

VICINITY



TOWN OF FUQUAY-VARINA

WAKE COUNTY, NORTH CAROLINA

WILLOW LAKES PARKING LOT PROJECT

LOCATION: TOWN OF FUQUAY-VARINA'S WILLOW LAKES PARK SITE NORTH OF SOUTH LAKES ELEMENTARY SCHOOL ON NORRIS LAKE ROAD OFF OF OLD HONEYCUTT ROAD

TYPE OF WORK: EARTHWORK, ASPHALT PAVING AND PAVEMENT MARKING WITH CONCRETE CURB, GUTTER, SIDEWALK AND DRIVEWAY

GENERAL NOTES:

- 1 THESE PROJECT PLANS ARE ALL DEVELOPED ON GEOGRAPHICAL INFORMATION SYSTEM (GIS) DATA AND MAPPING. NO GROUND SURVEYS WERE USED. DISTANCES NOTED AS ± ARE APPROXIMATE AND SUBJECT TO FIELD ADJUSTMENT BY THE TOWN.
- 2 ALL WORK, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF FUQUAY-VARINA STANDARDS AND SPECIFICATIONS.
- 3 FOR WORK ITEMS SUBJECT TO NCDOT STANDARDS AS REQUIRED BY THE TOWN STANDARDS, THE WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE 2024 NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
- 4 ALL WORK IS PLANNED WITHIN EXISTING TOWN-CONTROLLED LAND, PUBLIC ROAD RIGHT OF WAY AND EASEMENTS.
- 5 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL TRAFFIC CONTROL SHALL BE MAINTAINED AT ALL TIMES IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
- 6 LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE GENERALLY NOT REPRESENTED ON THESE PROJECT PLANS, CONTACT THE NORTH CAROLINA 811 (NC811) ONE CALL CENTER AT <https://nc811.org/> OR PHONE 811 OR 1-800-632-4949 AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- 7 ALL WORK REQUIRED TO COMPLETE THE PROJECT PLANS THAT IS NOT SPECIFICALLY QUANTIFIED IN THE BID SCHEDULE PAY ITEMS SHALL BE CONSIDERED INCIDENTAL AND INCLUDED IN THE COST OF THE RELATED WORK PAY ITEMS.
- 8 CONTRACTOR SHALL KEEP EXISTING ROADS AND SIDEWALKS FREE OF DIRT AND DEBRIS AT ALL TIMES WHERE WORK IS NOT ACTIVE.



PROJECT LOCATION  
SCALE: 1"=5000'

**FINAL PLANS - FOR BIDDING**

SHEET INDEX

SHEET #	SHEET ID	DESCRIPTION
1	T01	TITLE SHEET
2	C01	LAYOUT PLAN
3	C02	GRADING & DRAINAGE PLAN
4	PMP1	SIGNING & STRIPING PLAN
5	D01	DETAILS

Plans prepared for:  
TOWN OF FUQUAY-VARINA  
134 N. MAIN ST.  
FUQUAY-VARINA NC, 27526

