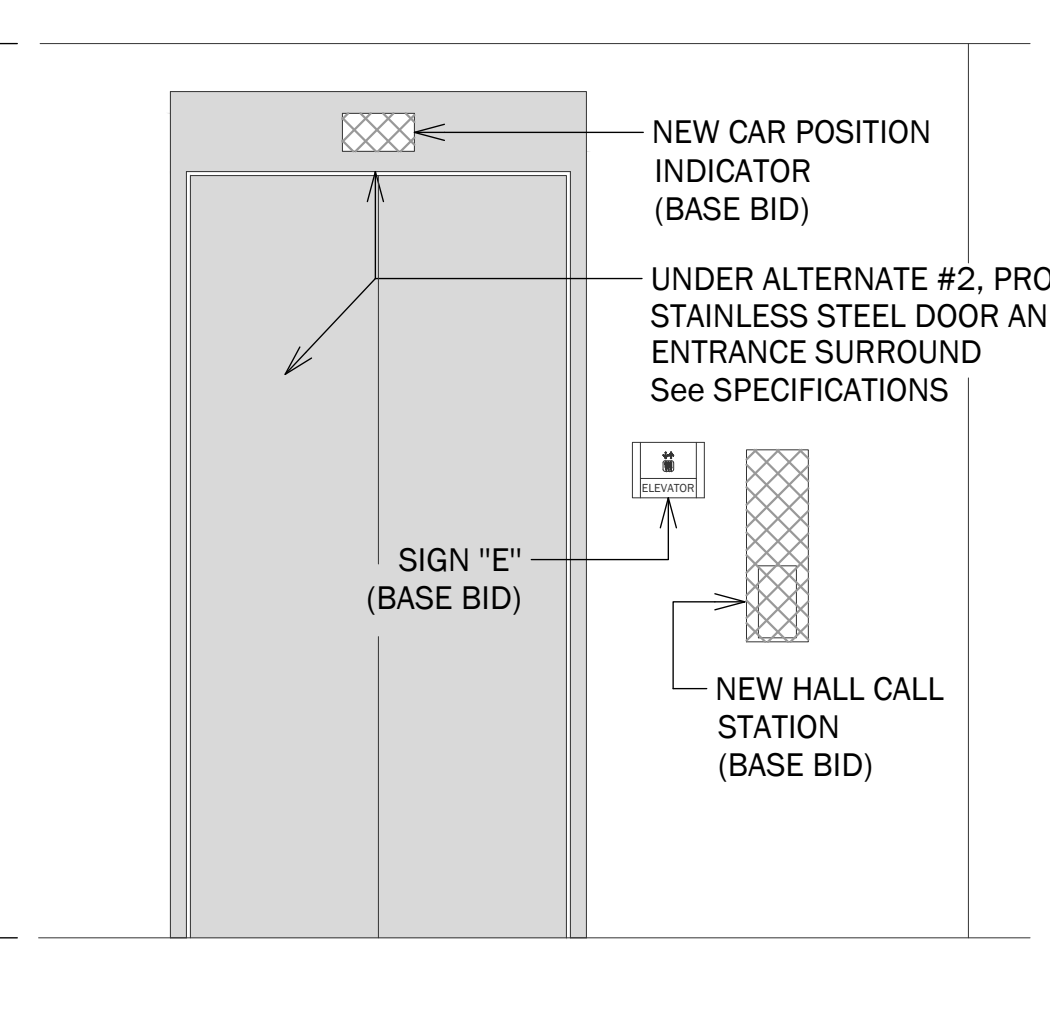
5 PLAN: ELEVATOR S201
 1/4" = 1'-0" ALTERNATE #1



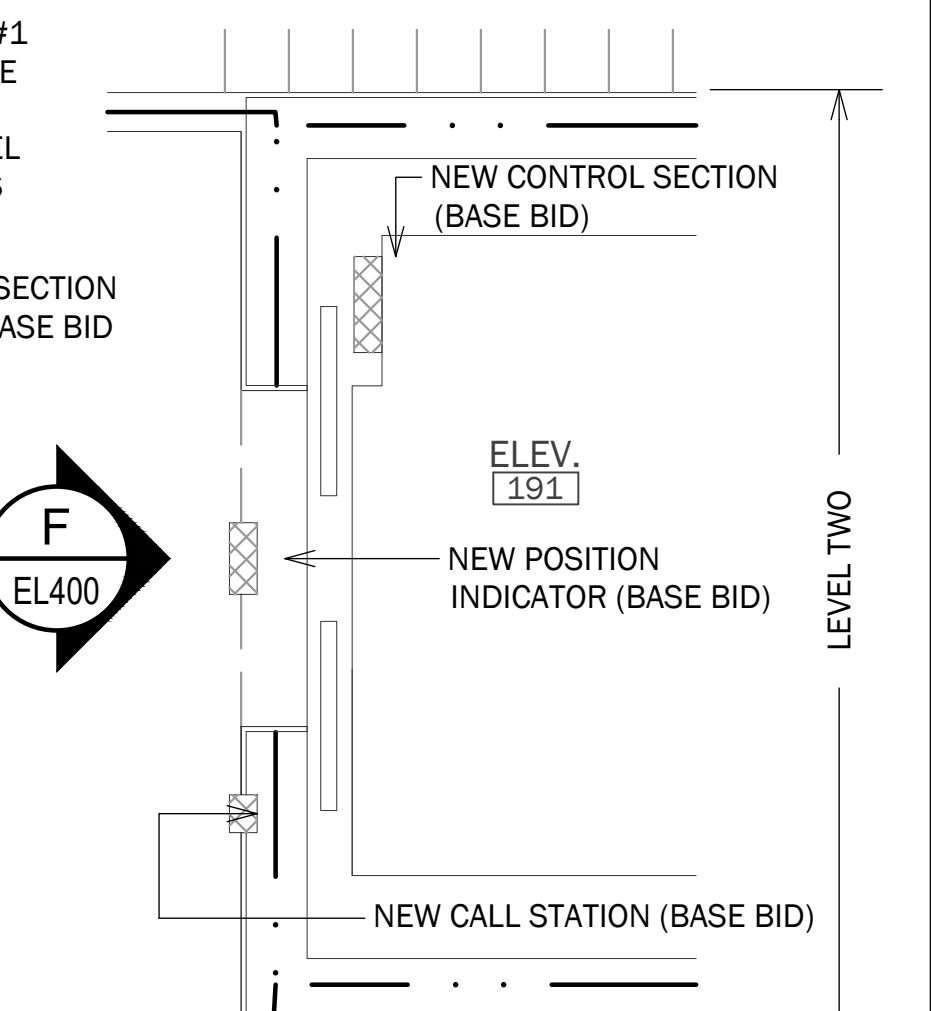
B ELEVATION: CAR INTERIOR
 1/4" = 1'-0" BASE BID



3 PLAN @ ELEVATOR ENTRY
 1/4" = 1'-0" BASE BID



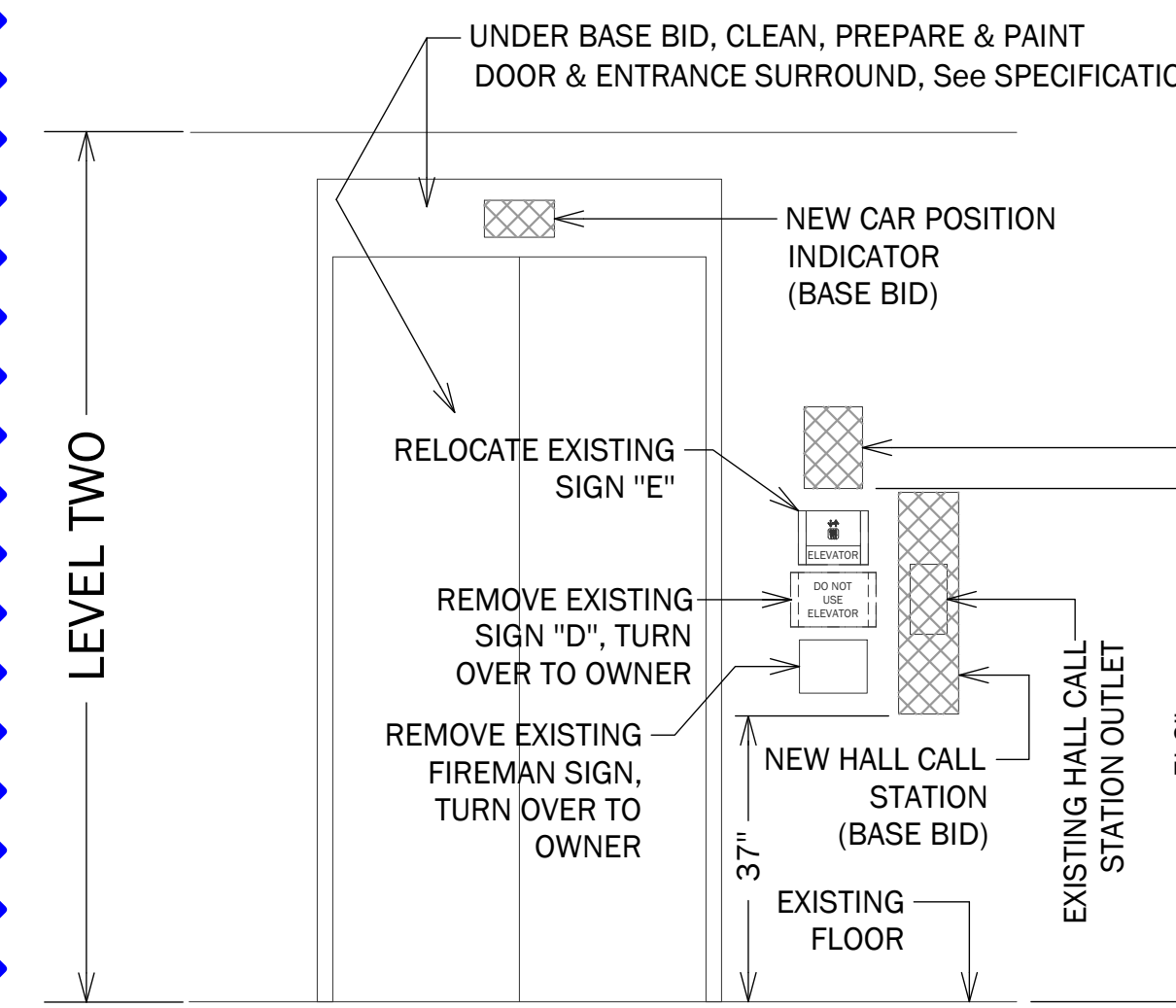
I ELEVATION: CAR INTERIOR
 1/4" = 1'-0" ALTERNATE #1



