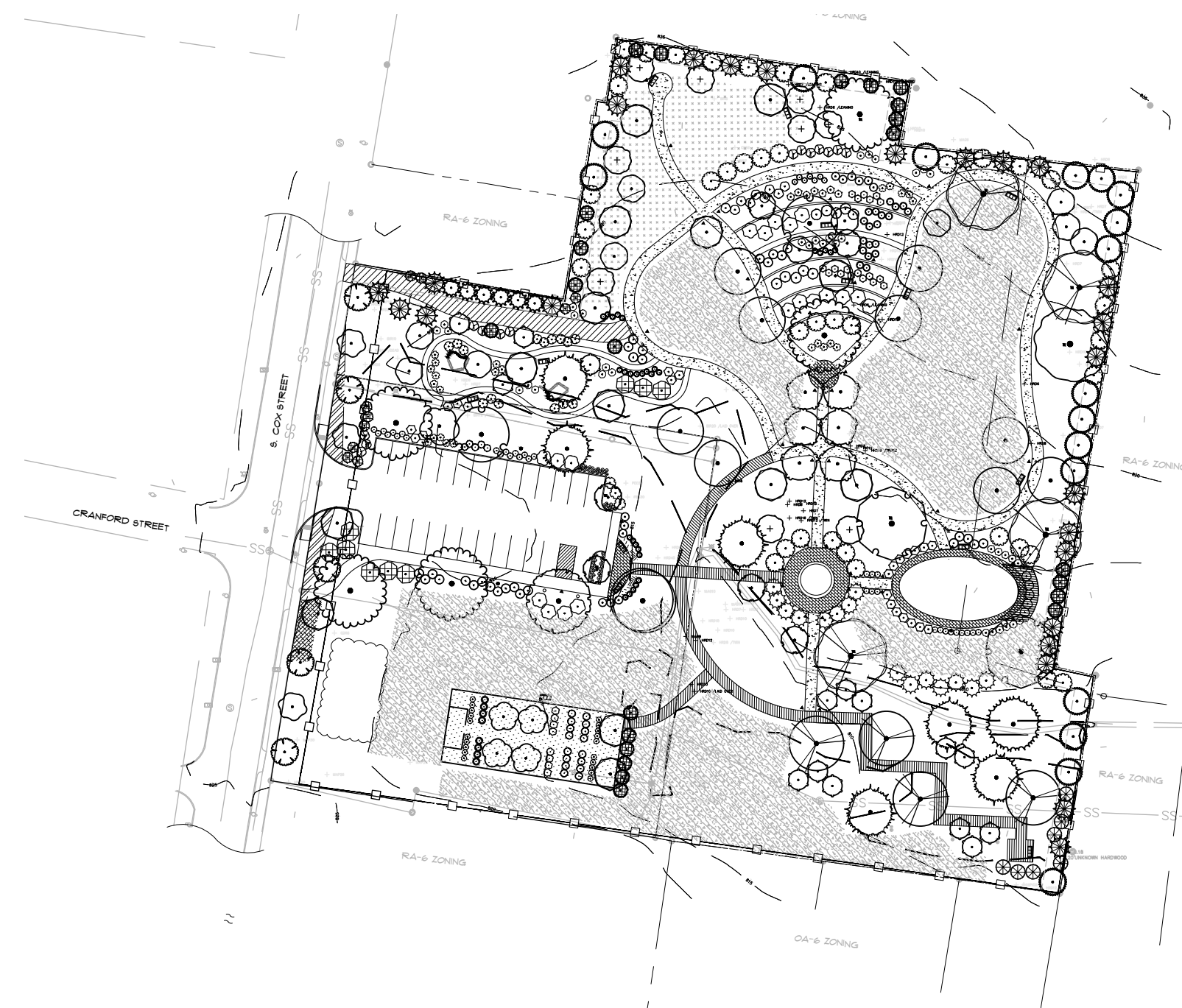


PLANS AND PERMITS

- **David and Pauline Jarrell Center City Gardens 100% CD and Phasing (August 30, 2024)**
- **City of Asheboro Zoning Compliance Permit**
- **Certificate of Plan Approval (Erosion and Sedimentation Control Plan)**
- **NCDOT Commercial Driveway Permit Application**
- **USACE Delineation Concurrence (SAW-2023-01977)**
- **Potential Aquatic Resources Map**

DAVID AND PAULINE JARRELL CENTER CITY GARDEN 205 S. COX STREET, ASHEBORO, NC AUGUST 30, 2024 100% CD AND PHASING



APPROVED

By Asheboro
Planning &
Zoning
Department
12-8-25

SITE PLAN NOTES

- ALL CONSTRUCTION IN RIGHT-OF-WAY PER NCDOT STANDARD.
- ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
- THROUGHOUT PROJECT SITE, ALL DIMENSIONS TO BE FIELD VERIFIED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, EDGE OF WALL, AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY THE CONTRACTOR, THE CONTRACTOR'S EMPLOYEES OR THE CONTRACTOR'S SUBCONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER.
- LANDSCAPE ARCHITECT AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON FIELD DATA AND SURVEY PROVIDED TO LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD ANY FIELD CHANGES, ALONG WITH ANY PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE END OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED, AND ANY AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET UNDER CONTRACT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS. FUTURE BUILDING SHOWN IS ILLUSTRATIVE ONLY.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF ALL UNDERGROUND UTILITIES FOR THIS PROJECT WITH THE OWNER'S REPRESENTATIVE PER ALL APPLICABLE REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTOR'S ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY WAKE COUNTY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- TRAFFIC CONTROLS FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED IN COMPLIANCE WITH STANDARDS OF THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- CONTRACTOR TO COORDINATE WITH CITY AND NCDOT ON ANY GRADING, CLEARING OR GRUBBING IN THE RIGHT-OF-WAY.
- CONTRACTOR TO COORDINATE WITH OWNER AND POWER COMPANY ON EXISTING LIGHT POLE AND OVERHEAD LINES.

SHEET INDEX

NO.	DESCRIPTION
COV	COVER SHEET
L100	EXISTING CONDITIONS & DEMOLITION PLAN
L200	SITE PLAN
L300	GRADING & EROSION CONTROL PLAN (TO BE FINALIZED)
L301	EROSION CONTROL DETAILS (TO BE FINALIZED)
L302	EROSION CONTROL DETAILS (TO BE FINALIZED)
L303	EROSION CONTROL DETAILS (TO BE FINALIZED)
L400	PLANTING PLAN
L401	PHASING PLAN
L500	PLANTING DETAILS
L501	SITE DETAILS
L502	SITE DETAILS
L503	SITE DETAILS

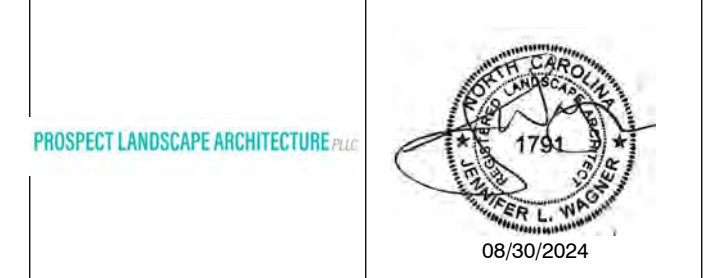
SITE DATA SUMMARY

PROJECT NAME	David & Pauline Jarrell Center City Garden
EXISTING STREET ADDRESS	205 S. Cox Street, Asheboro, NC 27203
EXISTING LOT AREA	MULTIPLE LOTS* = 3.6 ACRES TOTAL
EXISTING USE	SINGLE FAMILY RESIDENTIAL & VACANT
AREA OF PUBLIC RIGHT-OF-WAY DEDICATION	0 SF
CURRENT ZONING	RA-6 AND OA-6
OVERLAY DISTRICT(S)	CENTER CITY OVERLAY - TIER 2
PARCEL NUMBER	7751829013, 7751920109, 7751921296, 7751920235
DEED BOOK / DEED PAGE	2629/582, 2674/1733, 2674/1736
EXISTING GROSS BUILDING AREA	2,261 SF
EXISTING BUILDING USE	SF RESIDENTIAL/VACANT
PROPOSED GROSS BUILDING AREA	TBD
PROPOSED LAND USE	PUBLIC USE FACILITY
EXISTING IMPERVIOUS AREA (PRE-DEVELOPMENT)	3,005 SF (2% OF TOTAL PARCELS)
TOTAL IMPERVIOUS AREA (POST-DEVELOPMENT)	APPROX. 28,000 SF (18%)
NET CHANGE IN IMPERVIOUS AREA (PROPOSED)	24,995 SF (16%)
IMPERVIOUS ALLOWED	70% (CENTER CITY OVERLAY DISTRICT)
LAND DISTURBANCE	.72 ACRES (31,460 SF) - PHASE ONE - SEE SHEET L300

*MULTIPLE PARCELS: .534 ACRES + .49 ACRES + 2.54 ACRES + .04 ACRES = 3.6 ACRES TOTAL (156,816 SF)

No.	Revision/Issue	Date
6	CD'S AND PHASING-REV	08/30/2024
5	CD'S AND PHASING	04/12/2024
4	PARKING REVISION	03/29/2024
3	100% DD	10/23/2023
2	90% DD	09/12/2023
1	OWNER REVIEW	08/01/2023

Designed By:
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919-607-0025
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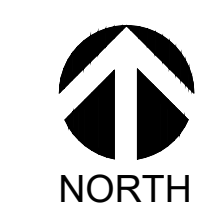
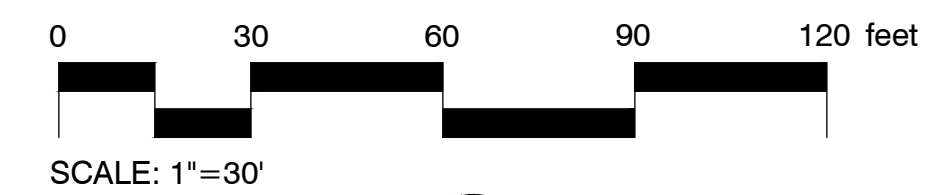


Project/Client:
CITY OF ASHEBORO
DAVID & PAULINE JARRELL CENTER CITY GARDEN
205 S. Cox Street, Asheboro, NC 27203

CENTER CITY GARDEN	COVER SHEET
2024/08/30	COV



- DEMO NOTES:**
- CONTRACTOR TO INSTALL TREE PROTECTION FENCE AS SHOWN TO PROTECT EXISTING TREES BEFORE ANY DEMOLITION OR GRADING OCCURS.
 - ALL STRUCTURES TO BE DEMOLISHED BEFORE CONSTRUCTION. CONSULT WITH CITY AND LANDSCAPE ARCHITECT TO CONFIRM DEMOLITION EXTENTS.
 - NO DISTURBANCE IN WETLANDS UNLESS APPROVED BY DEQ AND ARMY CORPS IN LIMITED AREAS.