APPROVED BY:  
MATTHEW B. POLING, PE  
ENGINEERING DIRECTOR

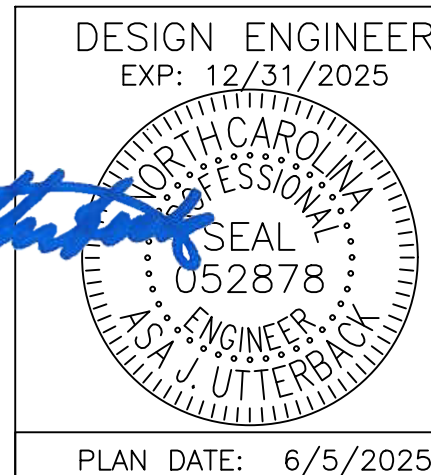
TOWN OF FUQUAY-VARINA  
WILLOW LAKES PARKING LOT PROJECT

TITLE SHEET

LETTING DATE:  
JUNE 17, 2025

JUNE 2025

SHT T1 1 OF 5



PLAN DATE: 6/5/2025

PARTIN PLACE  
SUBDIVISION HOA  
PIN: 0676573902

PARTIN PLACE  
SUBDIVISION HOA  
PIN: 0676579765

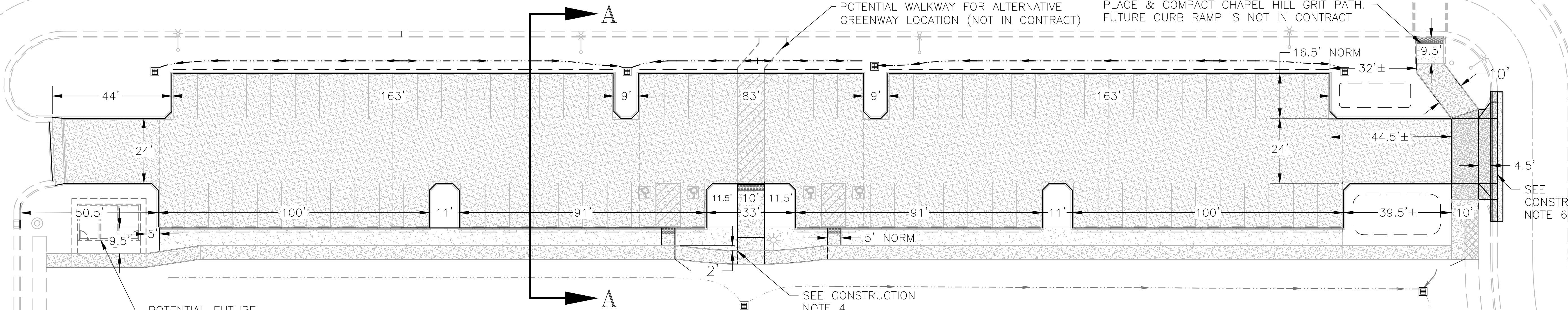
FUTURE WILLOW LAKES  
PARK GREENWAY  
(NOT IN CONTRACT)

NORRIS LAKE RD

FUTURE CROSSWALK  
(NOT IN CONTRACT)

POTENTIAL WALKWAY FOR ALTERNATIVE  
GREENWAY LOCATION (NOT IN CONTRACT)

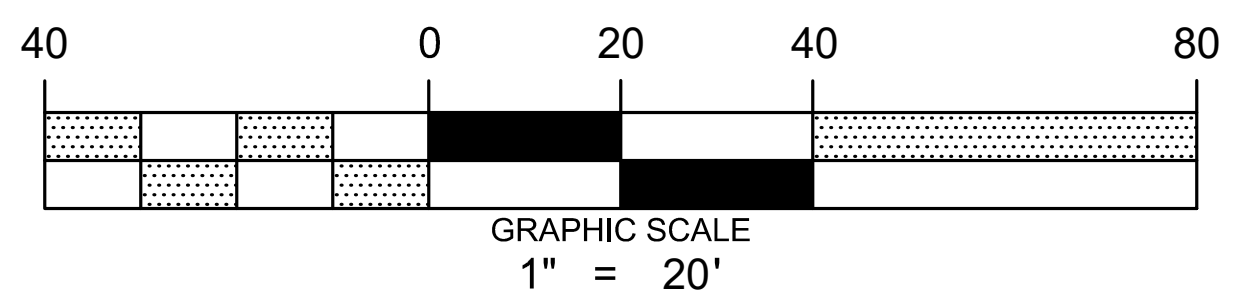
PLACE & COMPACT CHAPEL HILL GRIT PATH.  
FUTURE CURB RAMP IS NOT IN CONTRACT



POTENTIAL FUTURE  
RESTROOM BLDG  
(NOT IN CONTRACT)

SEE CONSTRUCTION  
NOTE 4

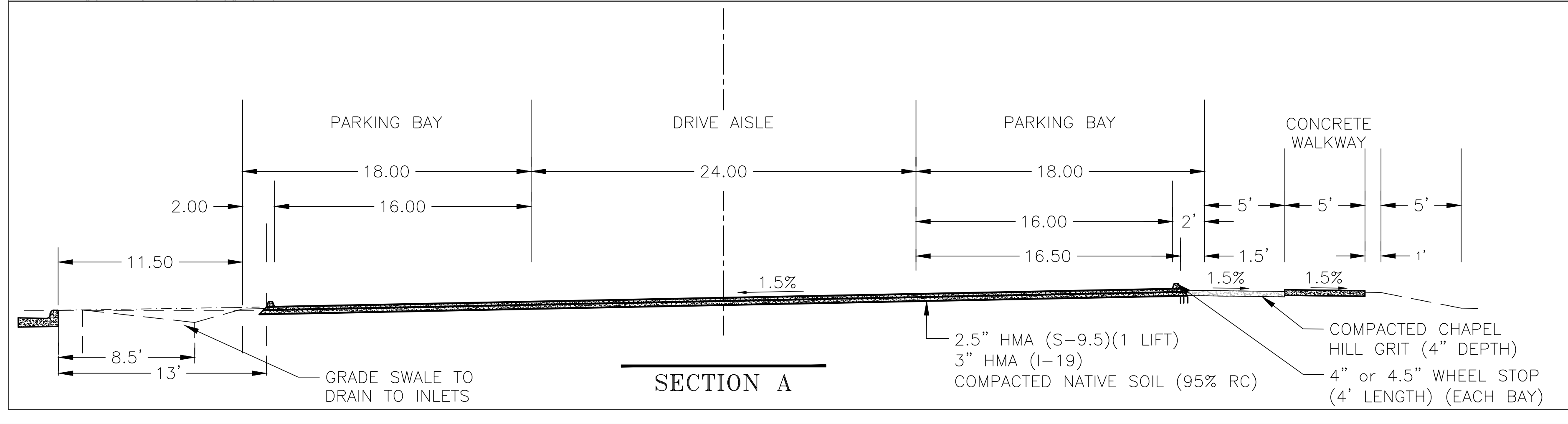
SEE CONSTRUCTION  
NOTE 6



CONSTRUCTION NOTES:

1. INTERIOR CORNERS OF PAVEMENT ARE SHOWN WITH 3' X 3' CHAMFERED EDGES. ACTUAL PAVING IS INTENDED TO GENERALLY APPROXIMATE THE AMOUNT OF CHAMFER NEATLY AND UNIFORMLY.
2. MATERIAL NOTED AS CHAPEL HILL GRIT IS ALSO KNOWN AS CHAPEL HILL GRAVEL. CHAPEL HILL GRIT IS A SANDY, CLAYEY, FINE GRAVEL THAT IS GENERALLY COMPOSED OF DECOMPOSED GRANITE.
3. LIGHTLY COMPACT CHAPEL HILL GRAVEL TO MAKE A UNIFORM AND STABLE WALKABLE SURFACE. INSTALL HARD CONTAINMENT EDGE WHERE THE CHAPEL HILL GRIT IS NOT AGAINST CONCRETE OR ASPHALT PAVEMENT.
4. CURVE WALKWAY TO SHIFT 2' FURTHER FROM LIGHT POLE.
5. CONSTRUCT FLATTENED DRIVEWAY APRON WITH 24' WIDE THROAT PER DETAIL ON SHEET D-01. DRIVEWAY QUANTITY WILL INCLUDE ADJACENT REALIGNED CURB & GUTTER & SIDEPATH BEHIND APRON.
6. WHERE CURB AND GUTTER REMOVAL IS REQUIRED FOR DRIVEWAY ONTO NORRIS LAKE ROAD, SAWCUT EXISTING PAVEMENT AT 2 FEET FROM EXTENDED LIP OF GUTTER LINE AND REPAVE WITH SAME PAVEMENT SECTION AS PARKING LOT.