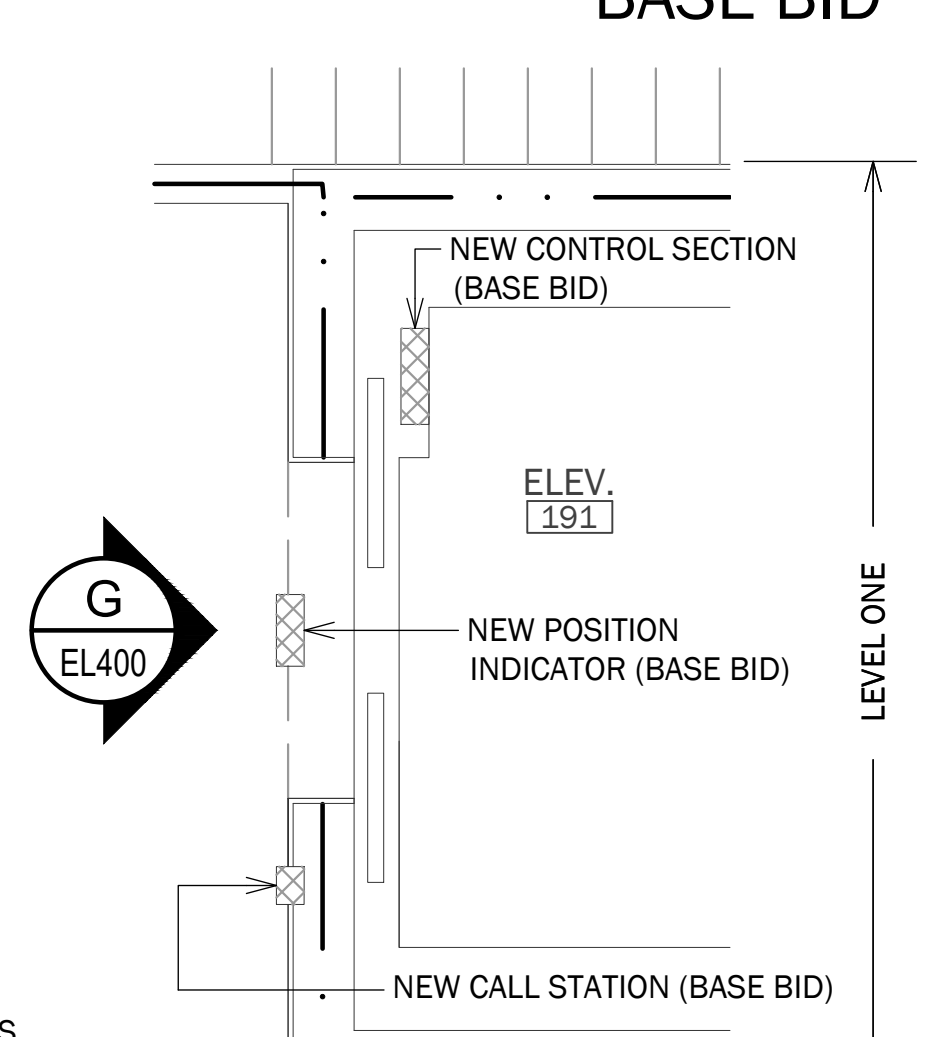
7 PLAN @ ELEVATOR ENTRY
 1/4" = 1'-0" ALTERNATE #1

E ELEVATION: ELEVATOR ENTRY
 1/4" = 1'-0" BASE BID

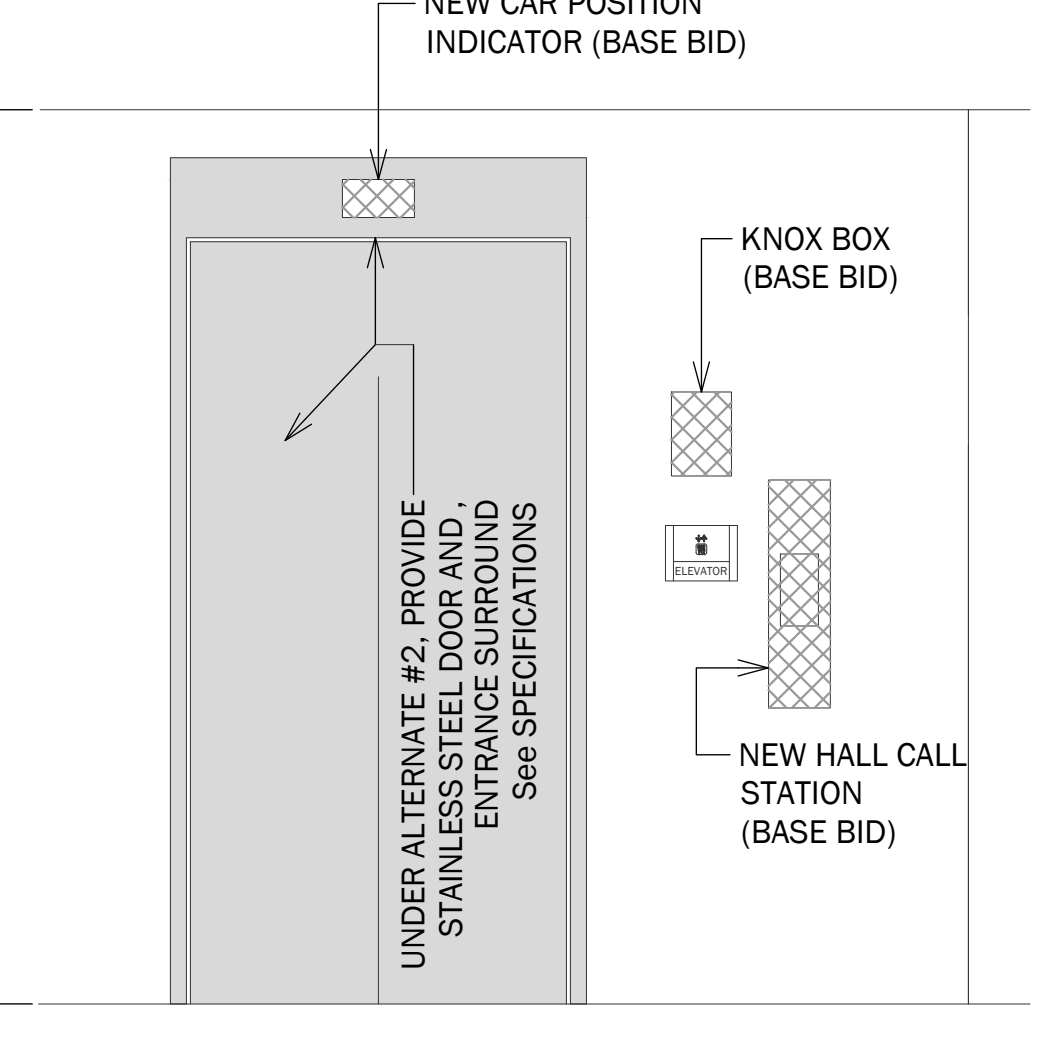
E ELEVATION: ELEVATOR ENTRY
 1/4" = 1'-0" ALTERNATE #2



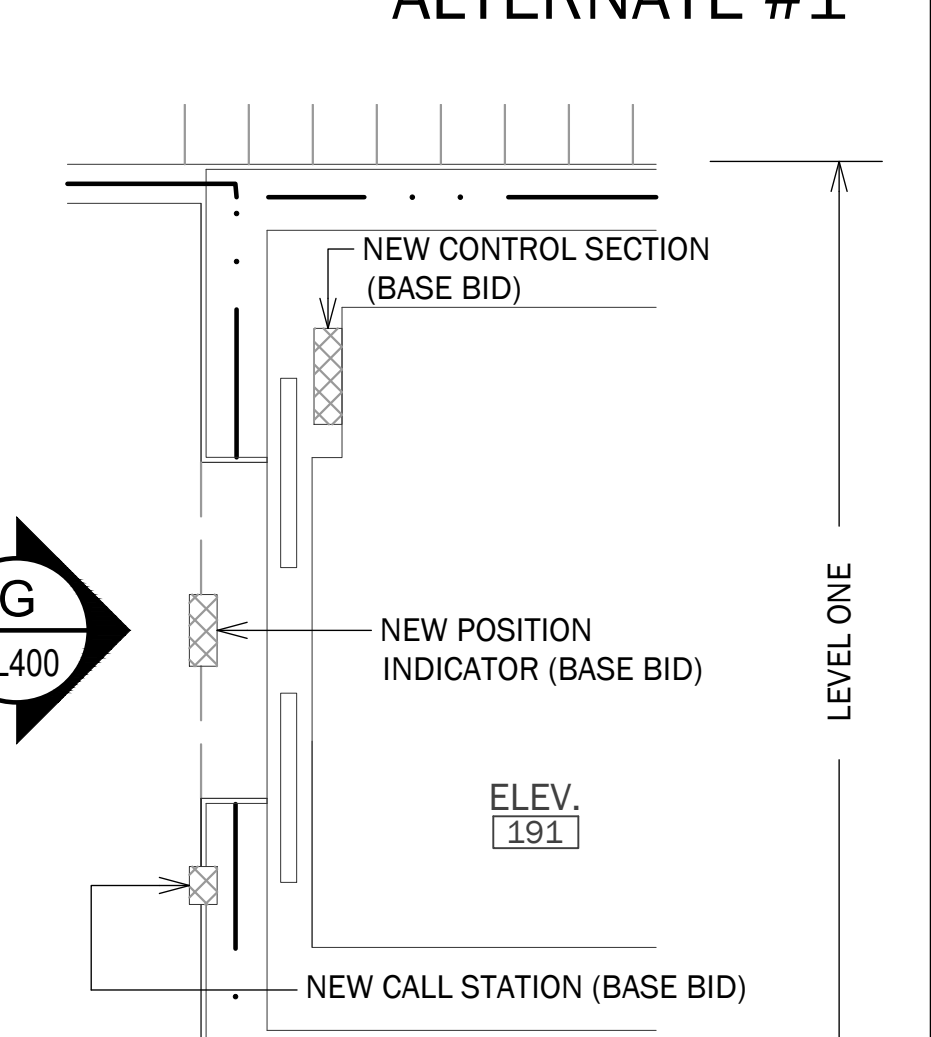
C ELEVATION: CAR INTERIOR
 1/4" = 1'-0" BASE BID



4 PLAN @ ELEVATOR ENTRY
 1/4" = 1'-0" BASE BID



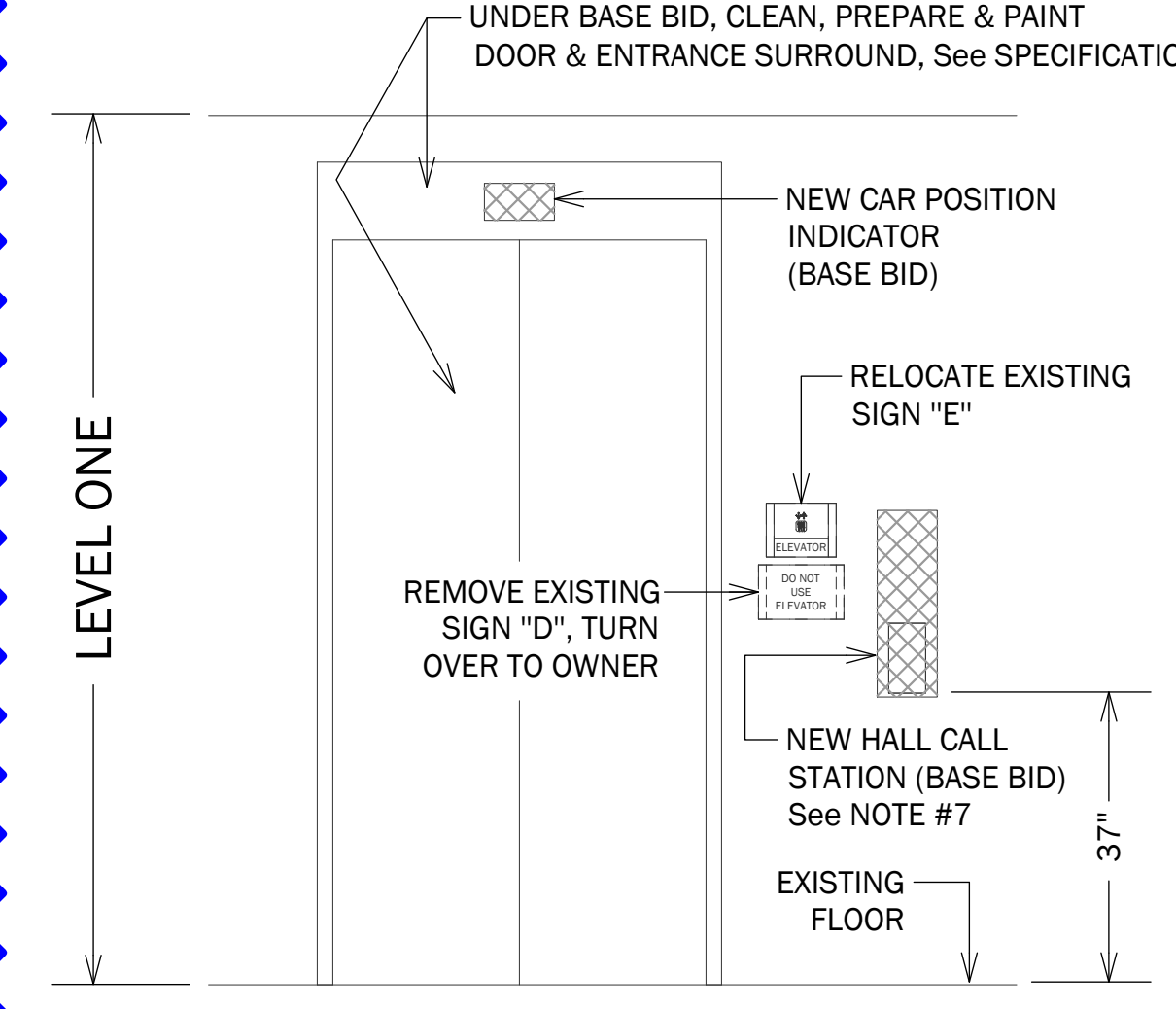
J ELEVATION: CAR INTERIOR
 1/4" = 1'-0" ALTERNATE #1