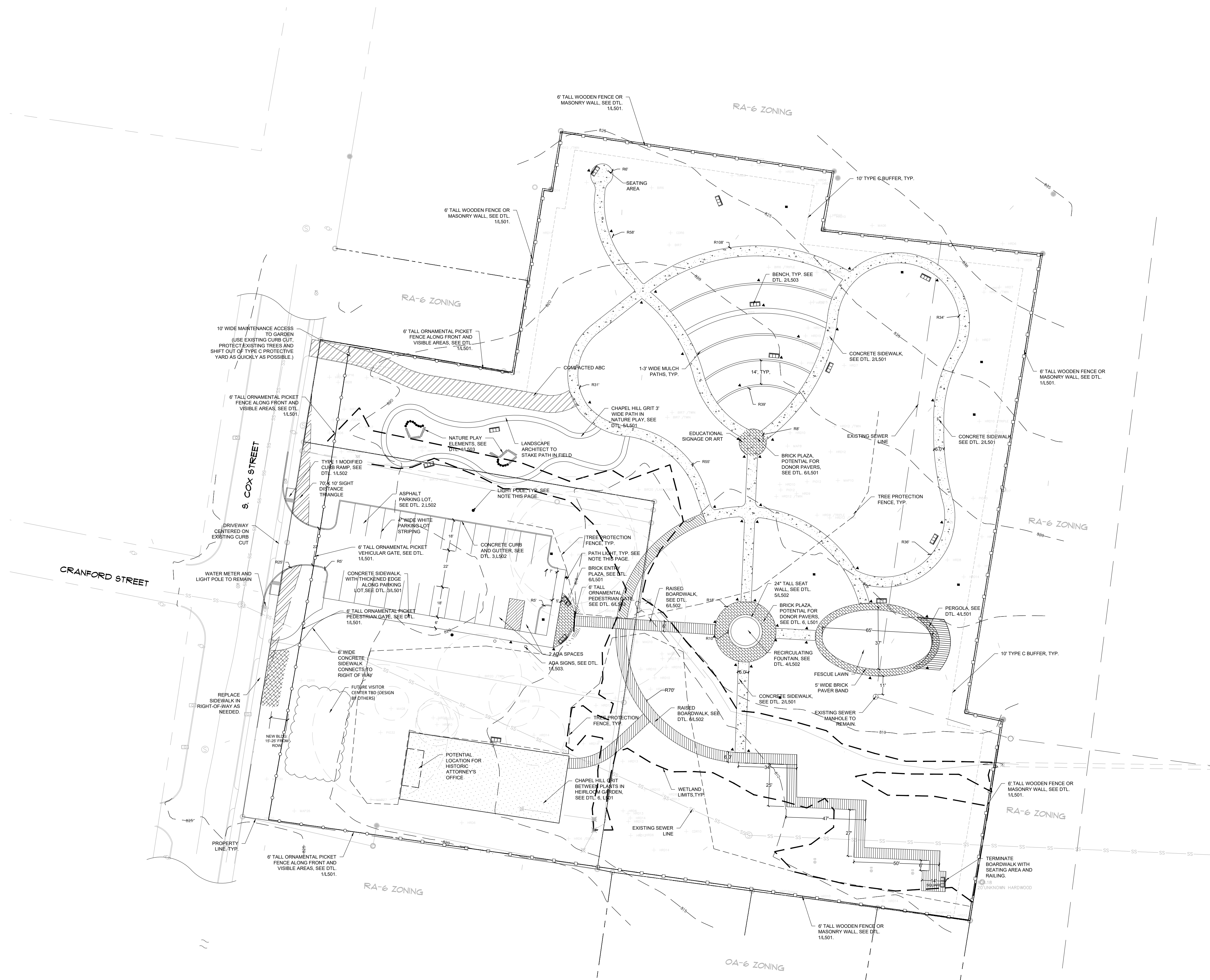
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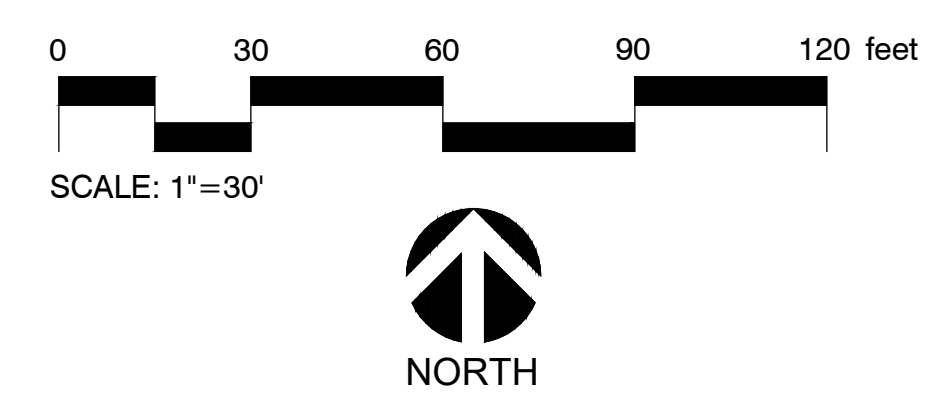


Project/Client:
CITY OF ASHEBORO
 DAVID & PAULINE JARRELL CENTER CITY GARDEN
 205 S. Cox Street, Asheboro, NC 27203

CENTER CITY GARDEN	EXISTING & DEMO PLAN
2024/08/30	L100
1:30	

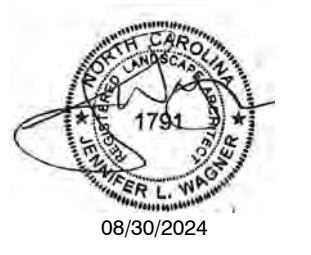


- SITE NOTES:**
- PARKING LOT LIGHTS (2) LEASED FROM DUKE ENERGY. FIXTURE: MITCHELL TOP HAT LED. POLE: DECORATIVE ALUMINUM STYLE V.
 - ▲ LOW VOLTAGE PATH LIGHTS IN PARK AS SHOWN. UNIQUE NEUTRON PATH LIGHT 18 IN. RISER ALUMINUM BRONZE FINISH 2W 2700K LED (OR SIMILAR.) FINAL LOCATIONS AND QUANTITY TBD AFTER PATH LAYOUT.
 - TREE UPLIGHTS AT TREES AS SHOWN. SEE SHEET L400 FOR TREE LOCATIONS. VISTA GR-5006 UP LIGHT ALUMINUM HOUSING ARCHITECTURAL BRONZE 4.5W 2500K 36 DEGREE LED (OR SIMILAR.) TREE UPLIGHTS MAY BE INSTALLED A FEW YEARS AFTER INSTALLATION TO ALLOW TREES TIME TO GROW. FINAL LOCATIONS AND QUANTITY TBD.
 - CONTRACTOR TO PROVIDE CONDUIT UNDER SIDEWALKS FOR IRRIGATION AND LIGHTING.



No.	Revision/Issue	Date
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Project/Client:
CITY OF ASHEBORO
 DAVID & PAULINE JARRELL CENTER CITY GARDEN
 205 S. Cox Street, Asheboro, NC 27203

CENTER CITY GARDEN	SITE PLAN
2024/08/30	L200
1:30	

EROSION CONTROL LEGEND
 NOTE: NOT ALL ITEMS ARE SHOWN ON EACH PLAN

- LIMITS OF DISTURBANCE
- - - - - TEMPORARY DIVERSION DITCH
- TREE PROTECTION FENCING
- SILT FENCE
- TEMPORARY INLET PROTECTION
- TEMPORARY SEDIMENT BASIN WITH BAFFLE AND SKIMMER
- RIP-RAP OUTLET PROTECTION
- CONSTRUCTION ENTRANCE

- GENERAL NOTES**
- REFER TO GENERAL NOTES LISTED ON SHEETS COV & L100 FOR EXISTING SURVEY DATA AND GENERAL SITE NOTES.
 - NO CHANGES MAY BE MADE TO THE APPROVED DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE ISSUING AUTHORITY.
 - ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF ASHEBORO STANDARDS AND SPECIFICATIONS, RANDOLPH COUNTY EROSION CONTROL, NCDOT AND STATE AND LOCAL GOVERNING STANDARDS AND APPLICABLE CODE REQUIREMENTS.
 - NOTIFY THE DESIGNER OF ANY DISCREPANCIES FOUND IN THE PLAN DESIGN DURING CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL CONSTRUCTION TRADES BEFORE CONSTRUCTION BEGINS.
 - ALL BUILDINGS SHALL BE TAKEN FROM ARCHITECTURAL DRAWINGS.
 - ANY AND ALL SIGNAGE SHOWN IS SCHEMATIC AND SHALL BE CONSTRUCTED PER CITY OF ASHEBORO STANDARDS AND SHALL BE APPROVED PER THE APPROPRIATE DEPARTMENT.

- SURVEY NOTES:**
- BEARINGS AND DISTANCES FOR PHASE PERIMETER ARE PROVIDED ON THE OVERALL SITE PLAN.
 - CONTOUR ELEVATIONS SHOWN FOR THIS PROPERTY ARE FIELD SURVEYED AND SHOWN AT 1' CONTOUR ELEVATION INTERVALS, TIED TO NAVG88 AND NAD83.
 - BOUNDARY INFORMATION AND BUILDING SETBACKS SHALL BE FIELD VERIFIED BY PROFESSIONAL SURVEYOR PRIOR TO CONSTRUCTION STAKING AND FOOTING CONSTRUCTION BEGINS.

- DEMOLITION NOTES:**
- SEE SHEET L100 FOR DEMOLITION DESIGN AND REQUIREMENTS.

- GRADING PLAN GENERAL NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO CITY OF ASHEBORO STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS, AND EROSION CONTROL MUST CONFORM TO NCESC PLANNING & DESIGN MANUAL AND RANDOLPH CO S&EC PLAN REVIEW MANUAL.
 - SEE COVER SHEET FOR ADDITIONAL NOTES APPLYING TO THIS PROJECT.
 - SEE SHEET L300 FOR STORM DRAINAGE SUMMARY DESIGN INFORMATION.
 - STOCKPILE LOCATIONS WILL BE AS NEEDED AND DETERMINED IN THE FIELD DUE TO SOIL TYPES AND CONDITIONS. IF REQUIRED, ADDITIONAL AREA OUTSIDE SITE DISTURBANCE AREA WILL BE SUBMITTED AND APPROVED BY RANDOLPH COUNTY AND THE APPROPRIATE DISTURBED AREA FEE PAID BY THE DEVELOPER.
 - TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY GRADING ON THE SITE.
 - ALL HANDICAPPED SPACES AND ACCESSIBLE ROUTES SHALL CONFORM TO THE N.C. BUILDING CODE, VOLUME 1-C, ACCESSIBILITY CODE.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RECORDATION OF ANY EASEMENTS PRIOR TO OBTAINING THE CERTIFICATE OF OCCUPANCY.
 - ALL GRADES SHOWN ARE FINISHED GRADES AND SHOULD INCLUDE LANDSCAPE MULCHING SURROUNDING THE CONSTRUCTION AS SHOWN ON THE LANDSCAPING PLANS. NEVER FILL MULCH ABOVE THE FFE (FINISHED FLOOR ELEVATION)
 - THE SIDEWALK SHALL MEET THE BUILDING AT FFE AT ALL ACCESS POINTS.
 - REFERENCE GENERAL NOTES ON SHEETS COV & L100.

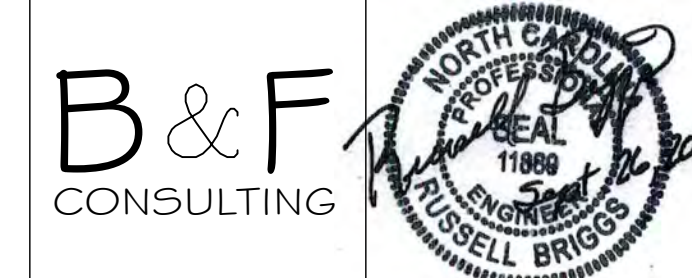
- DRAINAGE/EROSION CONTROL NOTES:**
- A PRE-CONSTRUCTION MEETING WITH THE CITY OF ASHEBORO AND RANDOLPH COUNTY ENVIRONMENTAL INSPECTOR WILL BE REQUIRED BEFORE BEGINNING ANY CONSTRUCTION.
 - INLET PROTECTION WILL BE PROVIDED AROUND EACH CATCH BASIN AND STORM INLET SHOWN ON THE CONSTRUCTION DRAWINGS.
 - ANY STORM DRAINAGE EASEMENTS LOCATED OUTSIDE THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER AND SHALL BE DESIGNATED "PRIVATE DRAINAGE EASEMENT" ON A RECORDED PLAN.
 - SEE DRAINAGE DESIGN CHART ON SHEET L300 FOR ALL STORM ELEVATIONS, PIPES AND SLOPES.
 - TEMPORARY DITCH LINING INFORMATION SHOWN ON SHEET L300 ALONG TDD LIMITS AS NEEDED.
 - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING IN ALL LOCATIONS.
 - ALL DOWNSPOUTS AND ROOF DRAINS SHALL BE RELEASED TO A BOOT AND SPLASHBLOCK AND DIRECTED AWAY FROM THE BUILDING.
 - EROSION CONTROL PLANS SHALL BE APPROVED PRIOR TO ANY GRADING ON THIS SITE.

DISTURBED AREA: 1.29 AC (56,030 SF)
 *INCLUDES ALL GRADING/EROSION CONTROL MEASURES AND 2' OUTSIDE ALL HARDSCAPE AREAS

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

No.	Revision/Issue	Date
1	OWNER REVIEW	08/01/2023

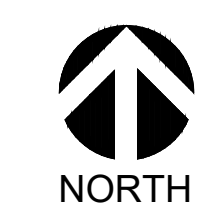
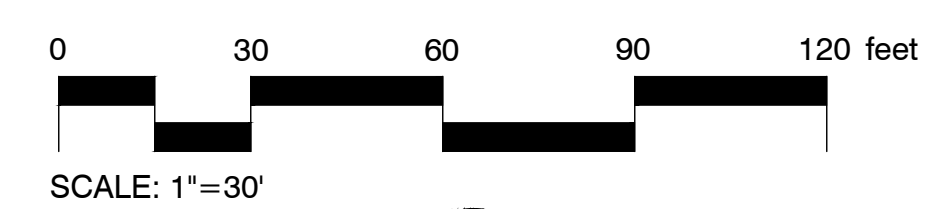
Designed By:
 B&F CONSULTING, INC.
 2805 TOBERMORY LANE
 RALEIGH, NC 27606
 919-618-0180
 RUSSELL.BRIGGS@BANDFCONSULTING.COM
 NC LICENSE C-2149