WILLOW LAKES PARK  
TOWN OF FUQUAY-VARINA  
PIN: 0676577367



DESIGN ENGINEER  
EXP: 12/31/2025

PLAN DATE: 6/5/25

TOWN OF FUQUAY-VARINA  
WILLOW LAKES PARKING LOT PROJECT

# LAYOUT PLAN

JUNE 2025

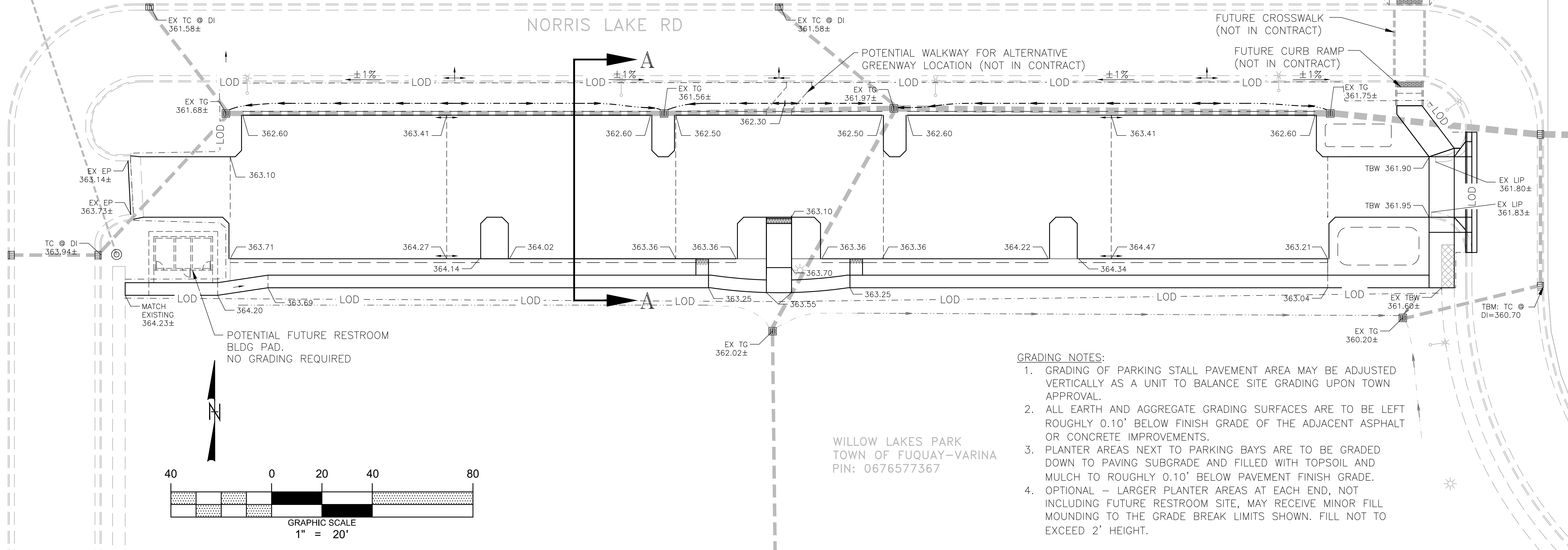
SHT C1 2 OF 5

PARTIN PLACE  
SUBDIVISION HOA  
PIN: 0676573902

PARTIN PLACE  
SUBDIVISION HOA  
PIN: 0676579765

**EROSION CONTROL NOTES:**

1. THIS PLAN DOES NOT PROVIDE A SPECIFIC DESIGN FOR EROSION CONTROL MEASURES. CONTRACTOR TO PROVIDE MARKUP PLAN SUBMITTAL OF INTENDED EROSION CONTROL MEASURES AS NEEDED TO ESTABLISH AND MAINTAIN EROSION CONTROL FOR THE PLANNED WORK ON SITE. MINIMUM REQUIRED MEASURES WILL INCLUDE SILT FENCE PERIMETER, STABILIZED CONSTRUCTION ENTRANCE, DRAIN INLET PROTECTION, AND PERMANENT SEEDING.
2. GRASS SEED MIXES SHALL BE PROVIDED FOR EROSION CONTROL OF ALL OTHERWISE UNIMPROVED, GRADED EARTH AREAS WHICH MATCH THE ADJACENT PARK LAWN AREAS.
3. APPROXIMATE DISTURBED AREA = 43,200 SF (0.99 AC)



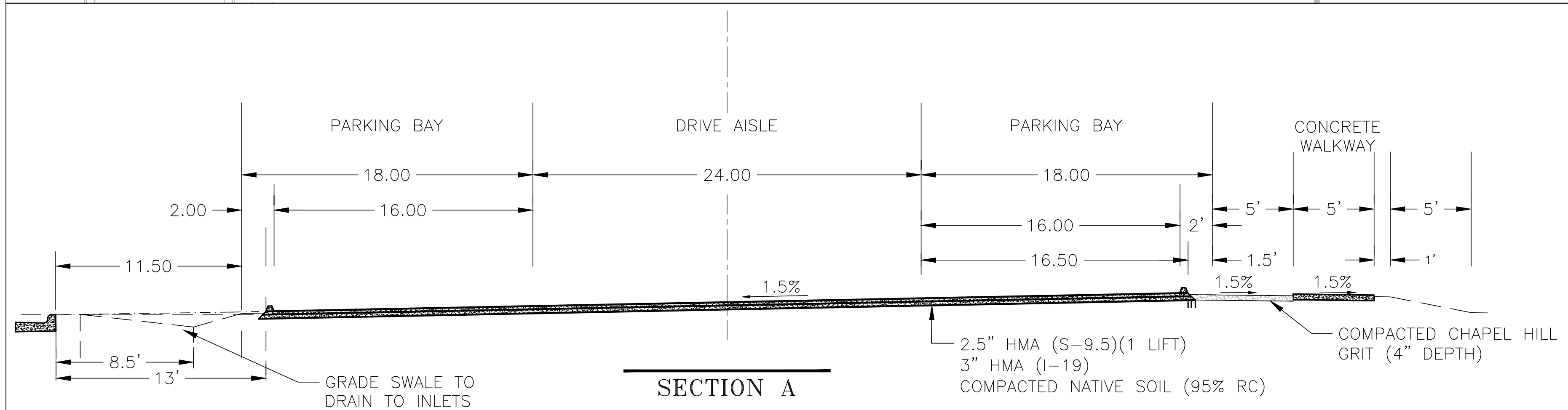
**GRADING NOTES:**

1. GRADING OF PARKING STALL PAVEMENT AREA MAY BE ADJUSTED VERTICALLY AS A UNIT TO BALANCE SITE GRADING UPON TOWN APPROVAL.
2. ALL EARTH AND AGGREGATE GRADING SURFACES ARE TO BE LEFT ROUGHLY 0.10' BELOW FINISH GRADE OF THE ADJACENT ASPHALT OR CONCRETE IMPROVEMENTS.
3. PLANTER AREAS NEXT TO PARKING BAYS ARE TO BE GRADED DOWN TO PAVING SUBGRADE AND FILLED WITH TOPSOIL AND MULCH TO ROUGHLY 0.10' BELOW PAVEMENT FINISH GRADE.
4. OPTIONAL - LARGER PLANTER AREAS AT EACH END, NOT INCLUDING FUTURE RESTROOM SITE, MAY RECEIVE MINOR FILL MOUNDING TO THE GRADE BREAK LIMITS SHOWN. FILL NOT TO EXCEED 2' HEIGHT.