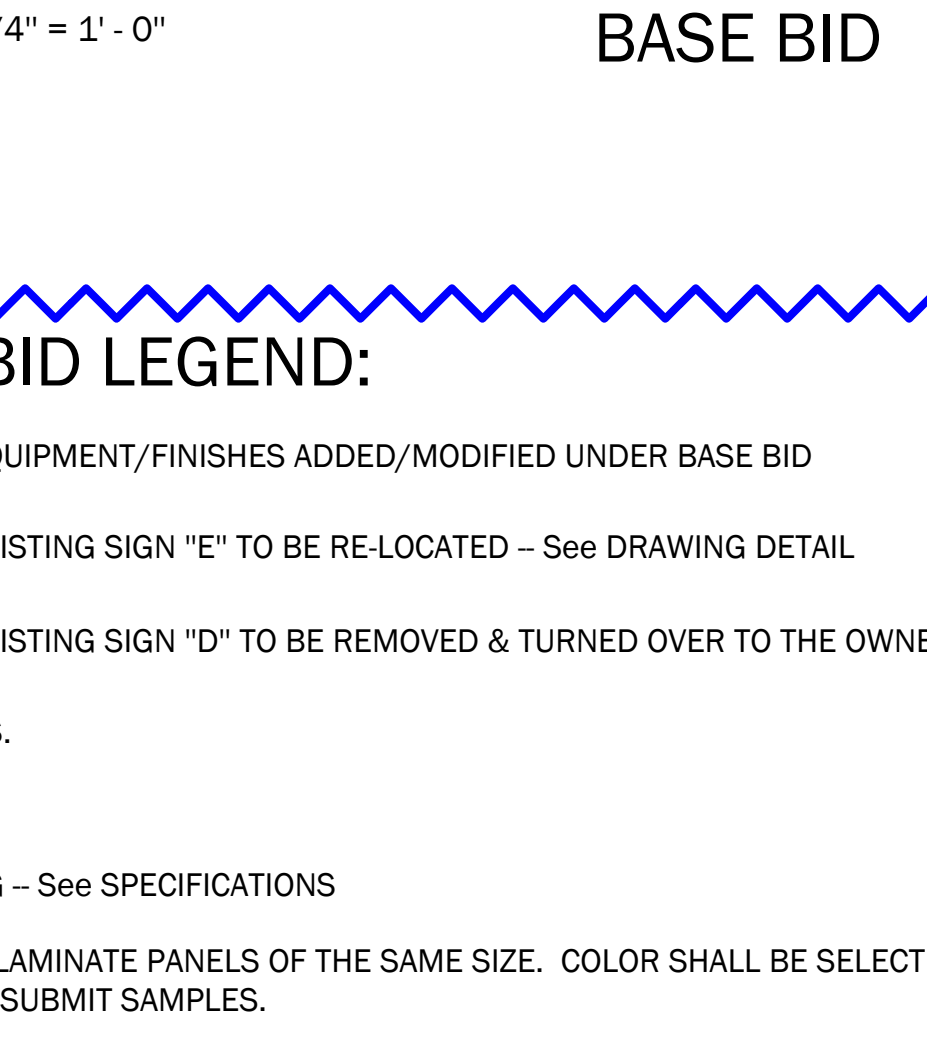
8 PLAN @ ELEVATOR ENTRY
 1/4" = 1'-0" ALTERNATE #1

F ELEVATION: ELEVATOR ENTRY
 1/4" = 1'-0" BASE BID

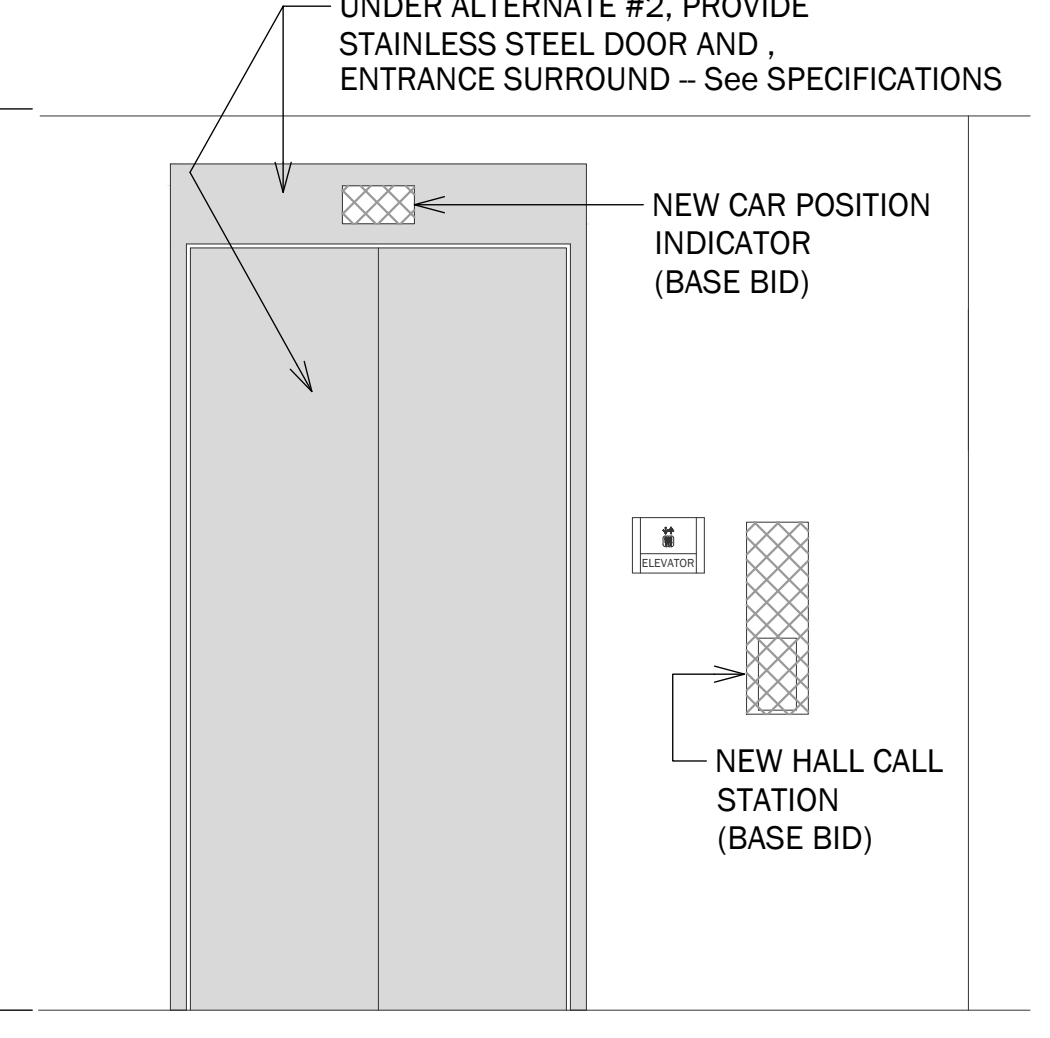
F ELEVATION: ELEVATOR ENTRY
 1/4" = 1'-0" ALTERNATE #2



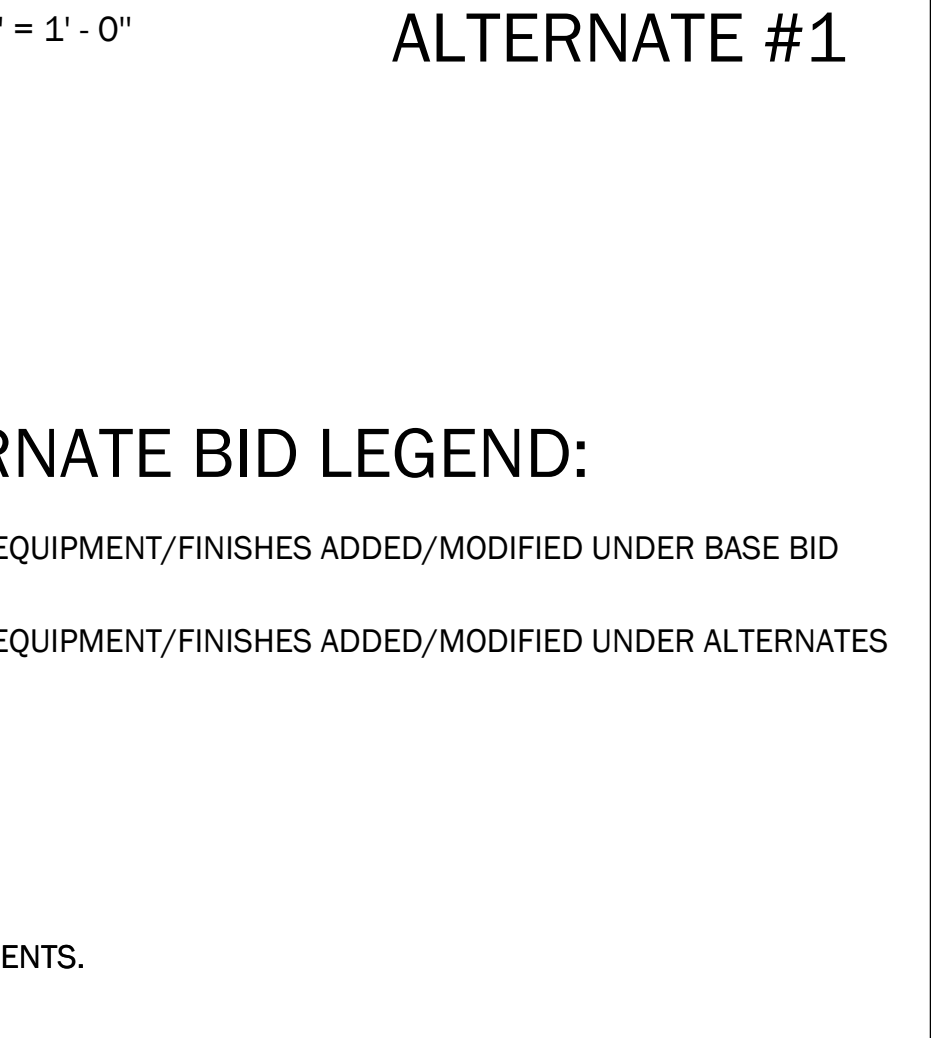
D ELEVATION: CAR INTERIOR
 1/4" = 1'-0" BASE BID



4 PLAN @ ELEVATOR ENTRY
 1/4" = 1'-0" BASE BID



K ELEVATION: CAR INTERIOR
 1/4" = 1'-0" ALTERNATE #1



8 PLAN @ ELEVATOR ENTRY
 1/4" = 1'-0" ALTERNATE #1

G ELEVATION: ELEVATOR ENTRY
 1/4" = 1'-0" BASE BID

G ELEVATION: ELEVATOR ENTRY
 1/4" = 1'-0" ALTERNATE #2

BASE BID NOTES:

- See SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- FURNISH AND INSTALL NEW CEILING WITH LIGHTS - See SPECIFICATIONS.
- REMOVE EXISTING FLOORING, CLEAN FLOOR AND INSTALL NEW FLOORING - See SPECIFICATIONS
- ALL EXISTING LAMINATE PANELS SHALL BE REPLACED WITH NEW RAISED LAMINATE PANELS OF THE SAME SIZE. COLOR SHALL BE SELECTED BY THE OWNER FROM MANUFACTURER'S STANDARD BASELINE COLORS - SUBMIT SAMPLES.
- THE KNOX BOX SHALL BE MOUNTED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS - VERIFY EXACT LOCATION - VERIFY COLOR WITH THE OWNER.
- HALL CALL STATION "F" SHALL BE SURFACE MOUNTED AND MOUNTED OVER THE EXISTING HALL STATION BOX AFTER THE EXISTING STATION HAS BEEN REMOVED. HALL CALL STATION "F" CONTAINS FIREMAN'S ACCESS.
- HALL CALL STATION "NF" SHALL BE SURFACE MOUNTED AND MOUNTED OVER THE EXISTING HALL STATION BOX AFTER THE EXISTING STATION HAS BEEN REMOVED. HALL CALL STATION "NF" DOES NOT CONTAIN FIREMAN'S ACCESS.