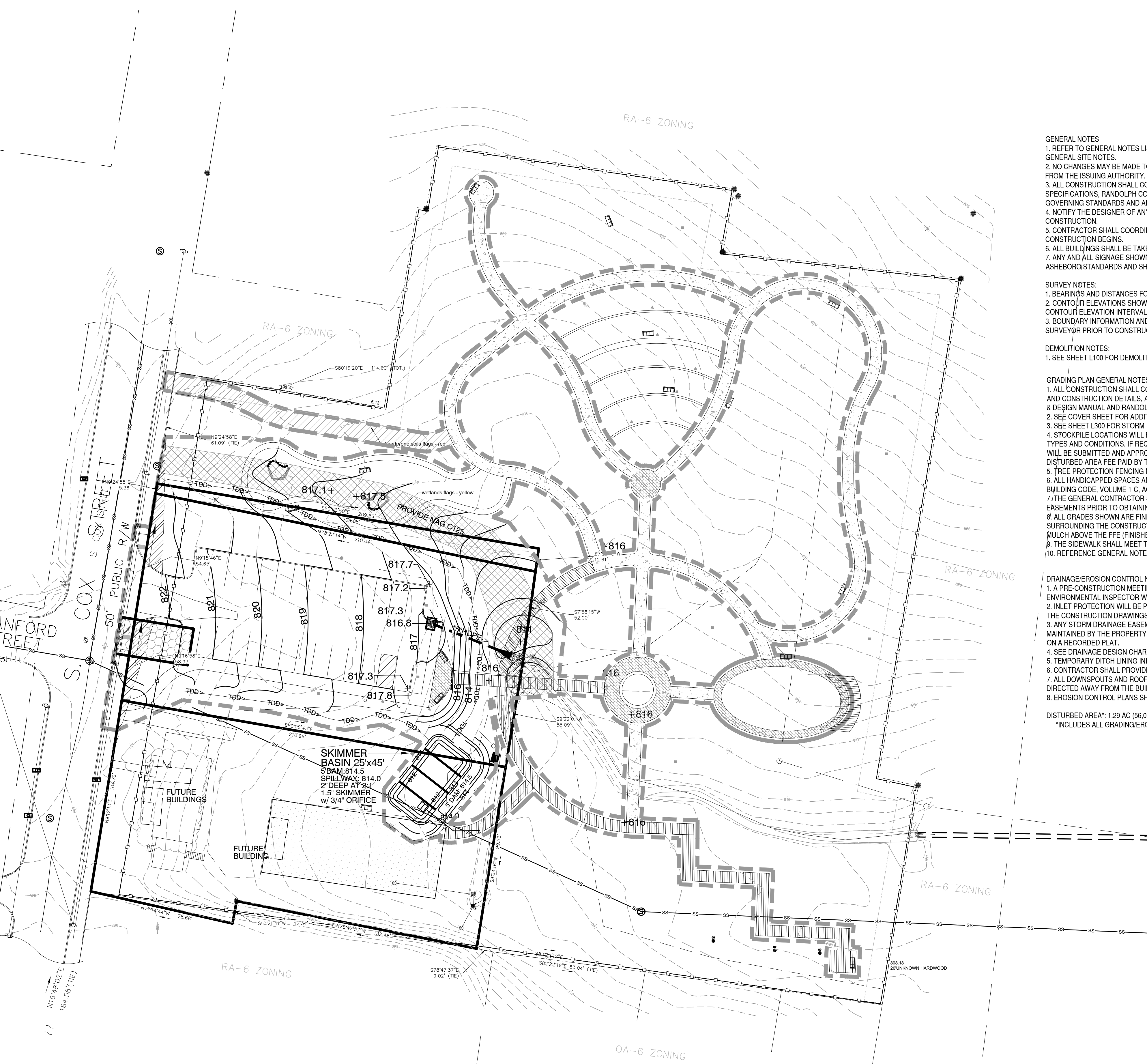
Project/Client:
 CITY OF ASHEBORO
 DAVID & PAULINE JARRELL CENTER CITY GARDEN
 205 S. Cox Street, Asheboro, NC 27203

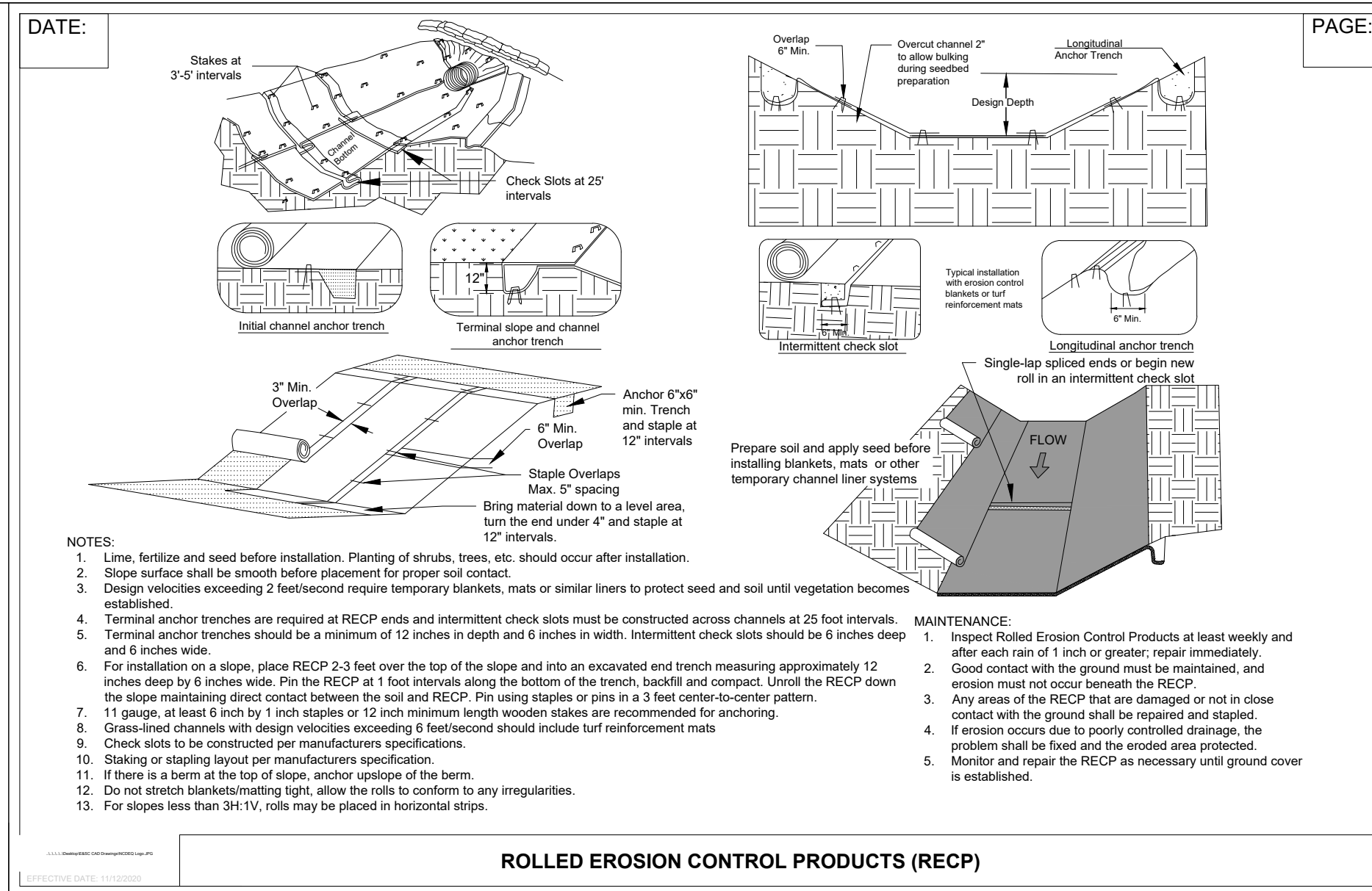
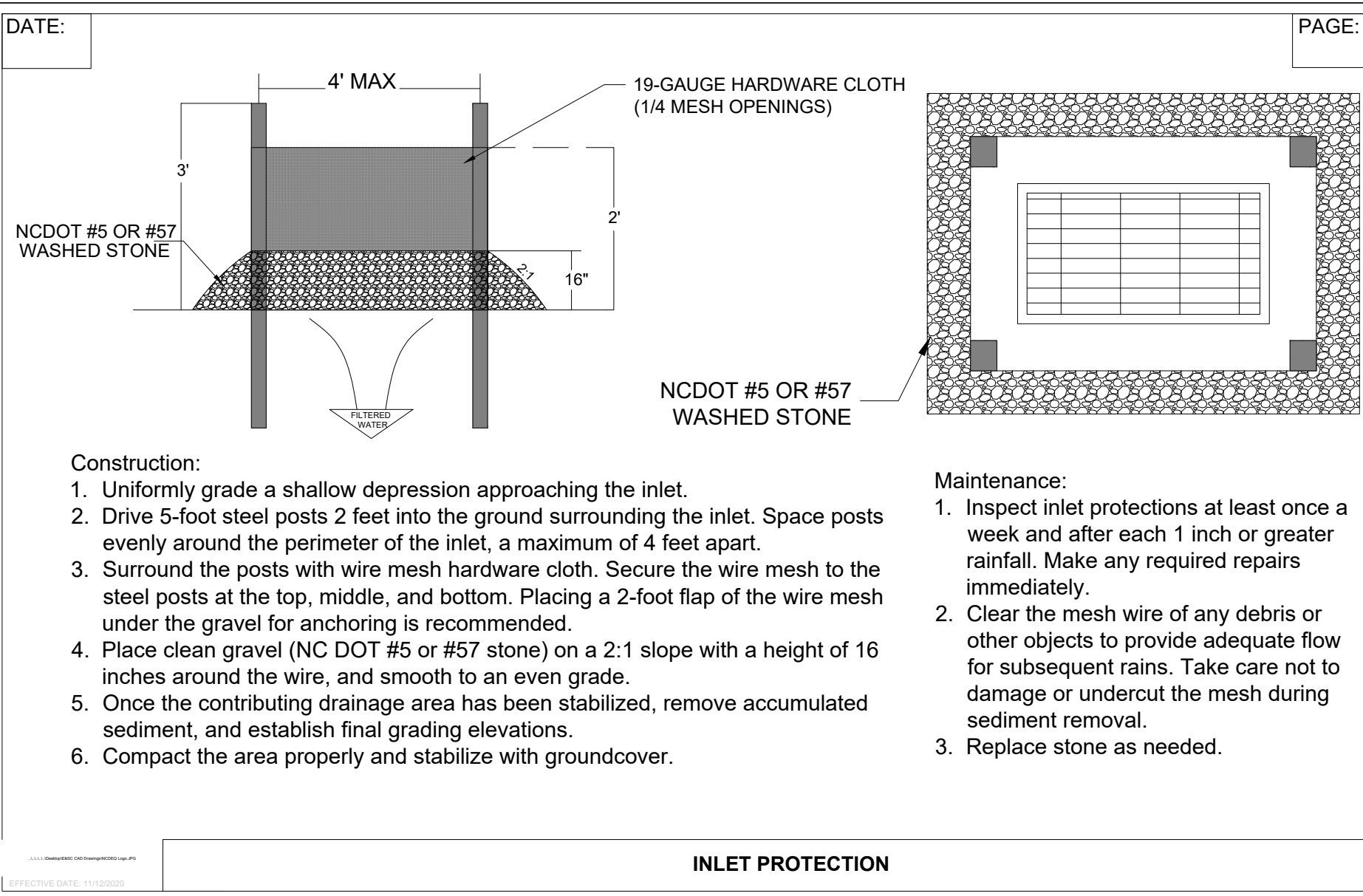
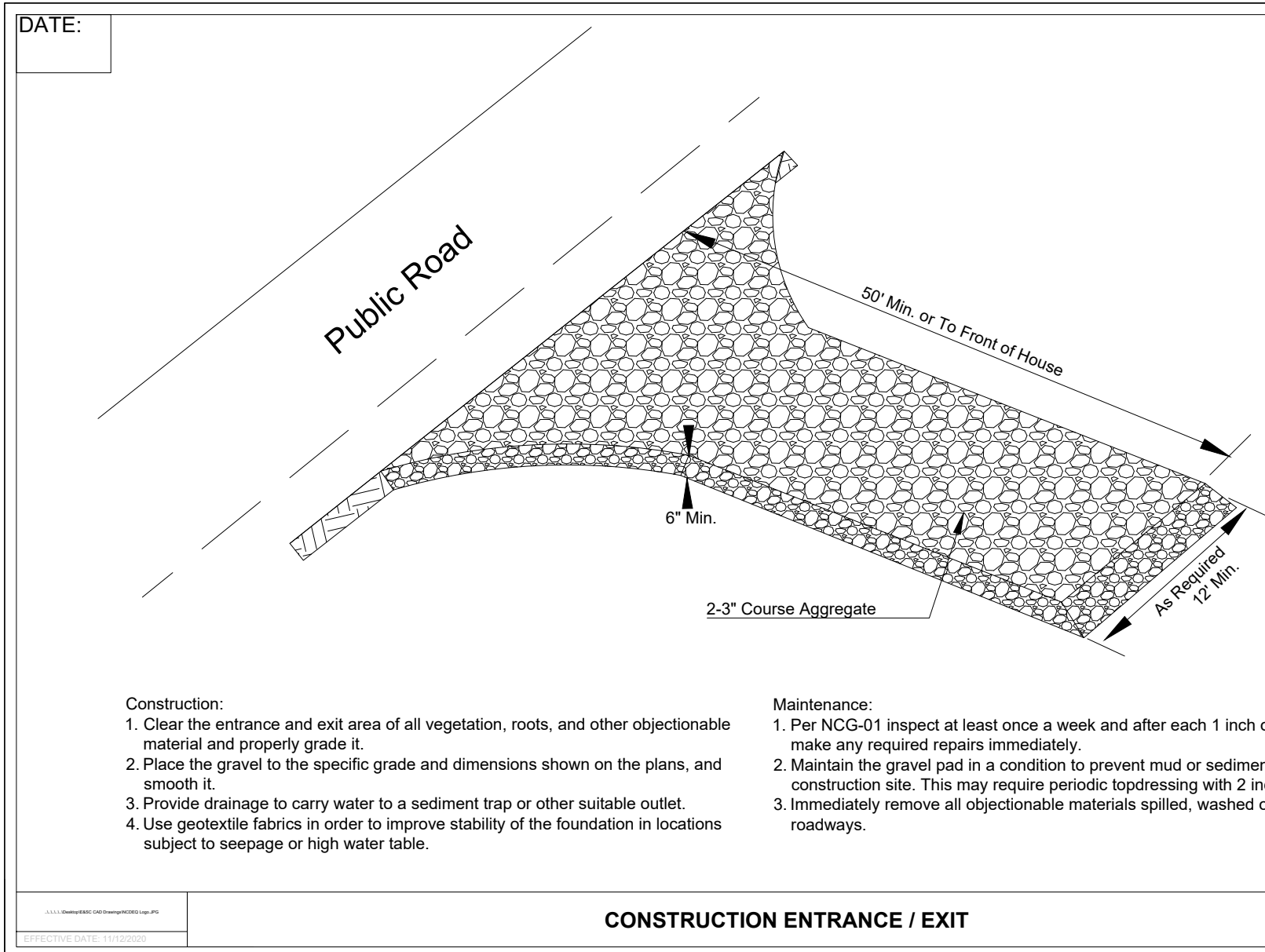
Project	CENTER CITY GARDEN	Sheet	GRADING AND EROSION PLAN
Date	2024/09/26	Scale	1"=30'
		L300	