WILLOW LAKES PARK  
TOWN OF FUQUAY-VARINA  
PIN: 0676577367

**VERTICAL CONTROL:**

TEMPORARY BENCHMARK (TBM):  
TOP OF CURB INLET HOOD/TOP OF CURB OF CURB INLET ON EAST SIDE OF NORRIS LAKE ROAD ACROSS FROM DRIVEWAY INTO NEW PARKING LOT. USED ELEVATION FROM SCHOOL GRADING PLAN = 360.70



DESIGN ENGINEER  
EXP: 12/31/2025

PLAN DATE: 6/5/25

TOWN OF FUQUAY-VARINA  
WILLOW LAKES PARKING LOT PROJECT  
**GRADING & DRAINAGE PLAN**

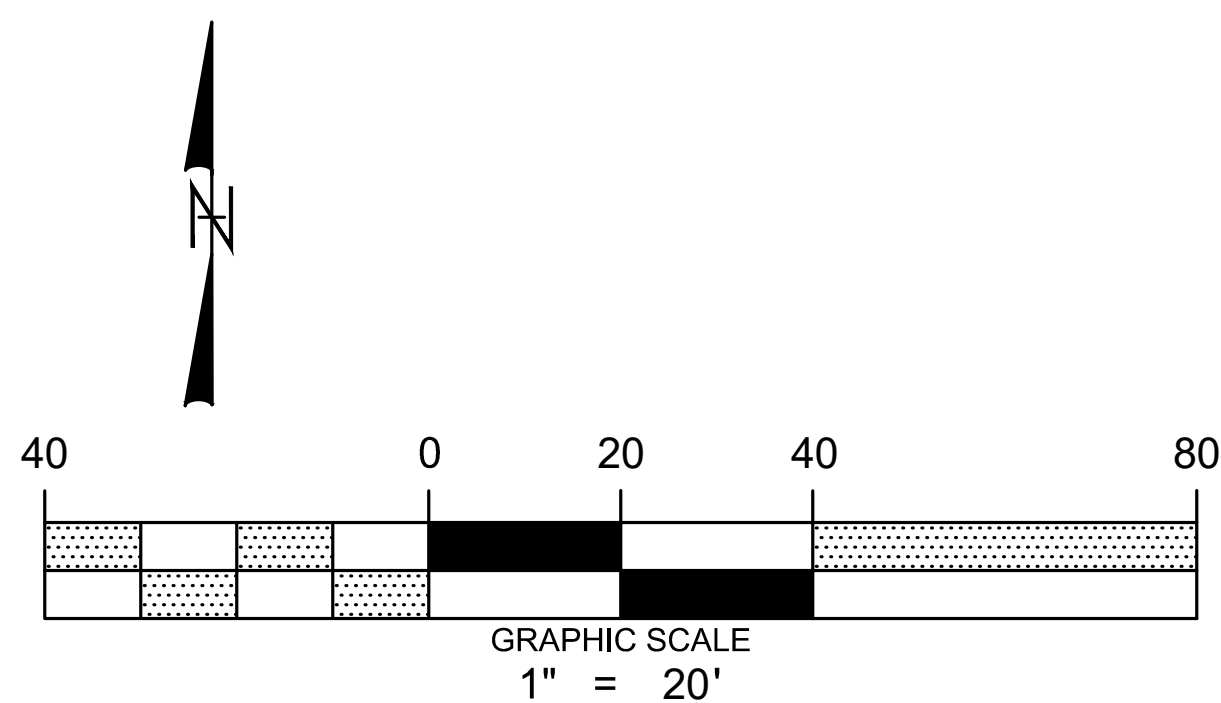
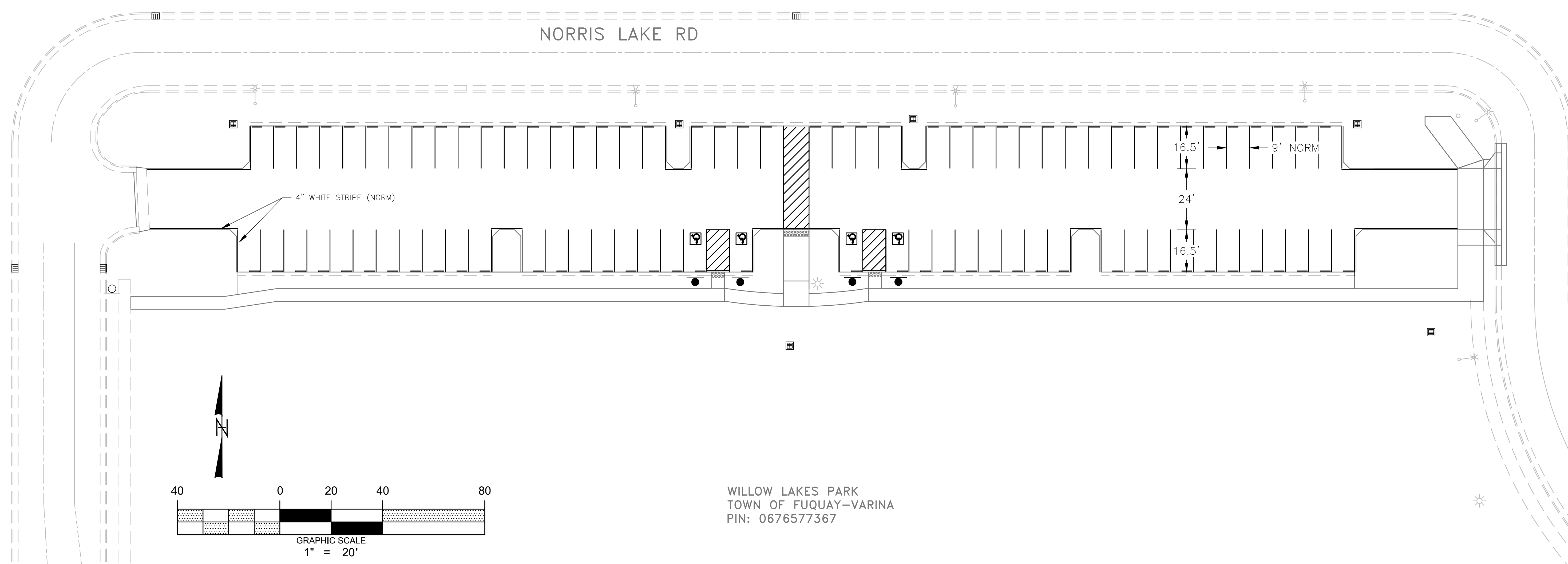
JUNE 2025