BASE BID LEGEND:

- EQUIPMENT/FINISHES ADDED/MODIFIED UNDER BASE BID
- EXISTING SIGN "E" TO BE RE-LOCATED - See DRAWING DETAIL
- EXISTING SIGN "D" TO BE REMOVED & TURNED OVER TO THE OWNER

ALTERNATE BID LEGEND:

- EQUIPMENT/FINISHES ADDED/MODIFIED UNDER BASE BID
- EQUIPMENT/FINISHES ADDED/MODIFIED UNDER ALTERNATES

ALTERNATE NOTES:

- See SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- NEW CEILING AND LIGHTS INSTALLED IN BASE BID.
- See SPECIFICATIONS FOR NEW WORK IN CARS UNDER ALTERNATE #1.
- See SPECIFICATIONS FOR NEW WORK FOR DOOR AND ENTRANCE SURROUND UNDER ALTERNATE #2.

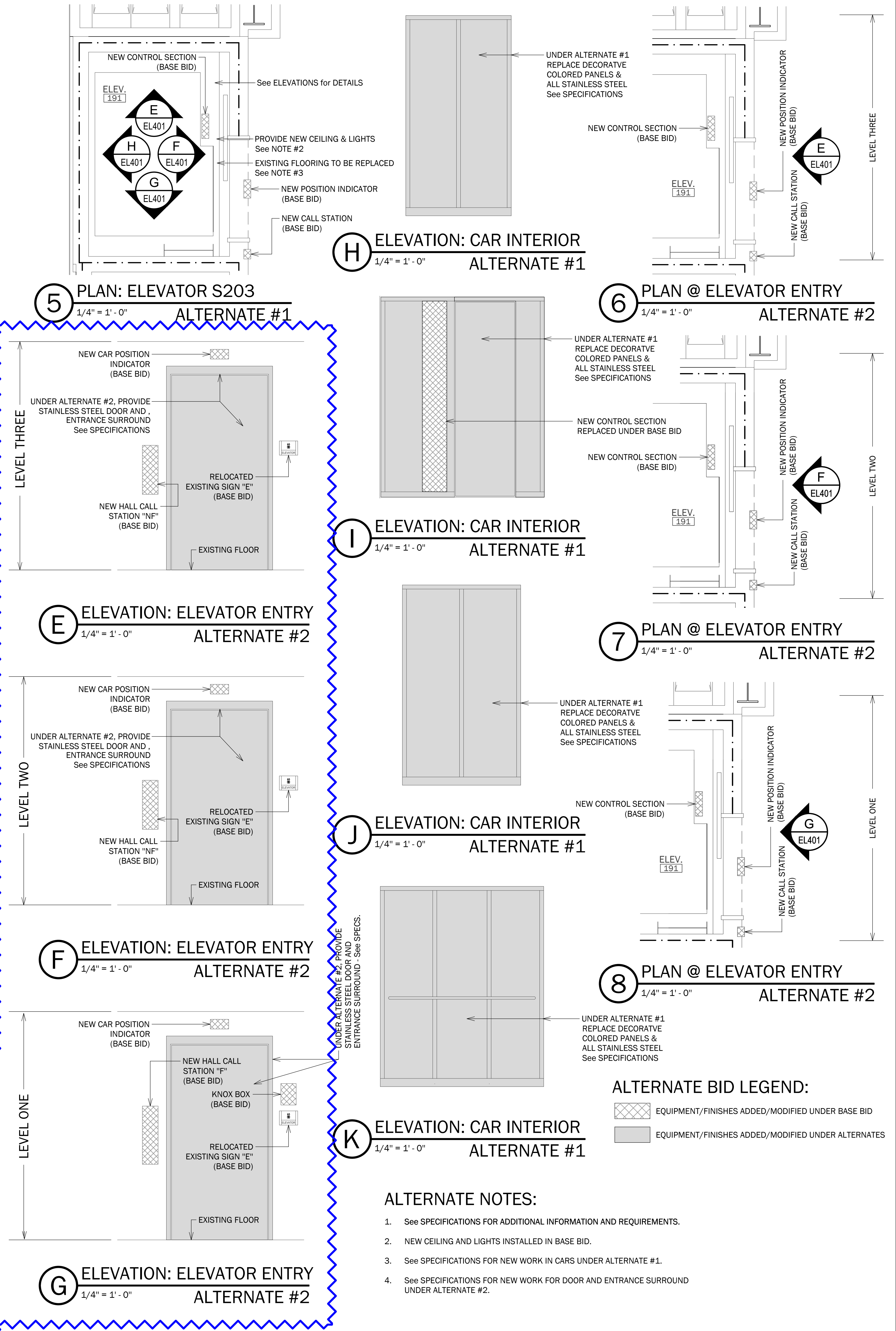
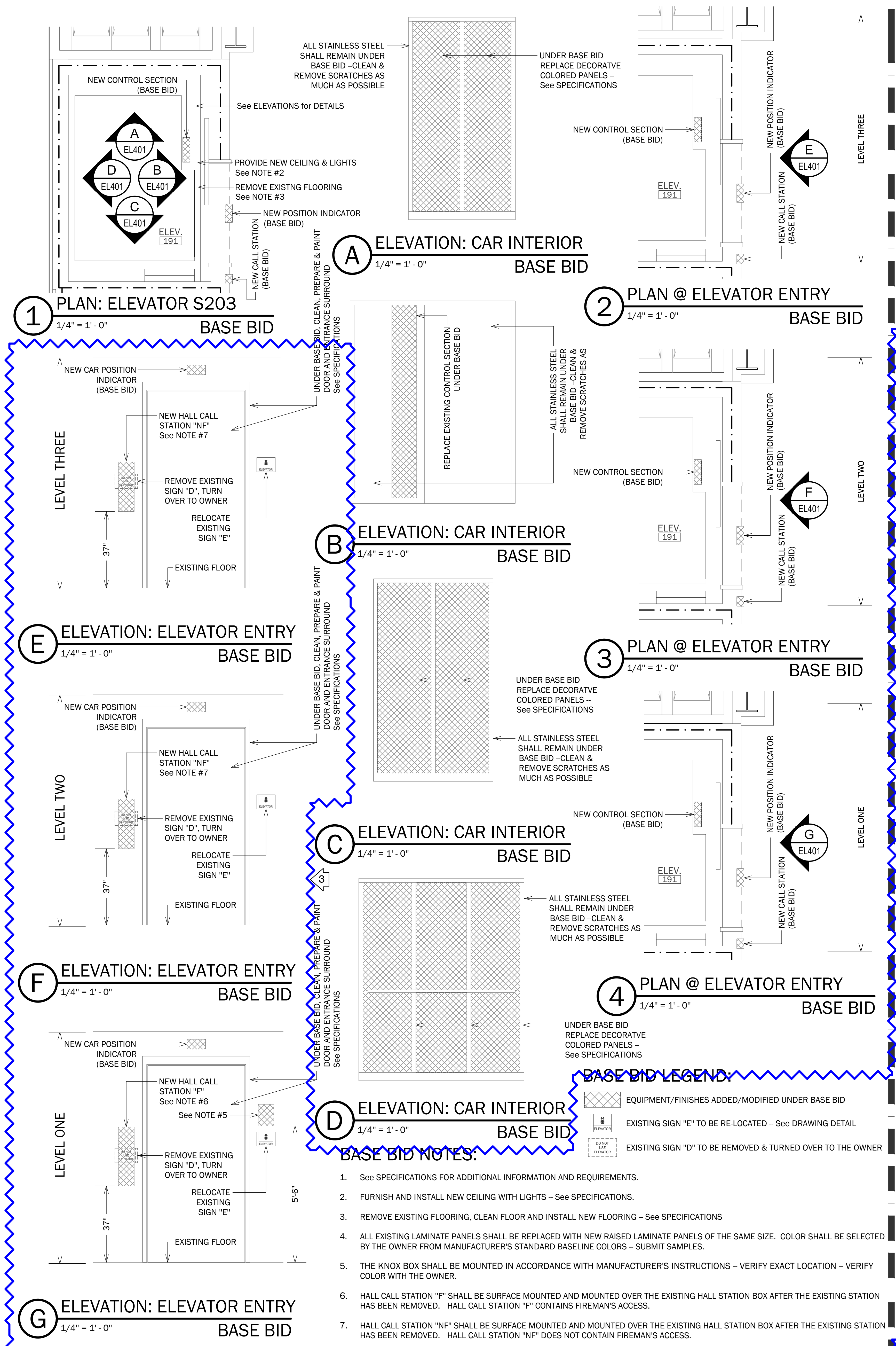
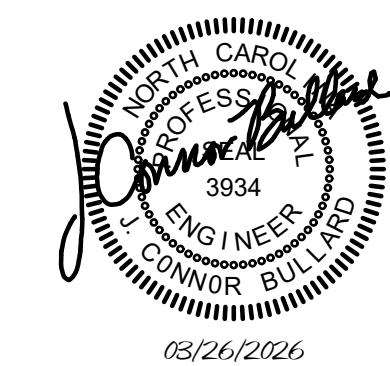
BASE BID

ALTERNATES

REVISIONS		
NO.	DATE	DESCRIPTION
1	04/01/2026	ADDED KNOX BOX TO LOWER LEVEL ELEVATOR LOBBY
2	04/09/2026	REVISED DEVICE LAYOUTS IN ELEVATOR LOBBIES

ELEVATOR BASE BID + ALTERNATES BUILDING S201

SHEET TITLE	
26010.00	PROJECT NUMBER
03.26.2026	EL400
RELEASE DATE	SHEET OF



BASE BID

ALTERNATES

REVISIONS

NO.	DATE	DESCRIPTION
1	04/01/2026	ADDED KNOX BOX TO LOWER LEVEL ELEVATOR LOBBY
2	04/09/2026	REVISED DEVICE LAYOUTS IN ELEVATOR LOBBIES