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



Skimmer Basin 1	
0.48 Drainage Area (Acres)	
0.48 Disturbed Area (Acres)	
0.5 Rational C	
7.2 Intensity (inches per hour) (10 year storm, 5 minute duration)	
1.7 Peak Flow from 25-year Storm (cfs)	
1728 Required Volume ft ³	
562 Required Surface Area ft ²	
16.8 Suggested Width ft	
33.5 Suggested Length ft	
25 Trial Top Width at Spillway Invert ft	
45 Trial Top Length at Spillway Invert ft	
2 Trial Side Slope Ratio Z:1	
2 Trial Depth ft (2 to 3.5 feet above grade)	
17 Bottom Width ft	
37 Bottom Length ft	
629 Bottom Area ft ²	
1733 Actual Volume ft ³	Okay
1125 Actual Surface Area ft ²	Okay
5 Trial Weir Length ft	
0.5 Trial Depth of Flow ft	
5.3 Spillway Capacity cfs	Okay
1.5 Skimmer Size (inches)	Skimmer Size (inches)
0.125 Head on Skimmer (feet)	1.5
0.75 Orifice Size (1/4 inch increments)	2
3.76 Dewatering Time (days)	2.5
Suggest about 3 days	3





FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	6. Visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover), 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING
1. E&SC Plan Documentation
The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site
In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

(a) This General Permit as well as the Certificate of Coverage, after it is received.

(b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING
1. Occurrences that Must be Reported
Permittees shall report the following occurrences:

(a) Visible sediment deposition in a stream or wetland.

(b) Oil spills if:

- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).

(c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

(d) Anticipated bypasses and unanticipated bypasses.

(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per item 1(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(l)(6)]. Division staff may waive the requirement for a written report on a case-by-case basis.

PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

(a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,

(b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2(c) and (d) of this permit,

(c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,

(d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,

(e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and

(f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

CONSTRUCTION SEQUENCE

- Obtain a land-disturbing permit. Schedule a preconstruction conference as necessary with the NCDEQ-DEMLR Land Quality Erosion and Sediment Control Officer (336-776-9880) and the Town of Asheboro.
- Install the gravel construction entrance and the skimmer basin. Then, construct the temporary diversions to the skimmer basins. Clear only as necessary to install these devices. Seed any temporary diversions, berms and basins immediately after construction.
- Call for an onsite inspection by the Erosion and Sediment Control Officer with NCDEQ-DEMLR to obtain a Certificate of Compliance.
- Begin clearing and grubbing within the limits of the Temporary Diversion Ditches. Stabilize the perimeter slopes of the project within 3 days of any portion of that slope being brought up to grade.
- Install storm and protect inlets with block and gravel inlet controls, sediment traps or other approved measures. The most downstream section of storm drain will be installed only to the skimmer basin and extended only after the skimmer basin is decommissioned.
- Complete the parking area. Stabilize with vegetation and/or paving. Seed and mulch denuded areas per Ground Stabilization Time Frames.
- When the parking area construction is complete and the site is stabilized, call for an interim inspection by the NCDEQ-DEMLR Land Quality Erosion and Sediment Control Officer.
- If the site is approved as stabilized, remove the skimmer basin and extend the storm drainage pipe to the outlet point.
- Next, prepare to modify the existing channel. Ensure that no rain is forecast for a period of three days. The grading of the channel MUST be accompanied by IMMEDIATE stabilization with the Photodegradable Channel Liner (North American Green C125 or equal). To this end, NO MORE THAN 50' of channel may be graded at any one time. Then that section MUST be stabilized before the next section is graded.
- When vegetation has become established, call for a final site inspection by the NCDEQ-DEMLR Land Quality Erosion and Sediment Control Officer.

No.	Revision/Issue	Date
1	OWNER REVIEW	08/01/2023

Designed By:
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NC LICENSE C-2149

PROJECT NOTES

- ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH ALL CITY OF ASHEBORO, RANDOLPH COUNTY AND NCDEQ STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL CONTACT NC ONE CALL AT 1-800-632-4949 TO LOCATE ALL UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION.
- RANDOLPH COUNTY AND NCDEQ LAND QUALITY RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES SHOULD THE PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.

SELF INSPECTION NOTICE
NOTIFICATION OF LAND RESOURCES SEDIMENT AND EROSION CONTROL SELF-INSPECTION PROGRAM

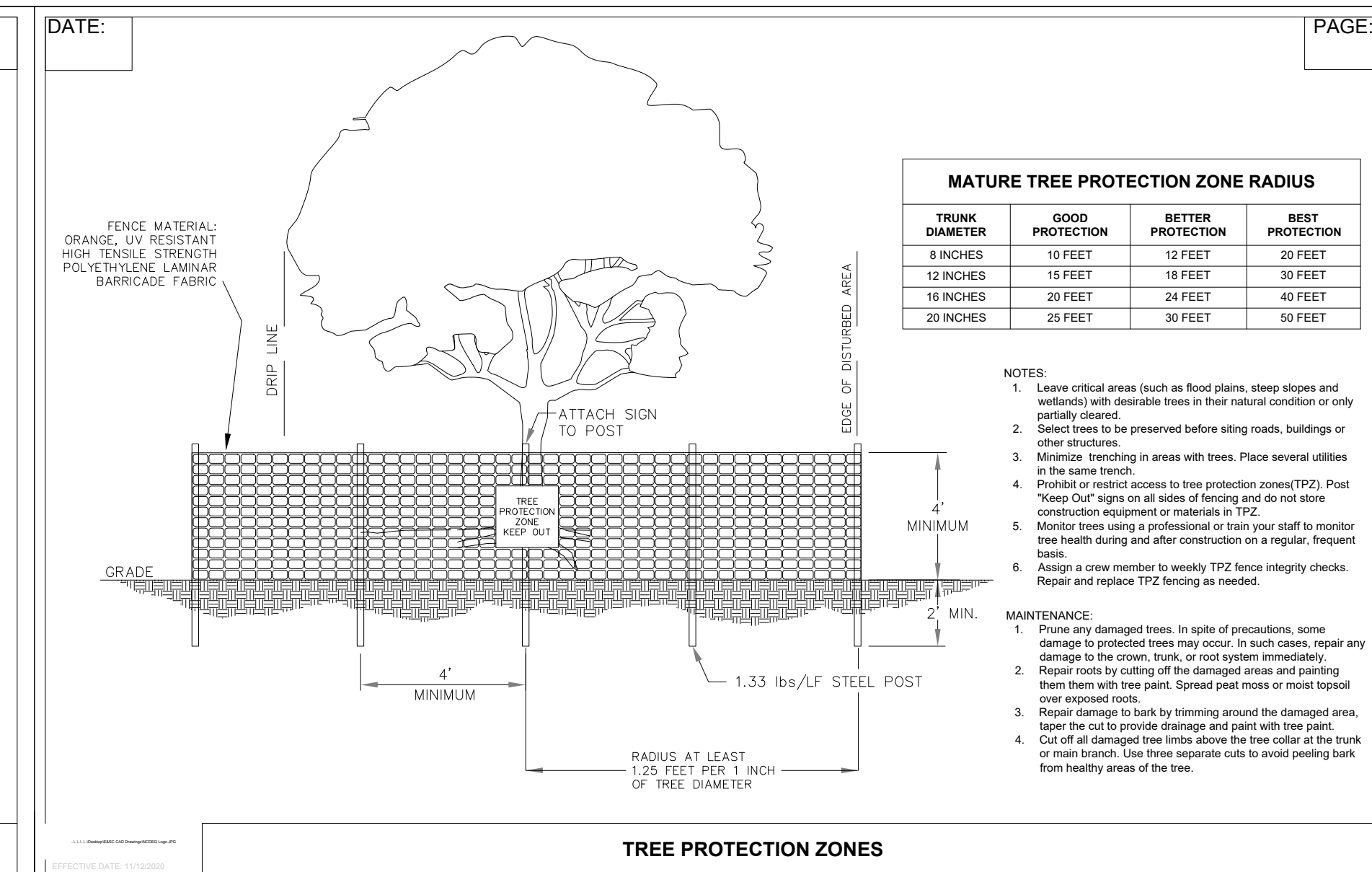
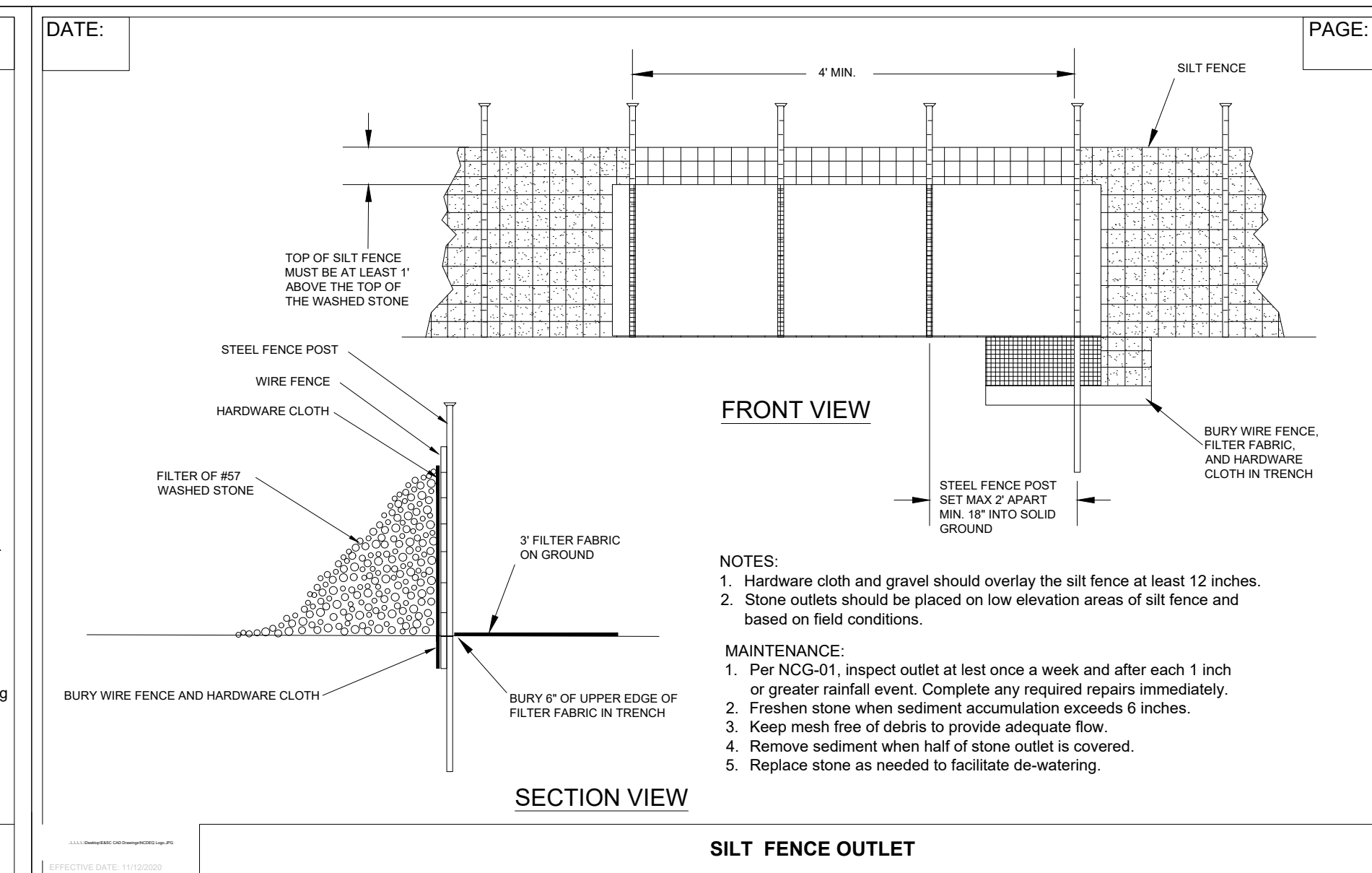
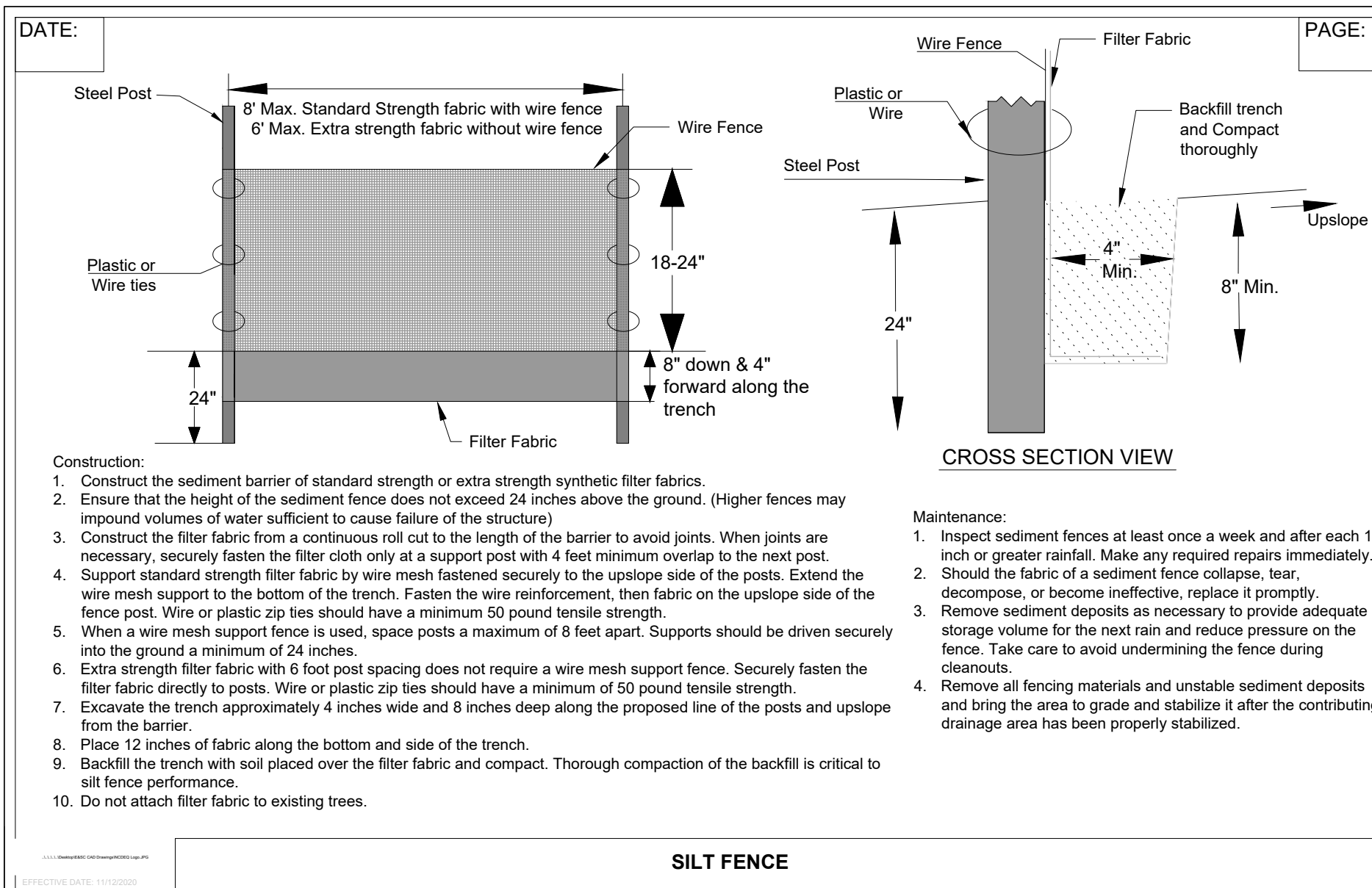
THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH STAGE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS TOOK EFFECT OCTOBER 1, 2010. THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE FOCUS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF THE EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS MUST BE CONDUCTED AFTER EACH STAGE OF THE PROJECT, AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ACCORDANCE WITH THE NCGS 113A.54.1 AND 15A NCGS 48.0131. THE SELF-INSPECTION REPORT FORM IS AVAILABLE AS AN EXCEL SPREADSHEET FROM