SHT C2 3 OF 5

PARTIN PLACE  
SUBDIVISION HOA  
PIN: 0676573902

PARTIN PLACE  
SUBDIVISION HOA  
PIN: 0676579765

NORRIS LAKE RD



WILLOW LAKES PARK  
TOWN OF FUQUAY-VARINA  
PIN: 0676577367

SIGNING & STRIPING & WHEEL STOP NOTES:

1. PLACE 4" WHITE LINES ALONG EDGES OF PAVEMENT NEXT TO DRIVE AISLES AND ON EACH SIDE OF LANDSCAPE PLANTERS.
2. PLACE ONE 4' LONG WHEEL STOP FOR EACH PARKING BAY. INSTALL WHEEL STOPS WITH EDGE 3" FROM EDGE OF PAVEMENT AT NOSE OF BAY AND END OF WHEEL STOP 4"-6" FROM DRIVER'S SIDE EDGE STRIPE.
3. INSTALL WHEEL STOPS USING MANUFACTURER RECOMMENDED ANCHOR ATTACHMENT METHODS. ANCHORS SHOULD EXTEND NOT LESS THAN 4" INTO PAVEMENT.

GENERAL PAVEMENT MARKING NOTES:

1. PAVEMENT MARKING MATERIALS AND PLACEMENT METHODS SHALL CONFORM TO NCDOT STANDARDS.
2. ALL PAVEMENT MARKINGS SHALL BE MADE WITH THERMOPLASTIC.
3. FIELD LAYOUT OF ALL PAVEMENT MARKINGS TO BE CONFIRMED BY TOWN ENGINEER PRIOR TO PLACEMENT.
4. HANDICAP ACCESS PARKING STALLS SHALL BE MARKED IN CONFORMANCE WITH A.D.A. REQUIREMENTS USING BOTH PAVEMENT MARKINGS AND R7-8 (12"x18") SIGNS ON METAL POSTS.
5. EXISTING ROADWAY STRIPING ON NORRIS LAKE RD SHOWN FOR CONTEXT ONLY. NO STRIPING REQUIRED BEYOND NEW PARKING LOT.

PARKING BAY COUNT:

REGULAR PARKING BAYS	80
ACCESSIBLE PARKING BAYS	4
TOTAL ON-SITE PARKING BAYS	84

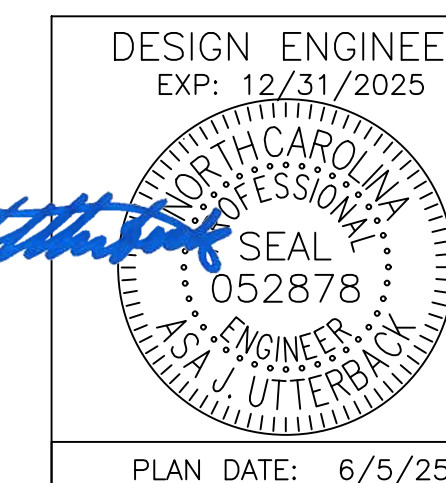
TOWN OF FUQUAY-VARINA  
WILLOW LAKES PARKING LOT PROJECT

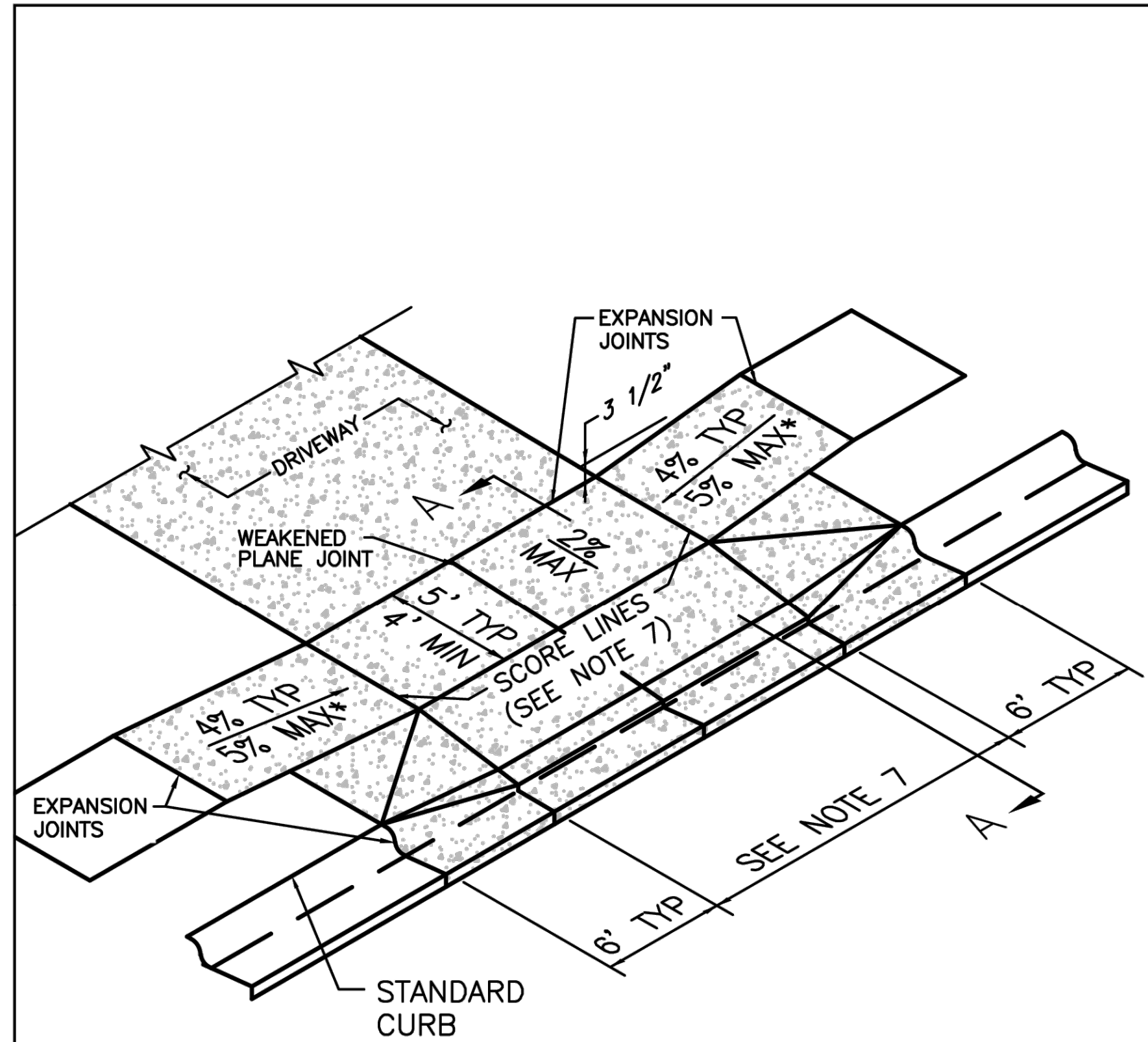
SIGNING & STRIPING PLAN

JUNE 2025

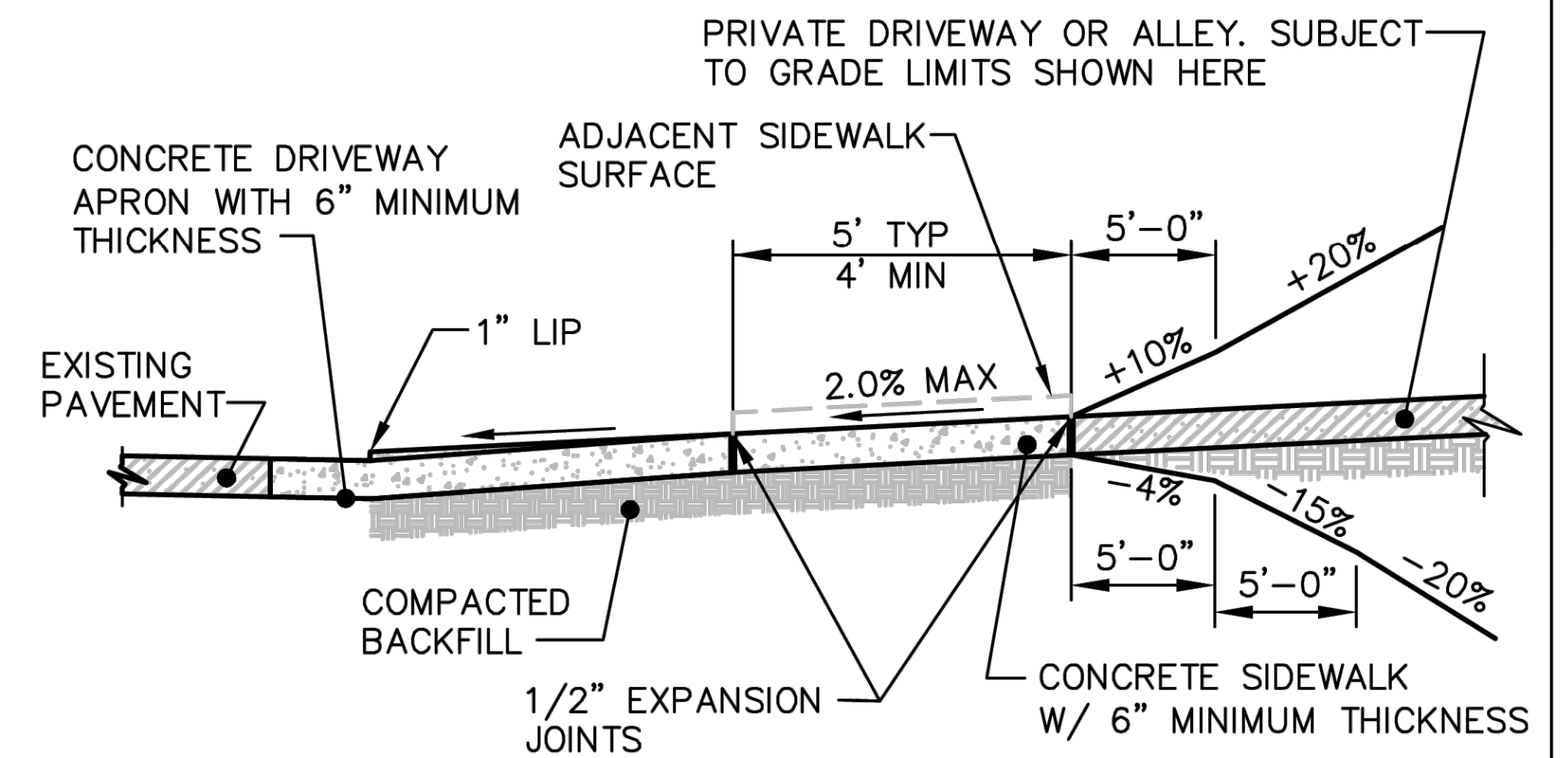
SHT PMP1 4 OF 5

*Asa J. Utterback*





PERSPECTIVE  
NOT TO SCALE



SECTION A-A  
NOT TO SCALE

NOTES:

1. CURB SHALL BE TAPERED TO FINISH FLUSH WITH SIDEWALK.
2. IF CURB CUT IS WITHIN 5' FROM A CURB JOINT, THEN THE CUT SHALL BE MADE AT THE JOINT.
3. BEGINNING RADIUS SHALL NOT ENCROACH ON ADJACENT PROPERTIES BASED ON A PROJECTION OF THE PROPERTY LINE FROM THE RIGHT OF WAY TO THE CURB LINE.
4. SIDEWALK SECTION SHALL NOT BE REQUIRED ALONG STREETS WHICH ARE NOT PLANNED FOR SIDEWALK.
5. THE TOWN IS NOT RESPONSIBLE FOR VEHICLES THAT DRAG DUE TO GRADE OF DRIVEWAY. THE DRIVEWAY IS PRIVATELY MAINTAINED.