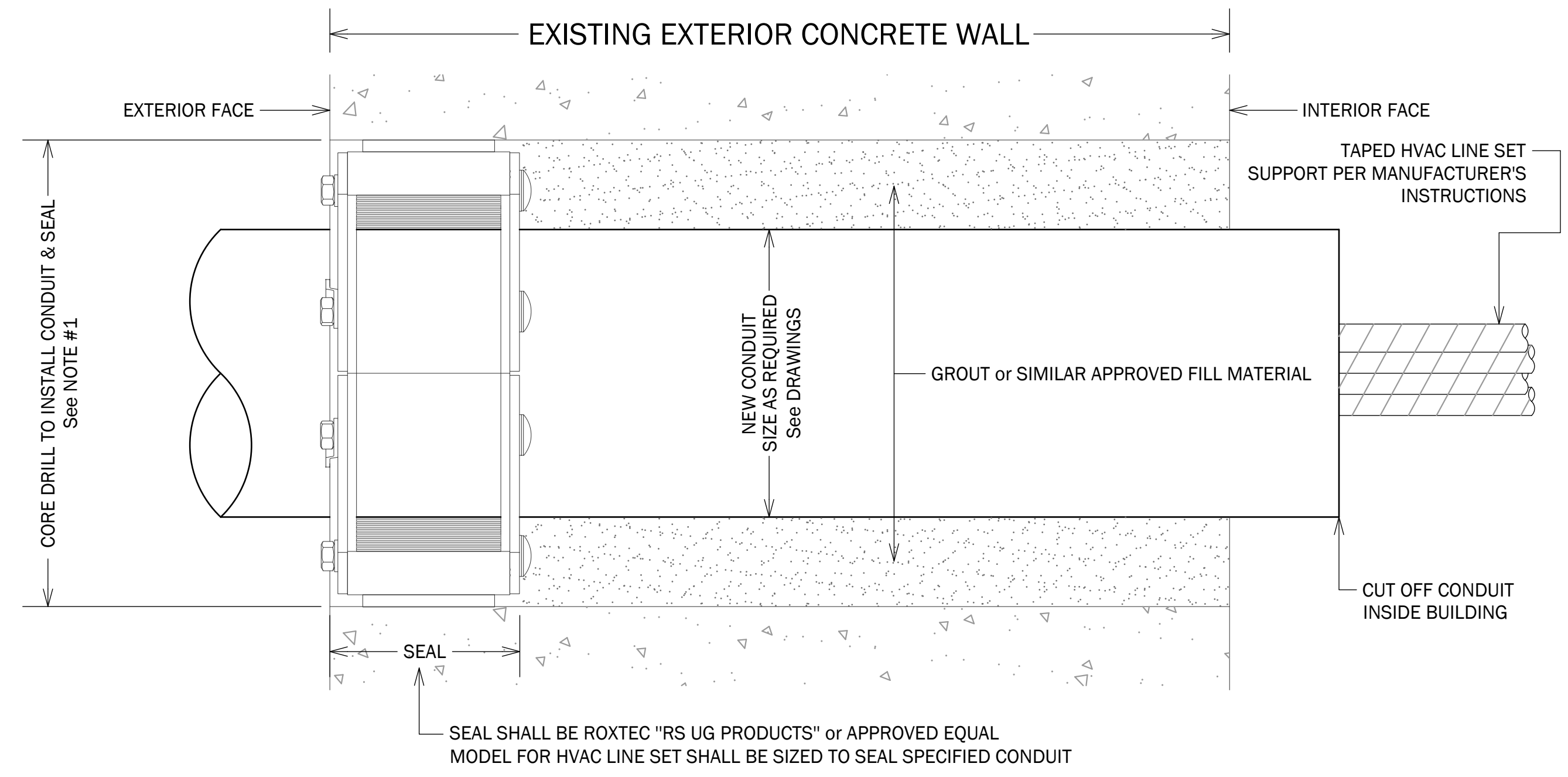
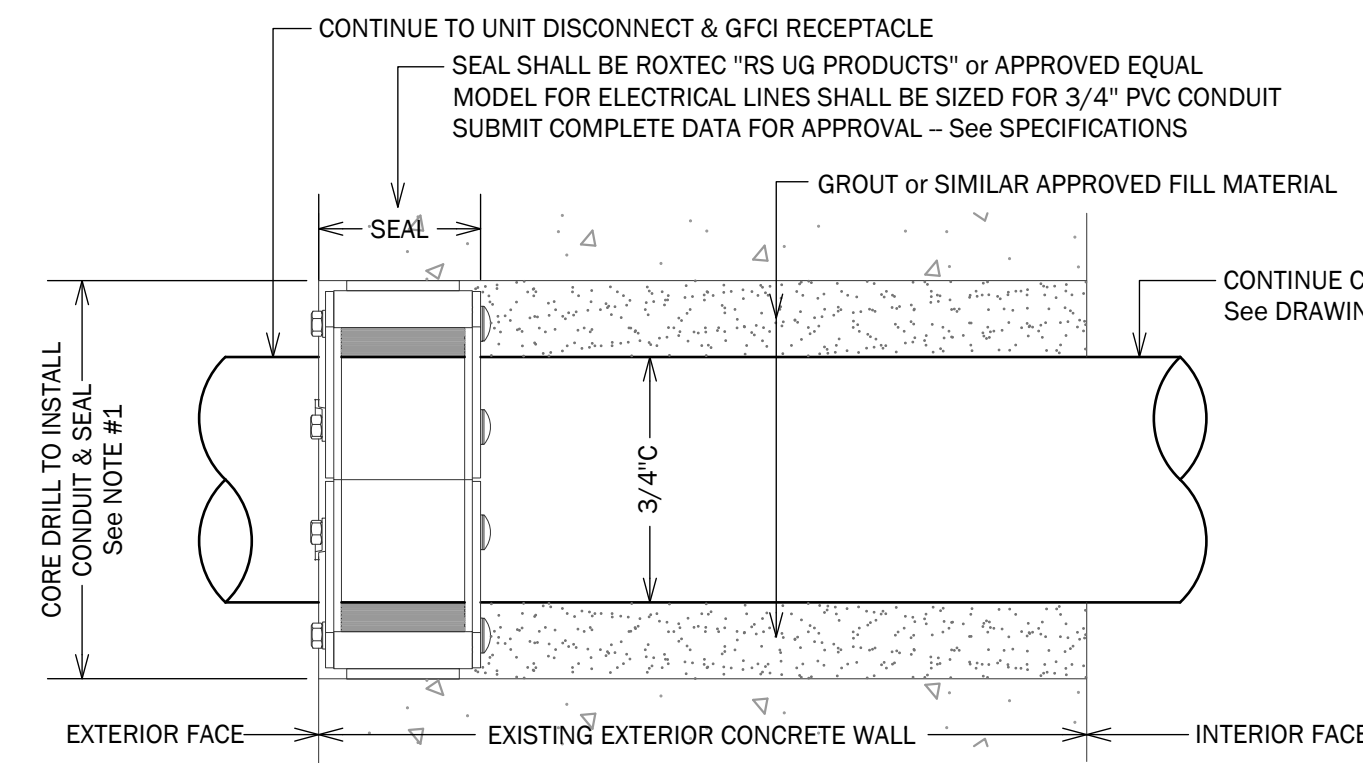
ELEVATOR BASE BID + ALTERNATES
 BUILDING S203

SHEET TITLE

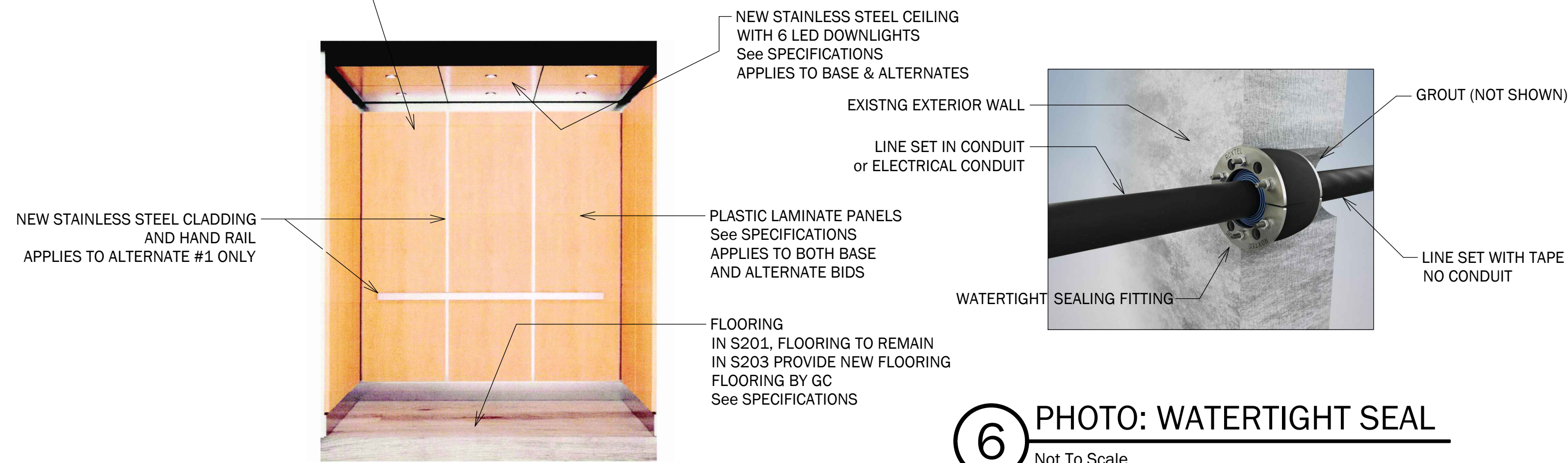
26010.00	EL401
PROJECT NUMBER	
03.26.2026	
RELEASE DATE	SHEET OF

UNDER BASE BID, FURNISH AND INSTALL STUDS IN BOTH CARS TO HANG PROTECTIVE PADS ONE SET OF PADS SHALL BE FURNISHED, PADS SHALL BE RUGGED CANVAS TYPE AS MANUFACTURED BY PALMER PADS. OWNER WILL SELECT COLOR DURING SHOP DRAWING REVIEW - COORDINATE SPACING.