HTPS://DEQ.NC.GOV/ABOUT/DIVISIONS/ENERGY-MINERAL-LAND-RESOURCES/EROSION-SEDIMENT-CONTROL-FORMS

IF YOU HAVE ANY QUESTIONS OR CANNOT ACCESS THE FORM, PLEASE CONTACT THE OFFICE AT 919-791-4200

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

Sheet
EROSION CONTROL DETAILS
L301



FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Roller erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Roller erosion control products with grass seed

NOTE: IF SOD TO BE UTILIZED FOR PERMANENT SEEDING, CHATHAM COUNTY SOD SPECIFICATIONS ARE TO BE ADHERED TO. REFERENCE SECTION 6.12 OF THE CHATHAM COUNTY STANDARD SPECIFICATIONS FOR REQUIREMENTS.

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

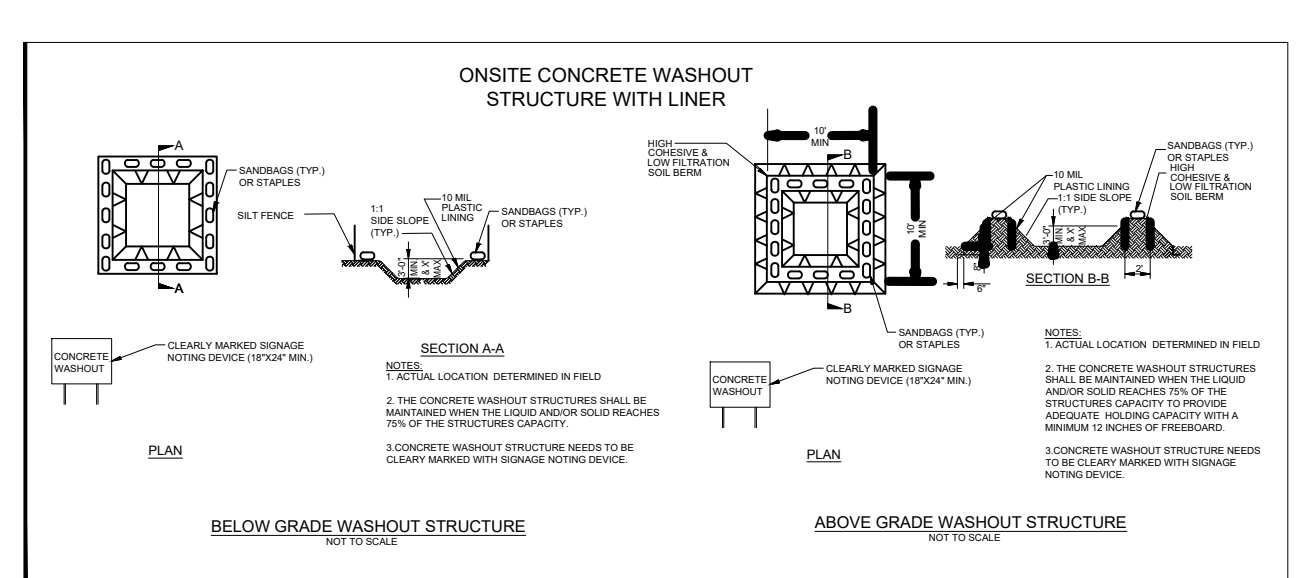
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Make washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

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IF YOU HAVE ANY QUESTIONS OR CANNOT ACCESS THE FORM, PLEASE CONTACT THE OFFICE AT 919-791-4200

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

No.	Revision/Issue	Date
1	OWNER REVIEW	08/01/2023

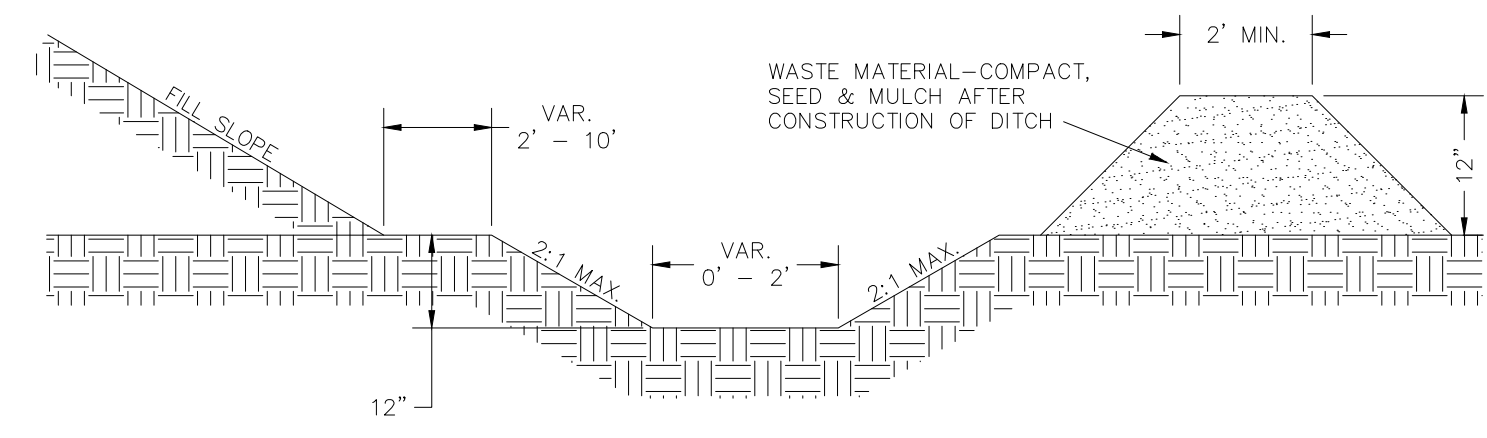
Designed By:
B&F CONSULTING, INC.
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 NC LICENSE C-2149

Project/Client:
CITY OF ASHEBORO
 DAVID & PAULINE JARRELL CENTER CITY GARDEN
 205 S. Cox Street, Asheboro, NC 27203

Project	Sheet
Center City Garden	EROSION CONTROL DETAILS
Date	L302
2024/09/26	
Scale	
N.T.S.	

NOTES:

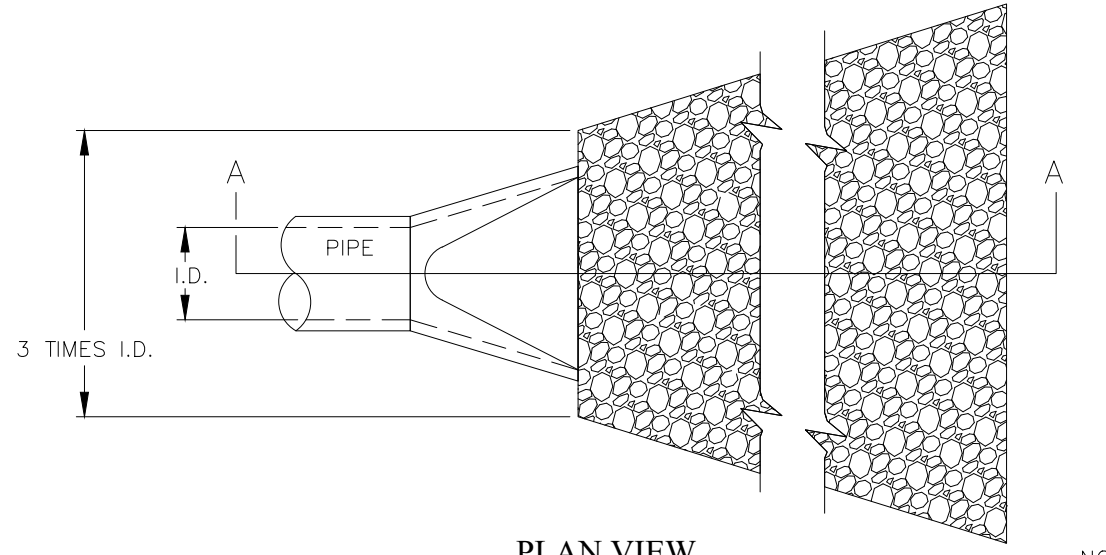
1. TEMPORARY DIVERSION DITCH TO BE USED TO INTERCEPT FLOW AND/OR DIVERT TO A SEDIMENT CONTROL MEASURE OR BMP.
2. SILT SHALL BE REMOVED WHEN DITCH IS ONE-HALF FULL.
3. DITCH SHALL BE RECONSTRUCTED WHEN DAMAGED BY EQUIPMENT OR COVERED BY FILL.
4. STABILIZE DIVERSION DITCH BERM WITH TEMPORARY SEEDING, MULCH WITH TAC, AND/OR EROSION CONTROL NETTING.