6. EXPANSION JOINTS TO BE FILLED WITH JOINT SEALER.
7. RESIDENTIAL DRIVEWAYS TO BE 12 FEET TO 18 FEET IN WIDTH. RESIDENTIAL DRIVEWAY WIDTHS FOR EXISTING HOMES ON ROADS WITH POSTED SPEEDS GREATER THAN 35 MPH MAY BE INCREASED TO 24'. FOR ALLEYS, DRIVEWAY THROAT WIDTH WILL BE 36 FEET.
8. COMMERCIAL AND INDUSTRIAL DRIVEWAYS TO BE A MAXIMUM OF 36 FEET WIDE.
9. ALL CONCRETE SHALL BE 3000 P.S.I.
10. EXTEND SIDEWALK SLOPE TRANSITION LENGTH UP TO 15 FEET AS NEEDED TO KEEP RUNNING SLOPE LESS THAN 5%.

EFFECTIVE: JULY 24, 2023

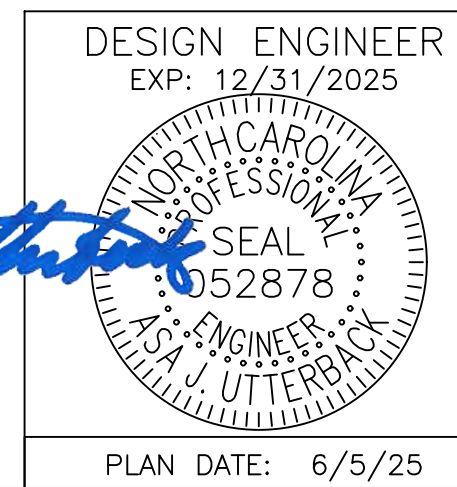


TOWN OF FUQUAY-VARINA  
STANDARD DETAILS

**FLATTENED DRIVEWAY APRON  
COMBINATION CURB AND GUTTER**

DETAIL No.  
080.05.01  
SHEET 01 of 01

*Asa J. Utterback*



TOWN OF FUQUAY-VARINA  
WILLOW LAKES PARKING LOT PROJECT

DETAILS

JUNE 2025

SHT D1 5 OF 5

PLAN DATE: 6/5/25