2 DETAIL: WATERTIGHT SEAL FOR FOUNDATION PENETRATIONS ELECTRICAL CONDUIT
Not To Scale



1 DETAIL: WATERTIGHT SEAL FOR FOUNDATION PENETRATIONS HVAC LINE SET
Not To Scale

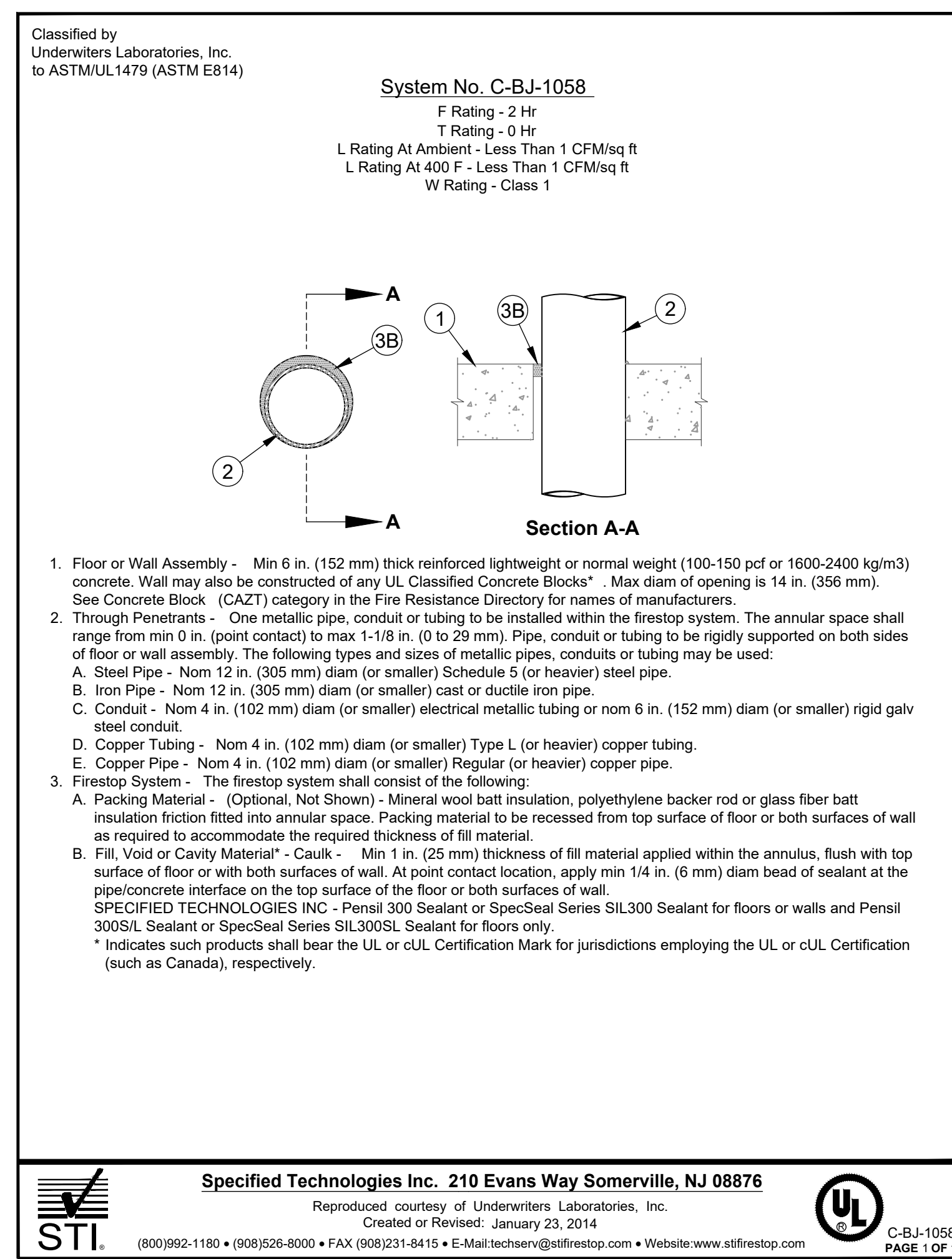


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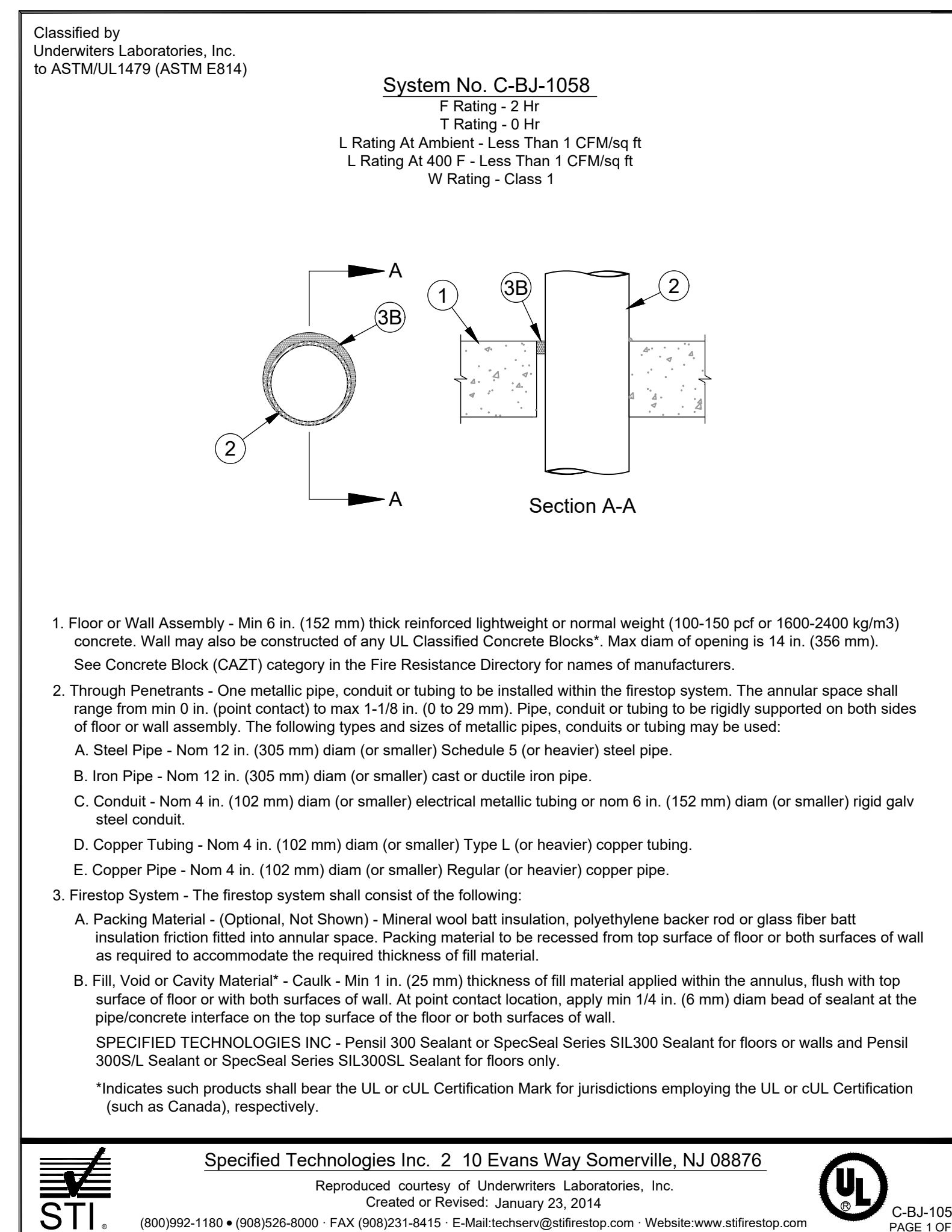
- PRIOR TO CORE DRILLING CONCRETE FOUNDATION WALL, CONTRACTOR SHALL OBTAIN SERVIC COMPANY TO X-RAY FOUNDATION TO VERIFY THAT CORE DRILLING WILL AVOID DAMAGE TO THE RE-INFORCING STEEL IN THE EXISTING WALL.