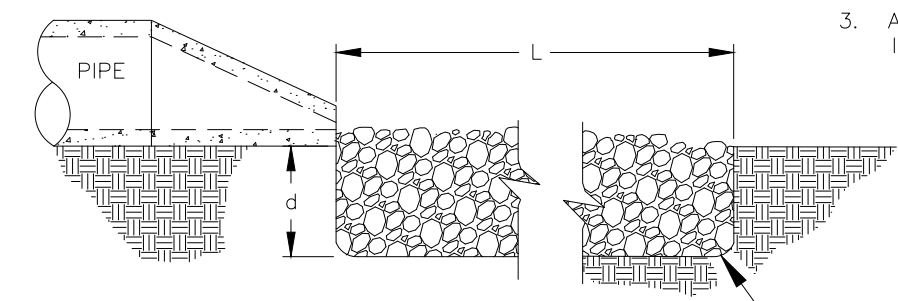
CROSS SECTIONAL VIEW

STANDARD TEMPORARY DIVERSION DITCH

EFFECTIVE: 01/31/08



PLAN VIEW



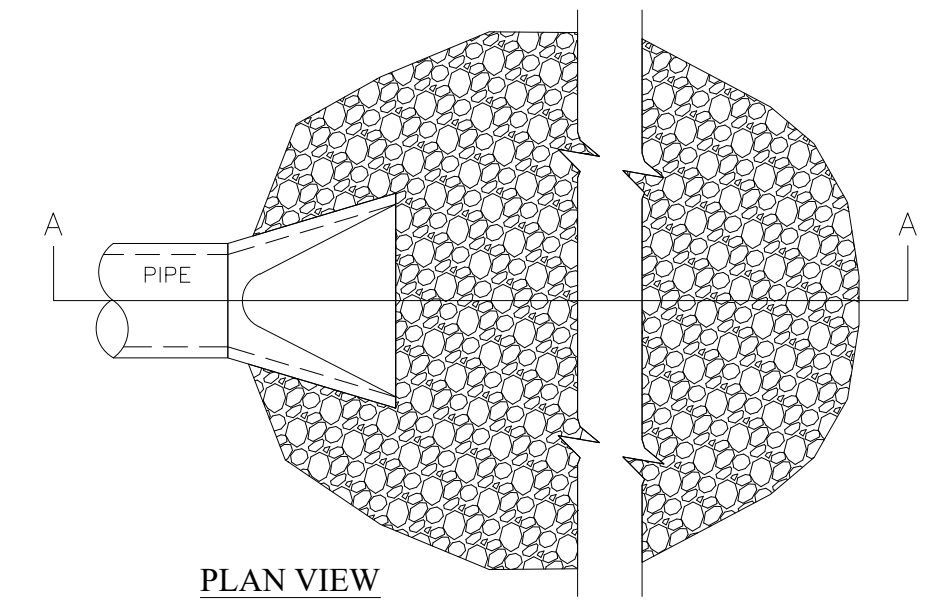
SECTION 'A-A'

NOTES:

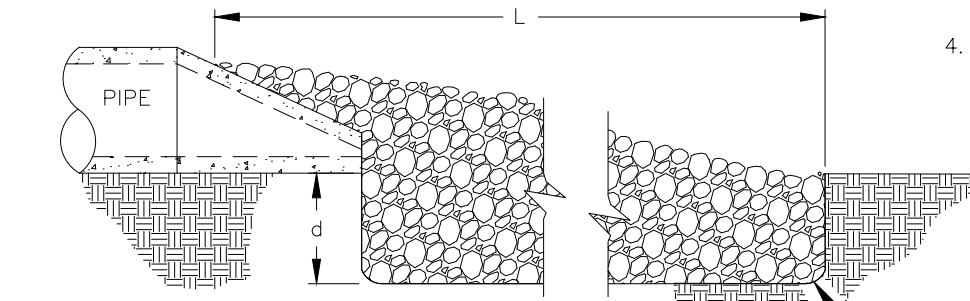
1. L = THE LENGTH OF THE RIPRAP APRON.
2. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6" (INCHES).
3. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.

STANDARD PIPE OUTLET TO FLAT AREA NO WELL-DEFINED CHANNEL

EFFECTIVE: 01/31/08



PLAN VIEW



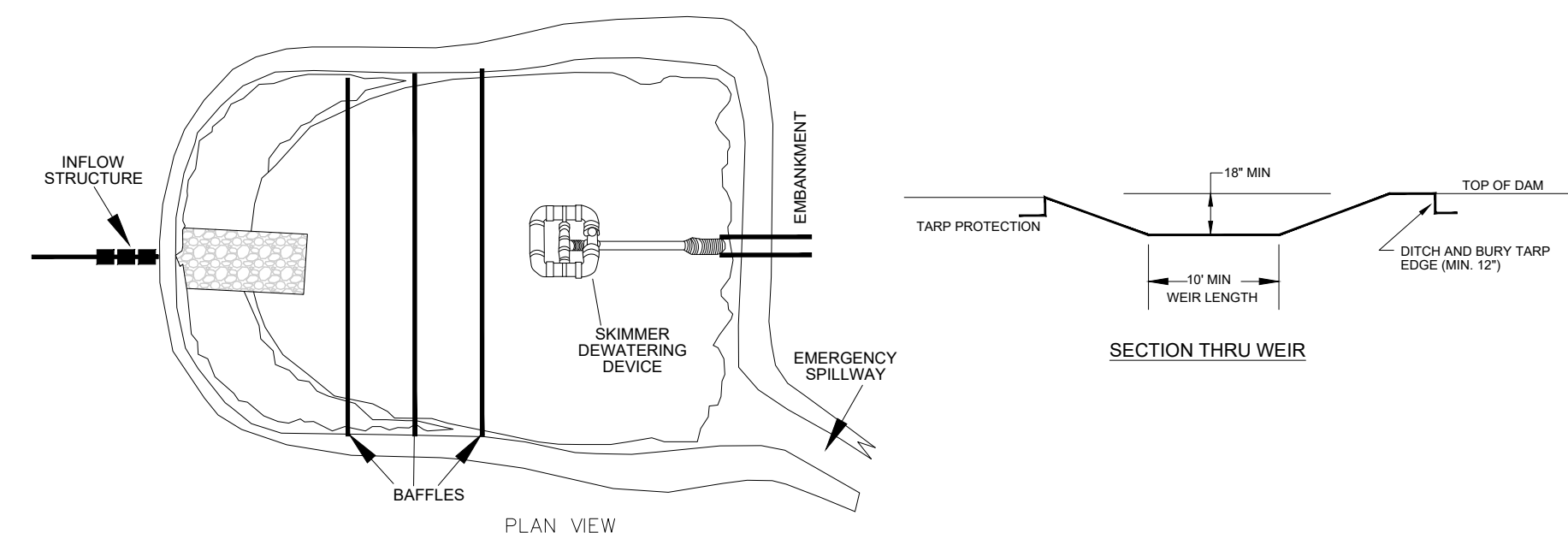
SECTION 'A-A'

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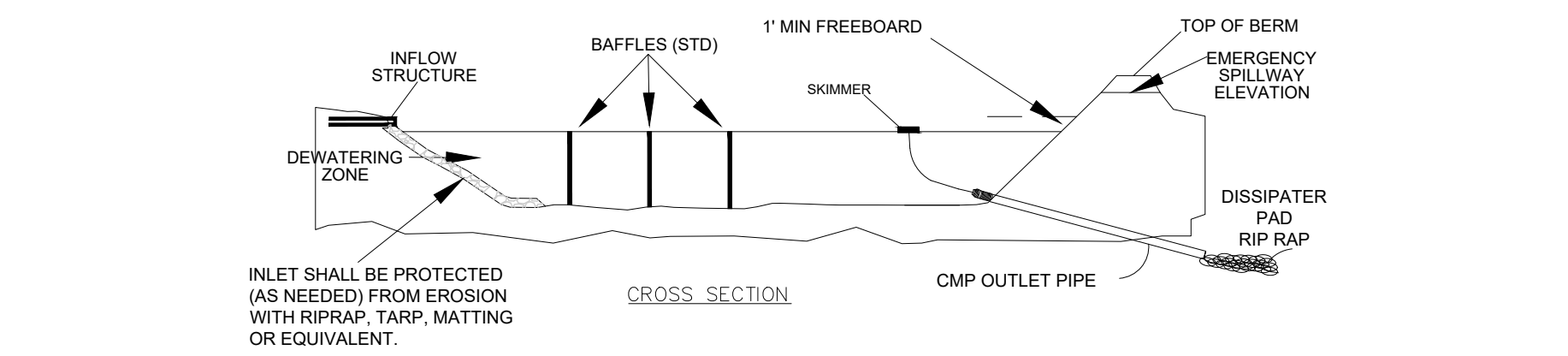
1. L = THE LENGTH OF THE RIPRAP APRON.
2. d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6" (INCHES).
3. IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" (INCHES) ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS.
4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.

STANDARD PIPE OUTLET TO WELL-DEFINED CHANNEL

EFFECTIVE: 01/31/08



PLAN VIEW



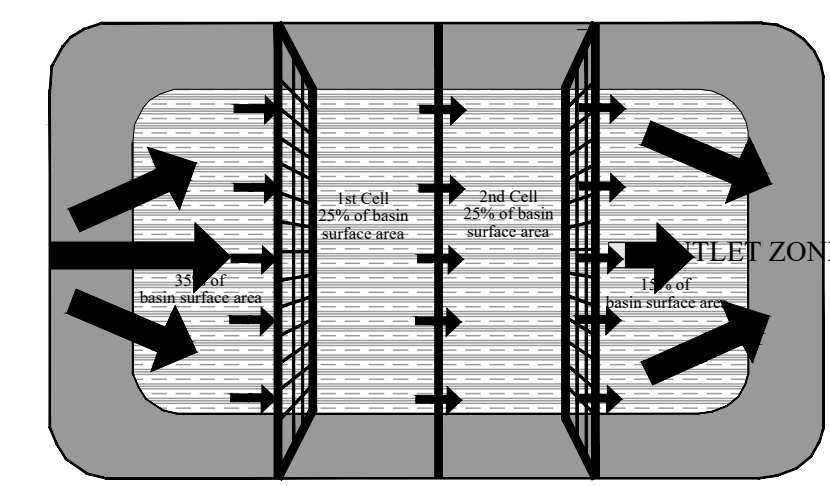
CROSS SECTION

NOTES:

1. BASIN SHOULD BE CLEANED OUT WHEN CAPACITY REACHES AN ELEVATION REPRESENTING THAT THE BASIN IS HALF-FULL.
2. THE TARP USED TO PROTECT THE WEIR SHALL BE THE WIDTH SPECIFIED. THE LENGTH OF THE TARP SHALL BE ACCORDING TO AVAILABLE SUPPLY. IF MULTIPLE TARPS ARE TO BE USED, THEN TARPS SHALL BE OVERLAPPED AT LEAST 12". THE UPSTREAM 12" TARP SHALL OVERLAP THE DOWNSTREAM TARP. THE TARP SHALL BE 50 MIL. HEAVY DUTY SILVER TARP/AULINS OR EQUIVALENT FOR UV RESISTANCE.
3. PROVIDE A MINIMUM OF THREE POROUS BAFFLES TO EVENLY DISTRIBUTE FLOW ACROSS THE BASIN, REDUCING TURBULENCE.
4. BAFFLE MATERIAL MUST BE SECURED AT THE BOTTOM AND SIDES USING STAPLES OR BY TRENCHING AS FOR A SILT FENCE.
5. MOST OF THE SEDIMENT WILL ACCUMULATE IN THE FIRST BAY, SO THIS SHOULD BE READILY AVAILABLE FOR MAINTENANCE.
6. DURING THE CONSTRUCTION PHASE OF THE PROJECT, PERMANENT STORMWATER RISER SHALL ONLY DEWATER FROM THE TOP OF PIPE.
7. POND SHALL NOT BE CONVERTED FOR STORMWATER USE UNTIL APPROVED BY ENVIRONMENTAL ENGINEER.

STANDARD SKIMMER BASIN

EFFECTIVE: 01/31/08

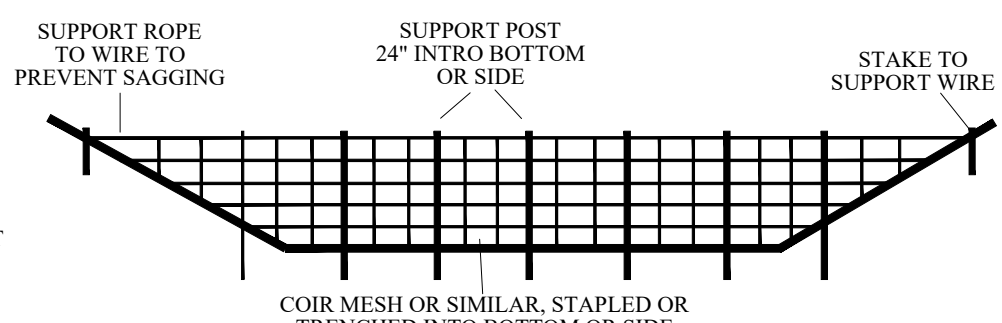


PLAN VIEW

NOTES:

1. BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM AND SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE.
2. MOST OF THE SEDIMENT WILL ACCUMULATE IN THE 1ST BAY, WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE.
3. PROVIDE 3 BAFFLES (USE TWO IF LESS THAN 20 FEET IN LENGTH). PROVIDE 5 BAFFLES FOR DRAINAGE AREAS GREATER THAN 10 ACRES.
4. BAFFLE SHALL BE 700 G/M2 COIR EROSION BLANKET.
5. TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE BERMS.
6. INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH RAINFALL.

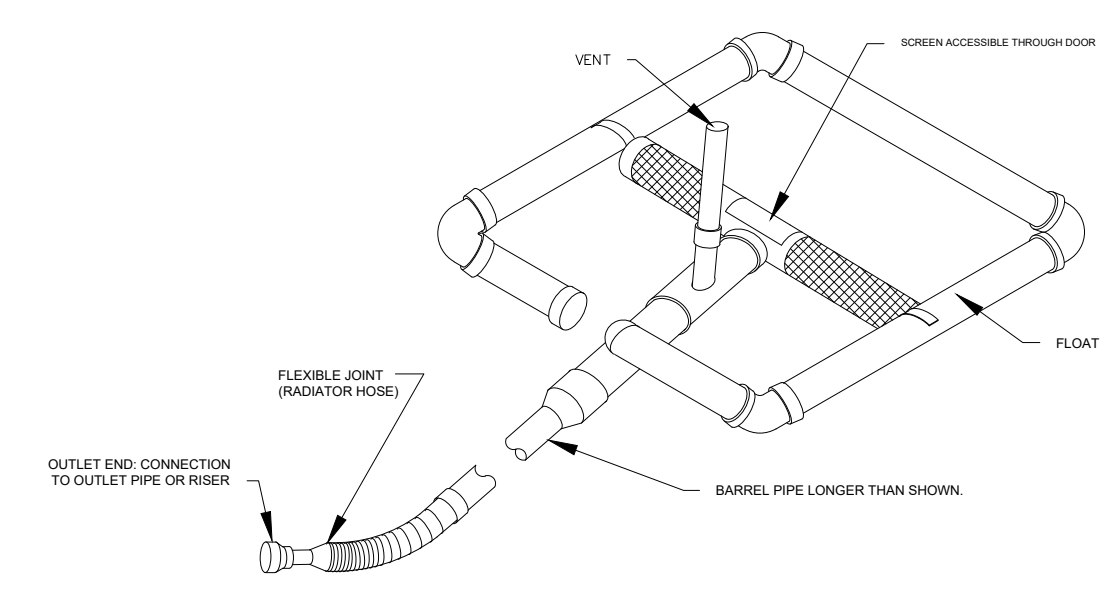
CROSS SECTION



SECTION VIEW AT OPENING

STANDARD BAFFLES DETAIL

EFFECTIVE: 01/31/08



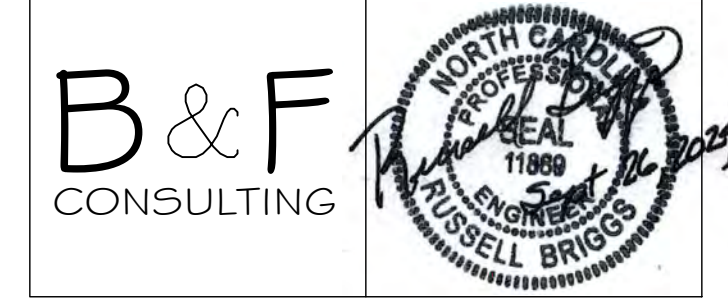
STANDARD SKIMMER DETAIL

EFFECTIVE: 01/31/08

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

No.	Revision/Issue	Date
1	OWNER REVIEW	08/01/2023

Designed By:
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NC LICENSE C-2149



Project/Client:
CITY OF ASHEBORO
DAVID & PAULINE JARRELL CENTER CITY GARDEN
205 S. Cox Street, Asheboro, NC 27203

Project CENTER CITY GARDEN	Sheet EROSION CONTROL DETAILS L303
Date 2024/09/26	
Scale N.T.S.	

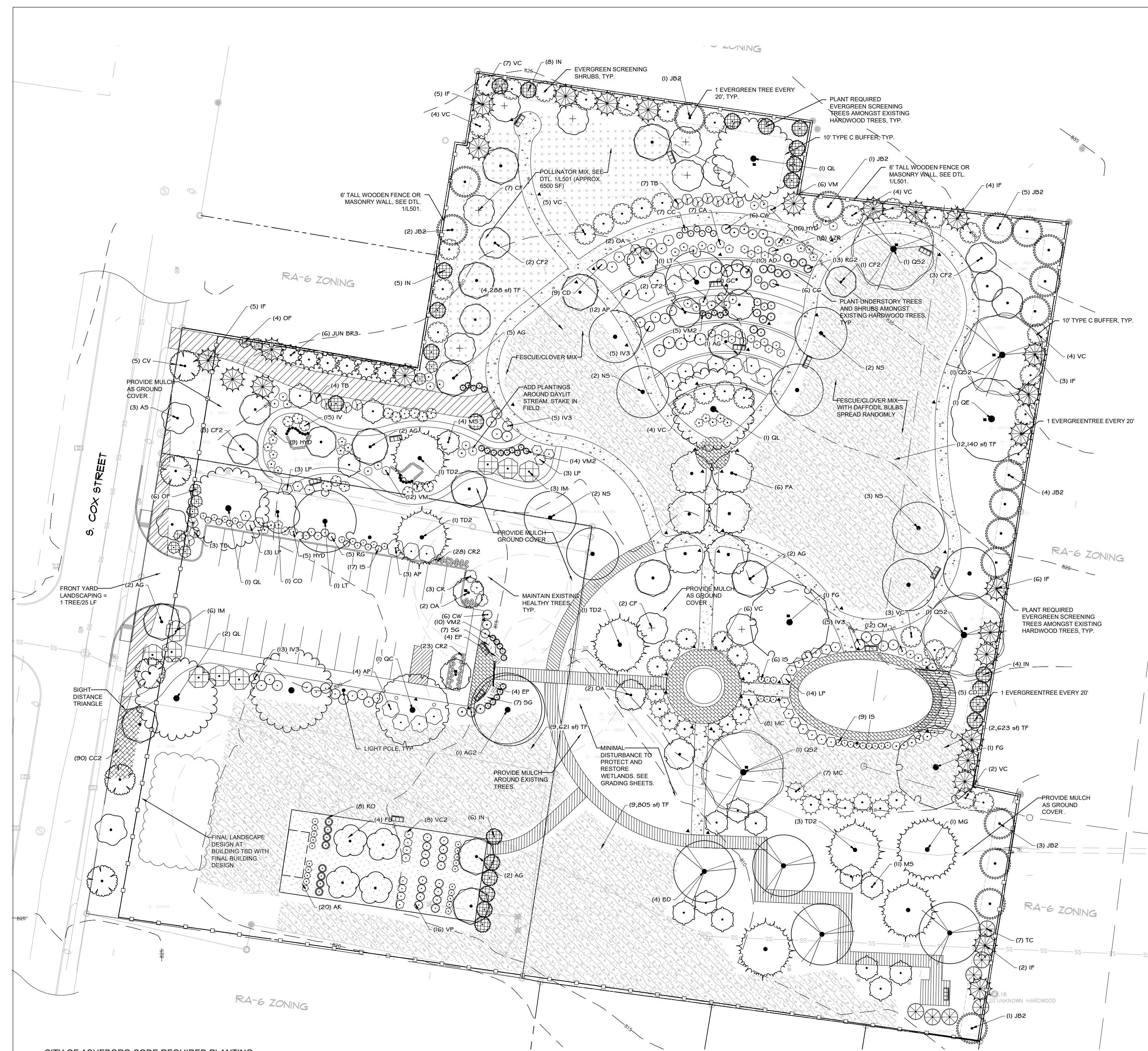
PROJECT NOTES

1. ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH ALL CITY OF ASHEBORO, RANDOLPH COUNTY AND NCDENR STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL CONTACT NC ONE CALL AT 1-800-632-4949 TO LOCATE ALL UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION.
3. RANDOLPH COUNTY AND NCDENR LAND QUALITY RESERVE THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES SHOULD THE PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.

SELF INSPECTION NOTICE

NOTIFICATION OF LAND RESOURCES SEDIMENT AND EROSION CONTROL SELF-INSPECTION PROGRAM
THE SEDIMENTATION POLLUTION CONTROL ACT WAS AMENDED IN 2006 TO REQUIRE THAT PERSONS RESPONSIBLE FOR LAND-DISTURBING ACTIVITIES INSPECT A PROJECT AFTER EACH STAGE OF THE PROJECT TO MAKE SURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS BEING FOLLOWED. RULES DETAILING THE DOCUMENTATION OF THESE INSPECTIONS TOOK EFFECT OCTOBER 1, 2010. THE SELF-INSPECTION PROGRAM IS SEPARATE FROM THE WEEKLY SELF-MONITORING PROGRAM OF THE NCDENR STORMWATER PERMIT FOR CONSTRUCTION ACTIVITIES. THE FOCUS OF THE SELF-INSPECTION REPORT IS THE INSTALLATION AND MAINTENANCE OF THE EROSION AND SEDIMENTATION CONTROL MEASURES ACCORDING TO THE APPROVED PLAN. THE INSPECTIONS MUST BE CONDUCTED AFTER EACH STAGE OF THE PROJECT, AND CONTINUED UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ACCORDANCE WITH THE NCGS 113A-54.1 AND 15A NCA 48.0131. THE SELF-INSPECTION REPORT FORM IS AVAILABLE AS AN EXCEL SPREADSHEET FROM [HTTPS://DEQ.NC.GOV/ABOUT/DIVISIONS/ENERGY-MINERAL-LAND-RESOURCES/EROSION-SEDIMENT-CONTROL-FORMS](https://deq.nc.gov/about/divisions/energy-mineral-land-resources/erosion-sediment-control/forms)
IF YOU HAVE ANY QUESTIONS OR CANNOT ACCESS THE FORM, PLEASE CONTACT THE OFFICE AT 919-791-4200

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



CITY OF ASHEBORO CODE REQUIRED PLANTING

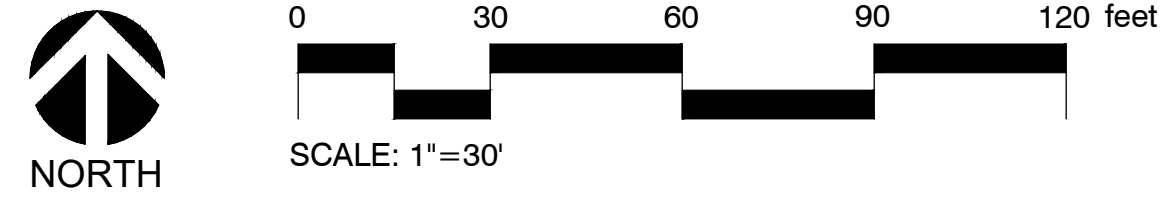
SITE: PUBLIC USE FACILITY
 SPLIT ZONING - RA6 FOR MAJORITY (VACANT); OA6 ON PARCEL WITH EXISTING RESIDENCE.
 ADJACENT ZONING: RA6 TO THE EAST AND NORTH (SINGLE FAMILY RESIDENCES) AND RA6 AND OA6 TO THE SOUTH (CITY OFFICES)
PROTECTIVE YARDS
 Buffer group 2 = Type C buffer on all sides, except to the south.

- 6.13 PARKING LOT PLANTINGS**
 1. All parking facilities designed for 10 or more vehicles shall provide a minimum of 8.1 sq. ft. of landscaped area per parking space. Each landscaped area shall contain a canopy tree, ground cover and or mulch.
 2. Tree islands are provided in parking lot with large canopy trees, shrubs and ground cover.
 1. Buffer "C" Minimum 25 feet wide strip with 2 canopy trees, 6 understory trees, and 10 shrubs per 100 LF.
 2. Screen "C"
 2.1. The following requirements shall be met for screen C by providing a 10 foot minimum screening yard and the following:

- (a) A row of evergreen shrubs placed not more than five feet apart on center to form a continuous opaque hedge a minimum of six feet in height above finished grade. **OR**
 (b) A masonry (brick, block, rock, texture block, cast blocks or concrete) wall a minimum height of six feet, above finished grade; and, if a concrete block or concrete wall, it shall be finished with a masonry coating or finish on all exposed exterior sides; **OR**
 (c) A solid wooden a minimum of six feet in height constructed of pressure treated wood which bears the seal of the American Wood Preservers Bureau appropriate to the use or is constructed of a wood of natural resistance such as heartwood of redwood, bald cypress (tidewater red), black locust or cedar or a vinyl fence, which is a minimum of six feet in height, that is constructed in a workmanlike manner in accordance with generally accepted industry standards; **OR**
 (d) A berm and planting combination, with the berm an average height of three feet above finished grade as measured from the exterior side of the berm and dense plantings which will, when combined with the berm, achieve a minimum height of six feet and seventy-five percent opacity;
AND
 A staggered row of evergreen trees, which are not less than six feet in height at the time of planting and are spaced not more than twenty feet apart on center which at maturity will form an intermittent visual barrier from above the opaque screen to a height of fifteen feet.

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY	REMARKS
	CC2	Carex cherokeensis	Cherokee Sedge	1 gal.	Pot	24" o.c.	90	
	EP	Echinacea purpurea	Coneflower	4"	Pot	24" o.c.	16	
	SG	Salvia officinalis	Garden Sage	4"	Pot	18" o.c.	21	
	TF	Trifolium Fescue Mixture	Clover Fescue Lawn Mix	seed			38,477 sf	

- PLANTING NOTES:**
- IRRIGATION PLAN TO BE PREPARED BY OTHERS IN CONSULTATION WITH THE CITY AND CONTRACTOR.
 - ALL PLANTING BEDS AND AREAS NOT SHOWN WITH SEED ARE TO BE MULCHED WITH DOUBLE-SHREDDED HARDWOOD MULCH.
 - PHASE ONE PLANTING INCLUDES REQUIRED BUFFER, STREETSCAPE AND PARKING PLANTINGS, AS WELL AS MEADOW SEEDING.
 - SEE DETAILED PLANTING NOTES ON SHEET L500, DETAIL 2.