6 PHOTO: WATERTIGHT SEAL
Not To Scale

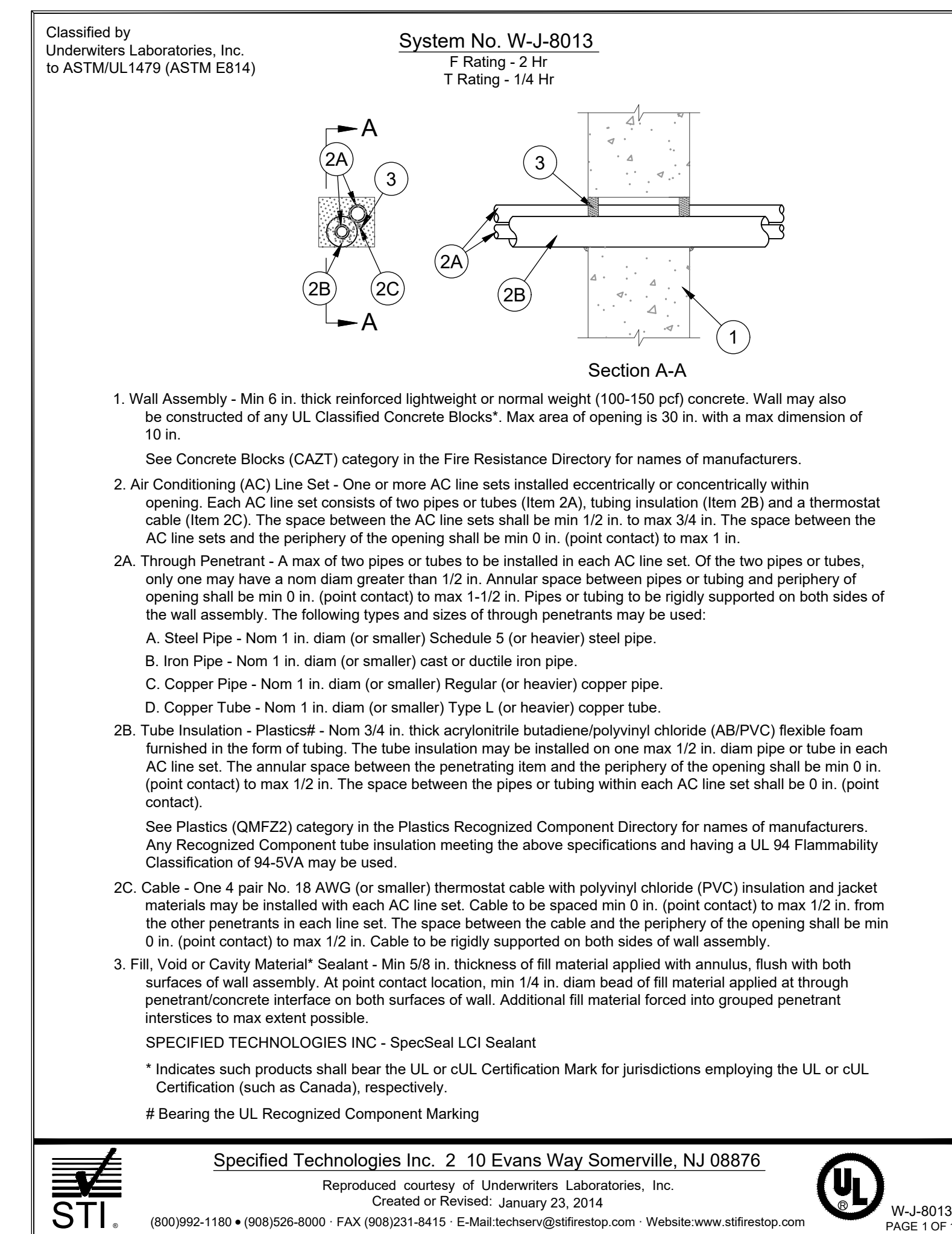
7 ELEVATOR CAB UPGRADE
Not To Scale



5 DETAIL: FIRE-STOP FOR CONSENSATE DRAIN
Not To Scale



4 DETAIL: FIRE-STOP FOR ELECTRICAL CONDUIT
Not To Scale



3 DETAIL: FIRE-STOP FOR HVAC LINE SET
Not To Scale

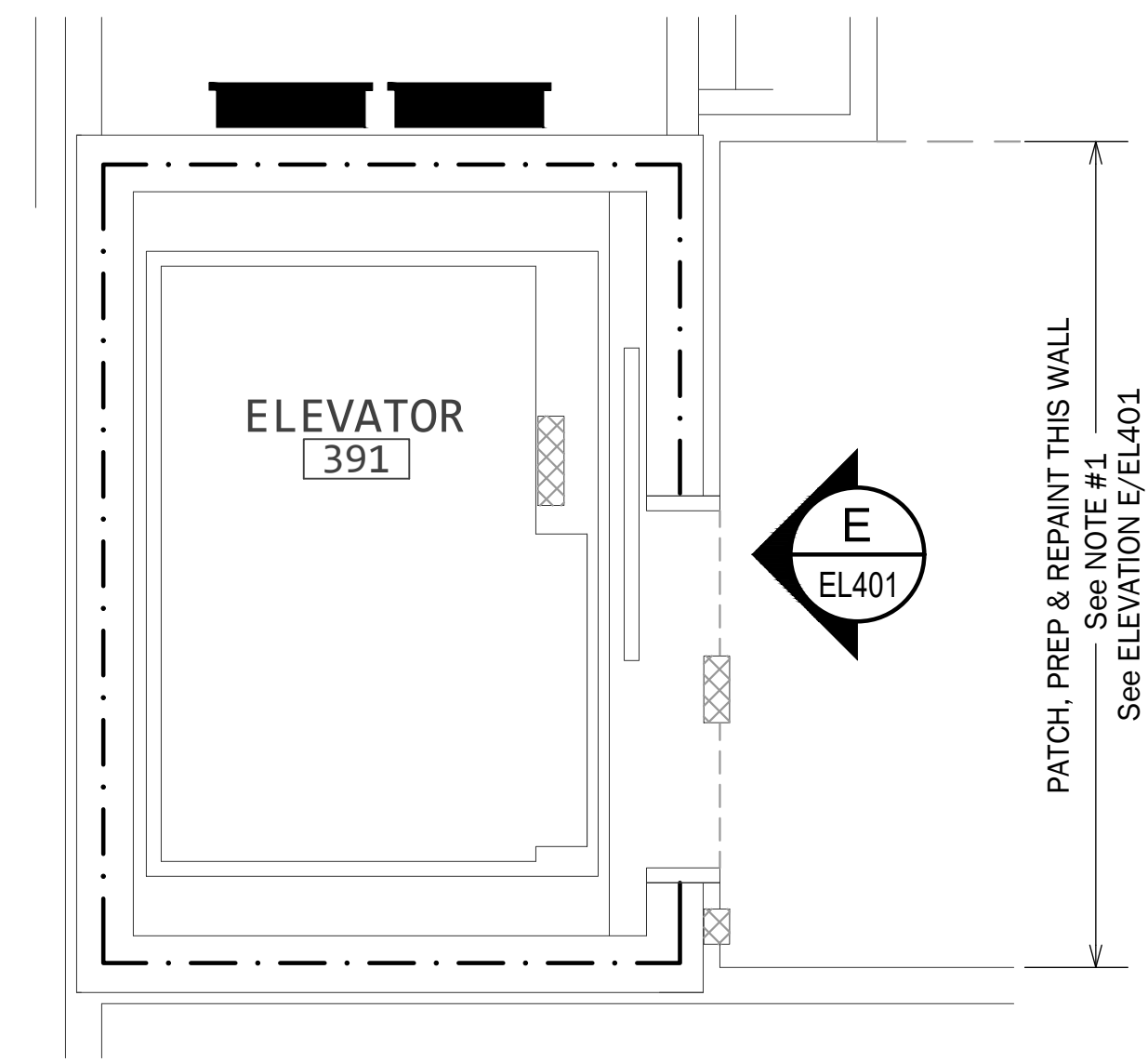


REVISIONS		
NO.	DATE	DESCRIPTION

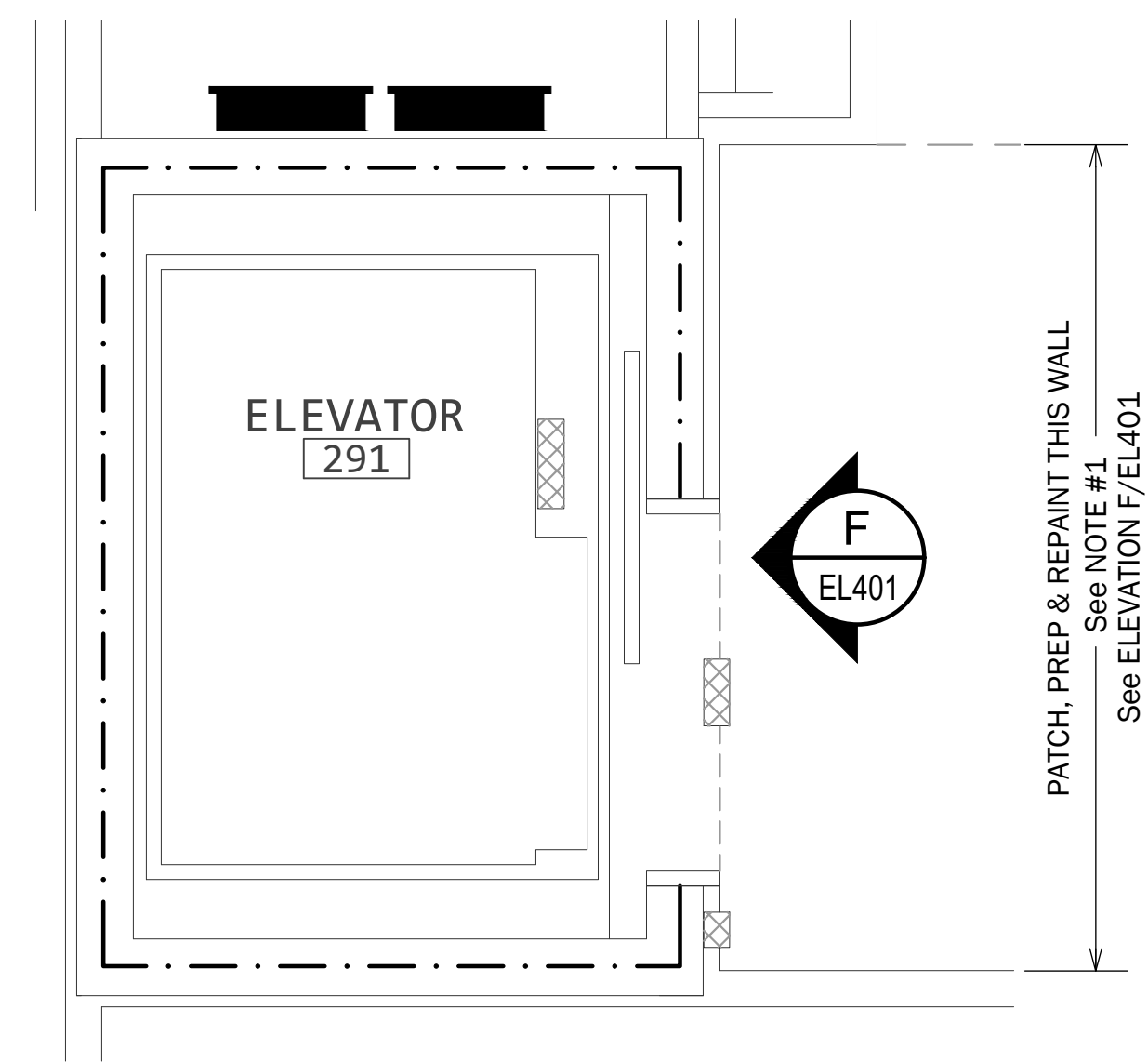
MISCELLANEOUS DETAILS

SHEET TITLE	
26010.00	EL500
PROJECT NUMBER	
03.26.2026	RELEASE DATE
	SHEET OF

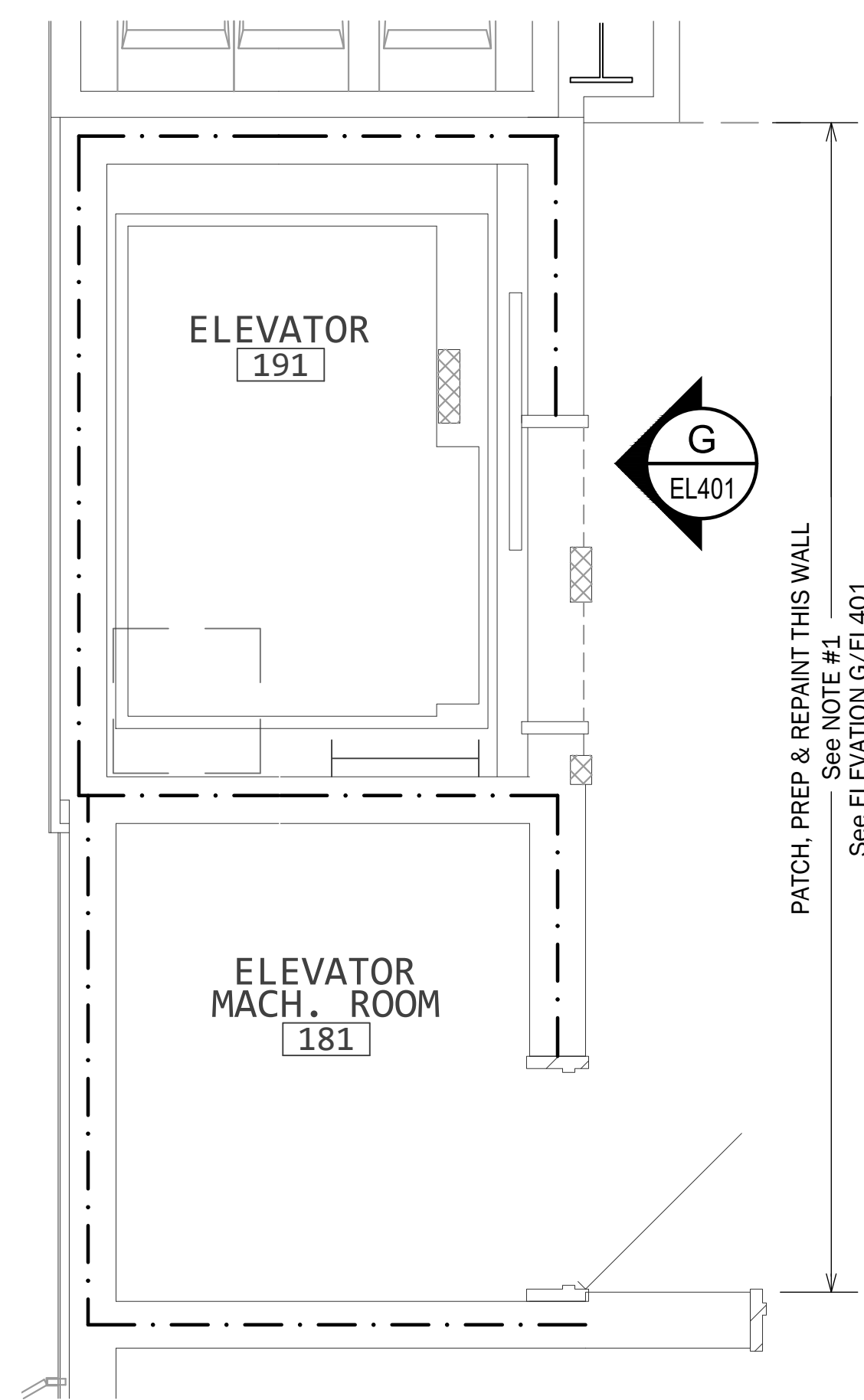
BUILDING S203



4 PARTIAL PLAN: ELEVATOR LOBBY for [391]
1/2" = 1'-0"

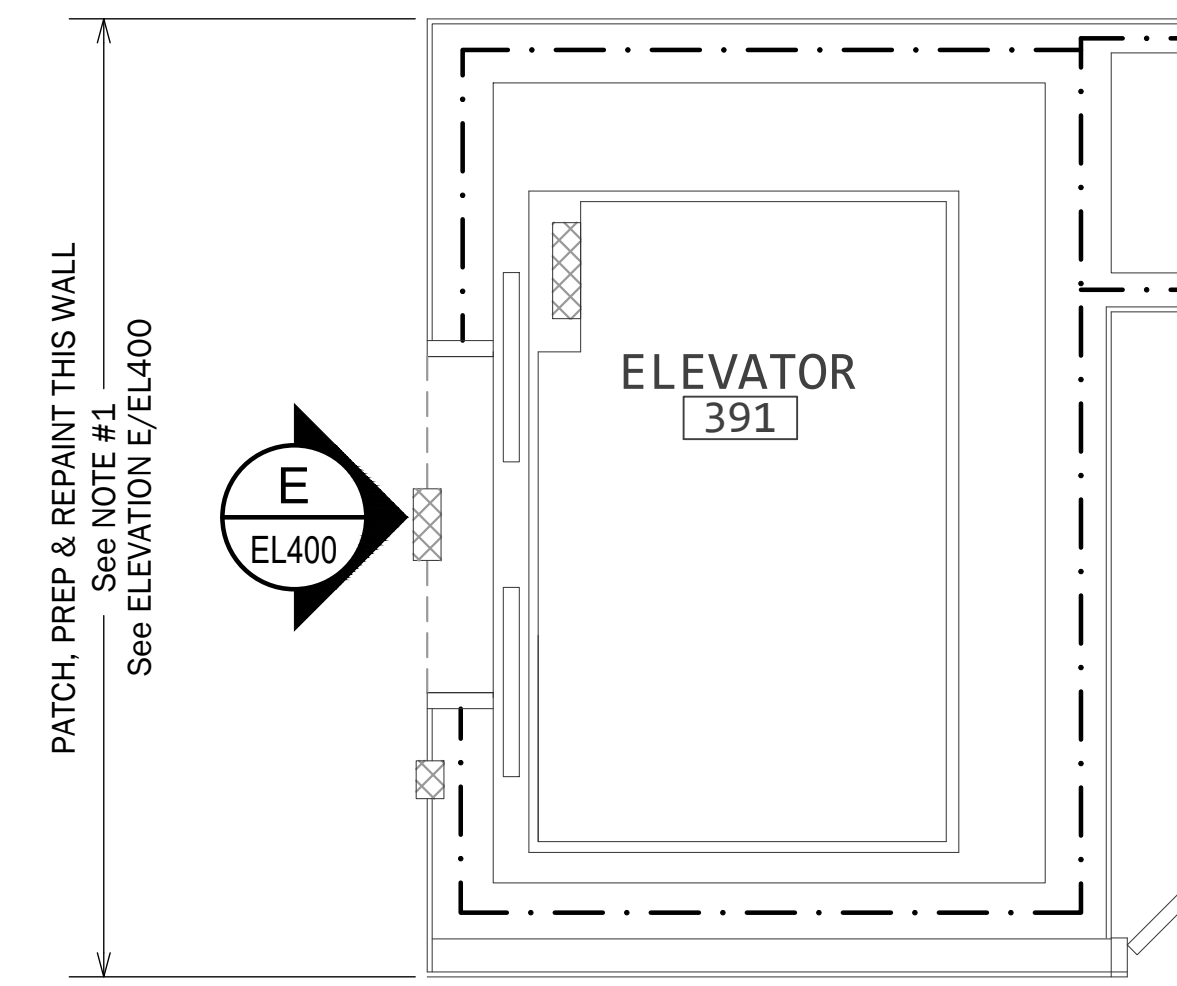


5 PARTIAL PLAN: ELEVATOR LOBBY for [291]
1/2" = 1'-0"

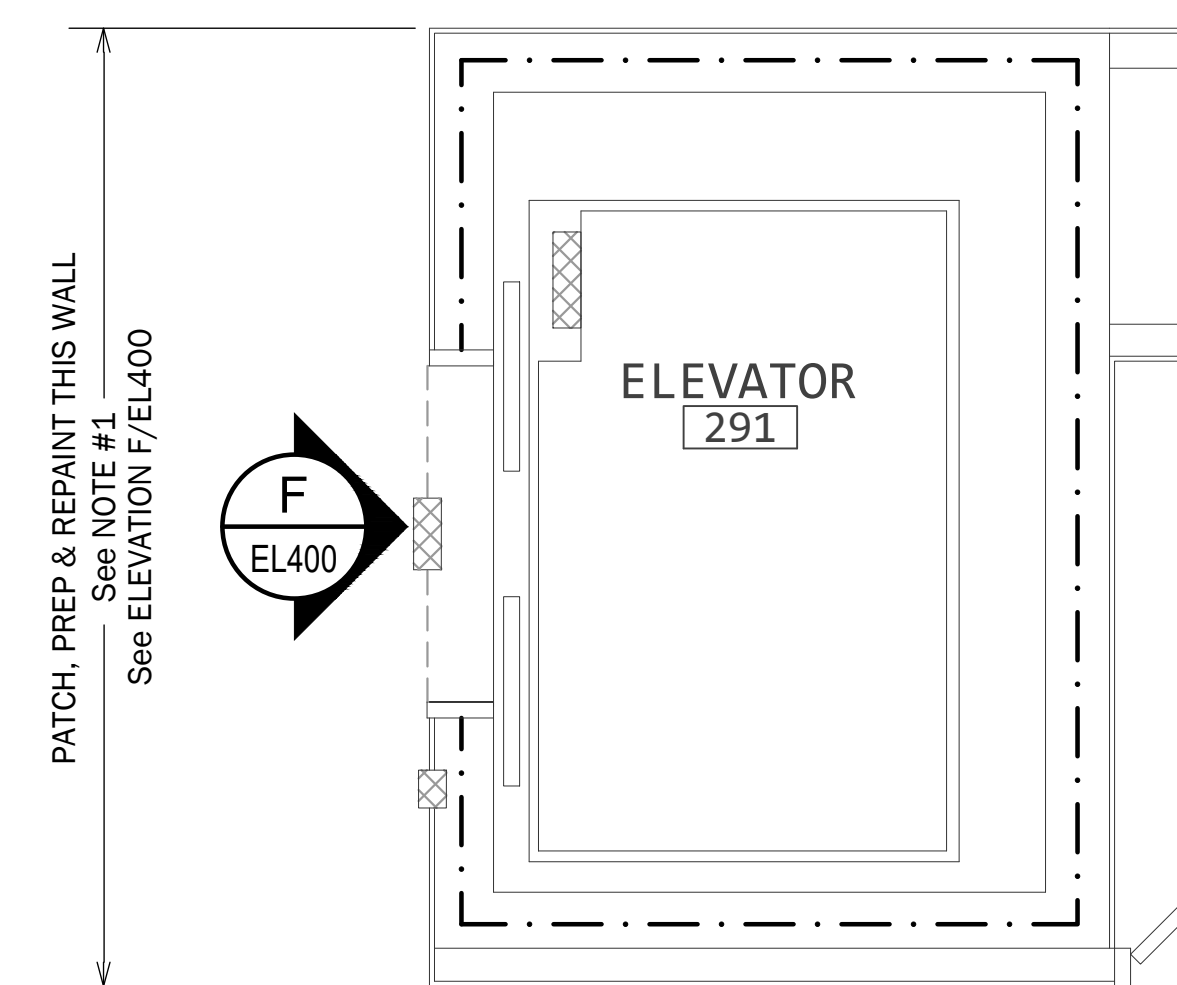


6 PARTIAL PLAN: ELEVATOR LOBBY for [191]
1/2" = 1'-0"

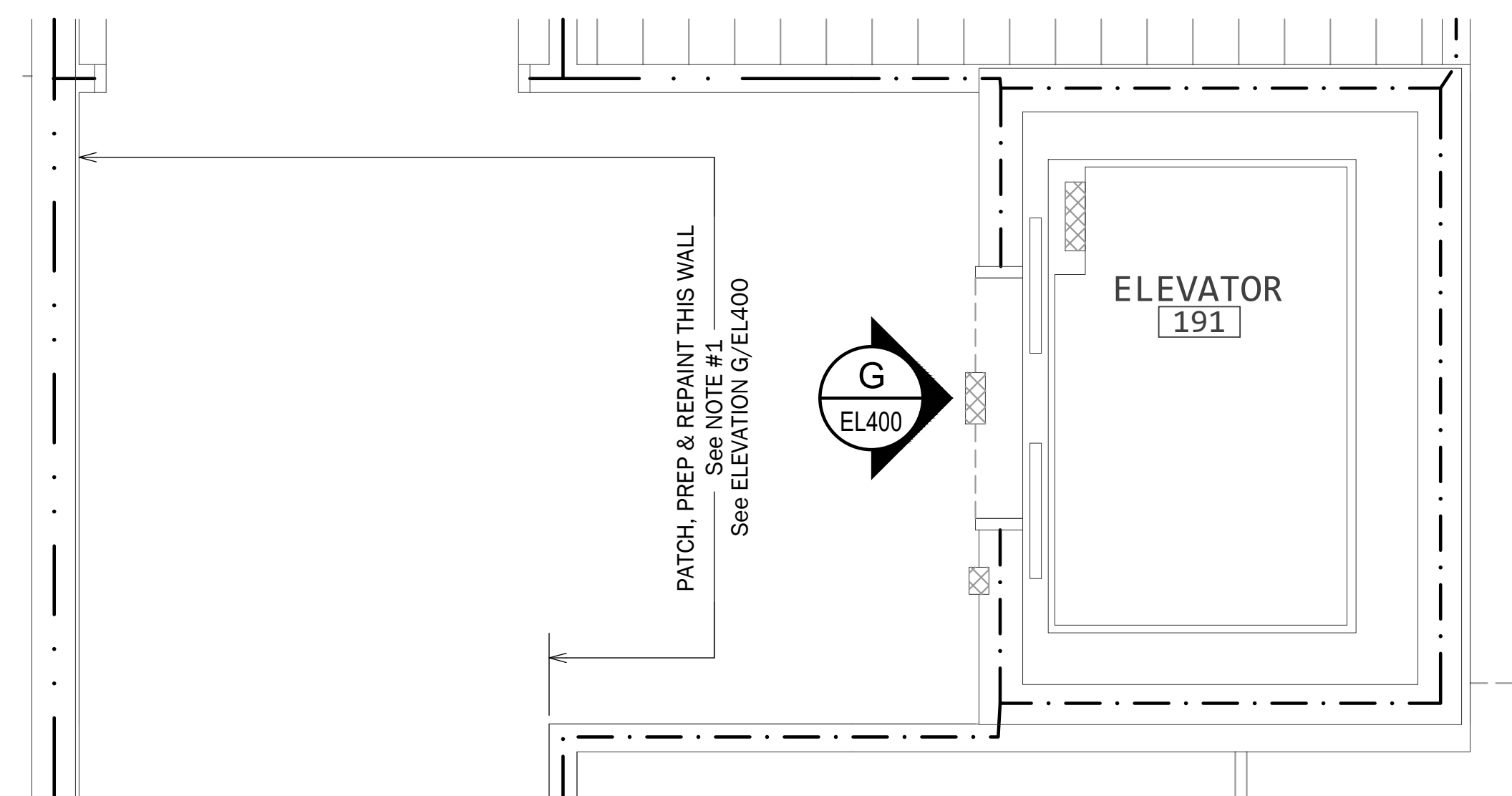
BUILDING S201



1 PARTIAL PLAN: ELEVATOR LOBBY for [391]
1/2" = 1'-0"



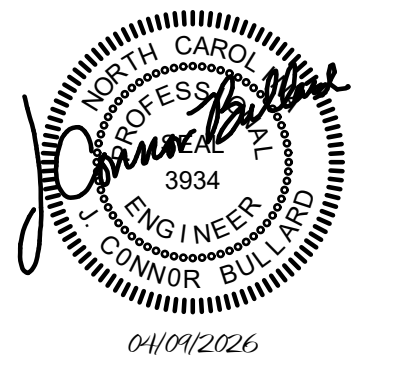
2 PARTIAL PLAN: ELEVATOR LOBBY for [291]
1/2" = 1'-0"



3 PARTIAL PLAN: ELEVATOR LOBBY for [191]
1/2" = 1'-0"

NOTES:

- AFTER WORK IS COMPLETE, THE WALLS INDICATED SHALL BE PATCHED, PREPPED AND REPAINTED FROM FLOOR TO CEILING. COLOR SHALL MATCH EXISTING (OWNER WILL FURNISH COLOR AND TYPE OF PAINT). IN ADDITION TO SIGNS THAT ARE NOTED TO BE RELOCATED, OTHER SIGNS, DISPLAYS, ETC. SHALL BE REMOVED DURING PAINTING, AND REINSTALLED AFTER PAINT IS DRY - COORDINATE WITH OWNER.



REVISIONS		
NO.	DATE	DESCRIPTION
3	04/09/2026	REVISED ELEVATOR LOBBY DETAILS (NEW SHEET)

ELEVATOR LOBBY DETAILS

SHEET TITLE	
26010.00	PROJECT NUMBER
04.09.2026	RELEASE DATE
EL501	SHEET OF