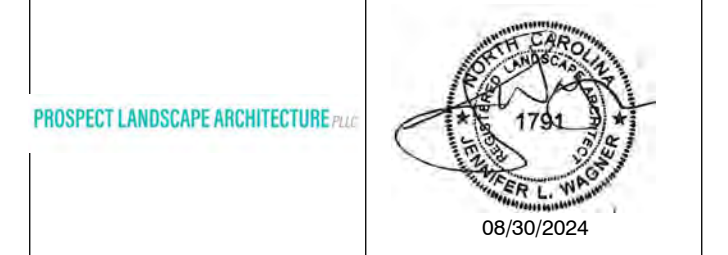


PLANT SCHEDULE -FULL

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	INSTALL HEIGHT	MATURE HEIGHT	QTY	REMARKS
TREES									
	AS	Acer buergerianum 'Streetwise'™ TM matching	Streetwise Trident Maple	3" Cal.	B&B		30-40'	3	matching
	AG2	Acer rubrum 'PMI 0268'	October Glory® Red Maple	3" Cal.	B&B			1	
	BD	Betula nigra 'BNMTP'	Dura Heat® River Birch	1.5" Cal.	Pot			4	
	CF	Cercis canadensis 'Forest Pansy' matching	Forest Pansy Eastern Redbud	1.5" Cal.	B&B			9	matching
	CO	Cercis canadensis texensis 'Oklahoma'	Oklahoma Texas Redbud	2" Cal.	Pot			1	
	FG	Fagus grandifolia	American Beech	2.5" Cal.	B&B			2	
	FB	Ficus carica 'Brown Turkey'	Brown Turkey Fig	7 gal.	Pot			4	
	IN	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	7 gal.	Pot			23	
	IF	Ilex x attenuata 'Fosteri'	Foster's Holly	7 gal.	Pot			25	
	JUN BR3	Juniperus silicicola 'Brodiae'	Brodie Southern Red Cedar	1" Cal.	B&B			6	
	JB2	Juniperus virginiana 'Burkii'	Burk Eastern Redcedar	1" Cal.	B&B			17	
	LT	Liriodendron tulipifera strong, central leader	Tulip Poplar	2" Cal.	B&B	10' min.	60-80'	2	strong, centr
	MG	Metasequoia glyptostroboides	Dawn Redwood	1" Cal.	B&B			1	
	NS	Nyssa sylvatica 'Wildfire'	Black Gum	3" Cal.	B&B	6' min	50-60'	9	
	OA	Oxydendrum arboreum	Sourwood Tree	1.5" Cal.	Pot			6	
	PA	Prunus x yedoensis 'Akebono'	Akebono Yoshino Cherry	1.5" Cal.	Pot			6	
	OC	Quercus coccinea	Scarlet Oak	2.5" Cal.	B&B			1	
	QL	Quercus lyrata	Overcup Oak	2.5" Cal.	B&B			5	
	QE	Quercus phellos 'QPSTA'	Hightower® Willow Oak	3" Cal.	B&B			1	
	QS2	Quercus shumardii	Shumard Oak	3" Cal.	B&B			4	
	TD2	Taxodium distichum	Bald Cypress	2.5" Cal.	B&B			6	
UNDERSTORY TREES									
	AG	Anelochloris x grandiflora 'Autumn Brilliance' strong central leader	Autumn Brilliance Apple Serviceberry	1.5" Cal.	B&B		25'	14	strong centr
	CV	Chionanthus virginicus	White Fringetree	1" Cal.	Pot			5	
	CF2	Cornus florida 6' tall min. at installation	Eastern Dogwood	1.5" Cal.	Pot		20-25'	11	6' tall min. a
	MS	Magnolia virginiana Evergreen	Sweet Bay	1.5" Cal.	Pot	6' minimum	25'	15	Evergreen
SHRUBS									
	AP	Aesculus parviflora	Bottlebrush Buckeye	3 gal.	Pot			19	
	AK	Aronia arbutifolia 'autumn magic'	Chokeberry	3 gal.	B&B			20	
	AD	Azalea indica 'George L. Tabor'	George Tabor Azalea	5 gal.	Pot			10	
	AZR	Azalea x 'Fashion'	Fashion Glenn Dale Azalea	3 gal.	Pot			18	
	CA	Calliandra americana	American Beautyberry	3 gal.	Pot			7	
	CD	Camellia japonica 'Debutante'	Debutante Camellia	3 gal.	Pot			14	
	CC	Camellia sasangua 'Dwarf Shishi'	Dwarf Shishi Camellia	3 gal.	Pot			7	
	CW	Camellia sasangua 'Green 02-004 TM'	October Magic White Shi-Shi Camellia	5 gal.	Pot			12	
	CM	Camellia sasangua 'Marie Kiki'	Autumn Moon Camellia	7 gal.	Pot			12	
	CR2	Carex buchananii 'Red Rooster plant 2' o.c.	Red Rooster Leather Leaf Sedge	1 gal.	Pot			51	plant 2' o.c.
	TC	Chamaecyparis pisifera	Sawara Cypress	5 gal.	Pot			7	
	CR	Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet	3 gal.	Pot		5' x5'	3	
	CG	Cryptomeria japonica 'Globosa Nana'	Dwarf Japanese Cedar	3 gal.	Pot			6	
	GC	Gardenia jasminoides 'Crown Jewel'	Crown Jewel Gardenia	3 gal.	Pot			7	
	HYD	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	3 gal.	Pot			24	
	IS	Ilex glabra 'Shamrock' Evergreen	Shamrock Inkberry Holly	3 gal.	Pot			32	Evergreen
	IM	Ilex opaca 'Maryland Dwarf'	Maryland Dwarf American Holly	3 gal.	Pot			9	
	IV3	Ilex verticillata 'Sparkleberry' both male and female	Sparkleberry Winterberry	7 gal.	Pot			28	both male ar
	IV	Ilex virginica 'Henry's Garnet'	Henry's Garnet Sweetpire	3 gal.	Pot			15	
	LP	Leucotope populifolia	Florida Hobblebush	3 gal.	Pot	36"	8' X6'	23	
	MC	Myrica carterea Evergreen	Wax Myrtle	5 gal.	Pot	36"	10' x10'	15	Evergreen
	OF	Osmanthus fragrans 'Fudingthu'	Fudingthu Sweet Olive	7 gal.	Pot			10	
	RG2	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	1 gal.	Pot			13	
	RO	Rhus glabra	Smooth Sumac	3 gal.	Pot			5	
	RO	Rosmarinus officinalis	Rosemary	3 gal.	Pot			8	
	TB	Temstroemia gymnanthera 'Conthery'	Bronze Beauty™ Clevera	5 gal.	Pot			14	
	VC2	Vaccinium ashe 'Climax'	Rabbit Eye Blueberry	3 gal.	Pot			8	
	VP	Vaccinium ashe 'Powderblue'	Powderblue Rabbiteye Blueberry	3 gal.	Pot			16	
	VM	Viburnum acerifolium	Mapleleaf viburnum	5 gal.	Pot			18	
	VC	Viburnum awabuki 'Chindo'	Chindo Viburnum	7 gal.	Pot			39	
	VM2	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	3 gal.	Pot			29	

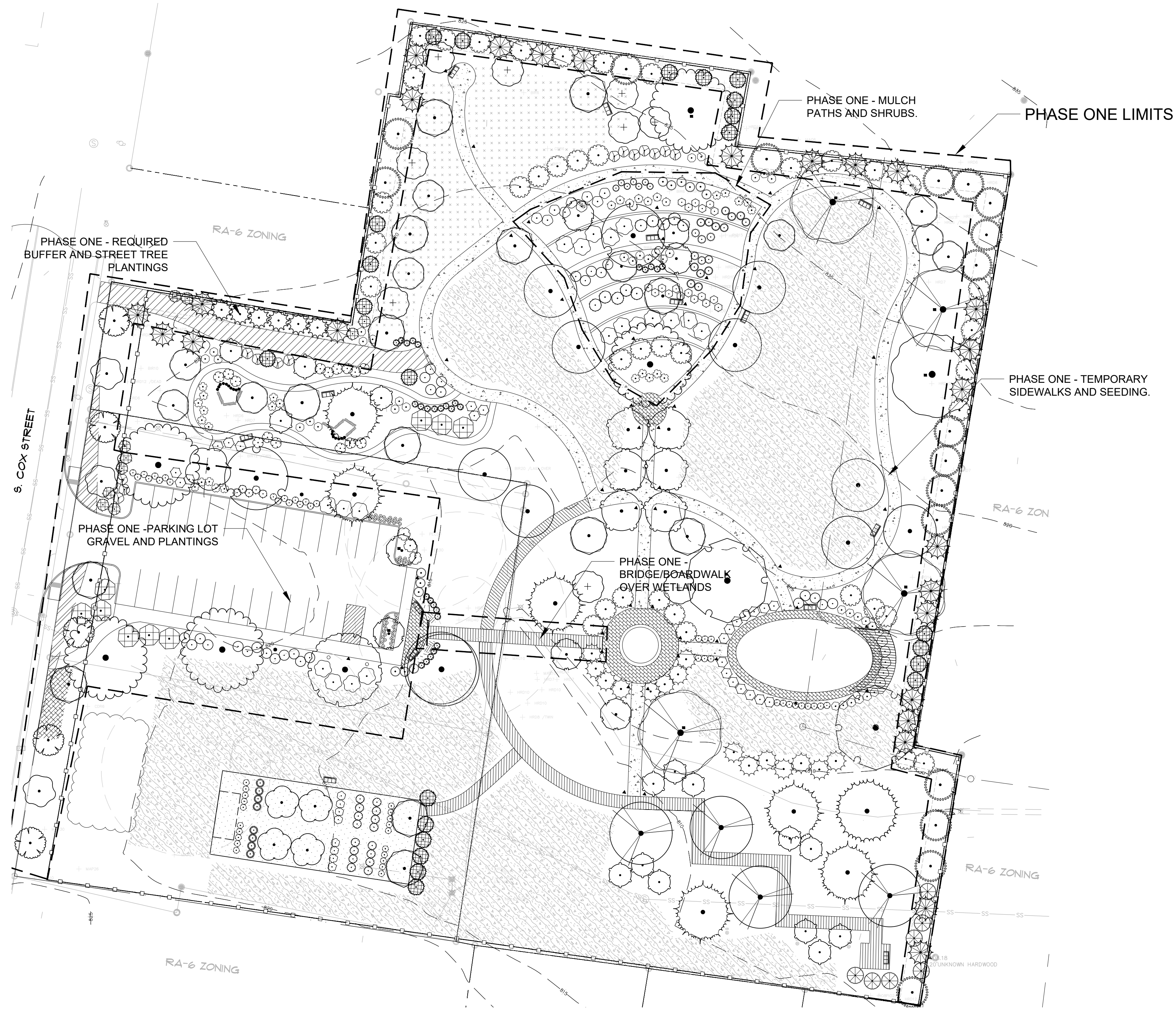
6	CD'S AND PHASING-REV	08/30/2024
5	CD'S AND PHASING	04/12/2024
4	PARKING REVISION	03/29/2024
3	100% DD	10/23/2023
2	90% DD	09/12/2023
1	OWNER REVIEW	08/01/2023
No.	Revision/Issue	Date

Designed By:
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 227 GLASCOCK STREET
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Project/Client:
CITY OF ASHEBORO
 DAVID & PAULINE JARRELL CENTER CITY GARDEN
 205 S. Cox Street, Asheboro, NC 27203

CENTER CITY GARDEN	PLANTING PLAN
2024/08/30	L400
1:30	



PLANT SCHEDULE PHASE ONE - REQUIRED

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	QTY
TREES				
[Symbol]	AS	Acer buergerianum 'Streetwise'™	Streetwise Trident Maple	3
[Symbol]	CO	Cercis canadensis texensis 'Oklahoma'	Oklahoma Texas Redbud	1
[Symbol]	IN	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	15
[Symbol]	IF	Ilex x attenuata 'Fosteri'	Foster's Holly	23
[Symbol]	JUN BR3	Juniperus silicicola 'Brodie'	Brodie Southern Red Cedar	6
[Symbol]	JB2	Juniperus virginiana 'Burkii'	Burk Eastern Redcedar	17
[Symbol]	LT	Liriodendron tulipifera	Tulip Poplar	1
[Symbol]	OA	Oxydendrum arboreum	Sourwood Tree	2
[Symbol]	QC	Quercus coccinea	Scarlet Oak	1
[Symbol]	QL	Quercus lyrata	Overcup Oak	3
[Symbol]	TD2	Taxodium distichum	Bald Cypress	1
UNDERSTORY TREES				
[Symbol]	AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	2
[Symbol]	CV	Chionanthus virginicus	White Fringetree	5
SHRUBS				
[Symbol]	AP	Aesculus parviflora	Bottlebrush Buckeye	7
[Symbol]	CW	Camellia sasanqua 'Green 02-004'™	October Magic White Shi-Shi Camellia	5
[Symbol]	CR2	Carex buchananii 'Red Rooster'	Red Rooster Leather Leaf Sedge	51
[Symbol]	TC	Chamaecyparis pisifera	Sawara Cypress	4
[Symbol]	CR	Clethra alnifolia 'Ruby Spice'	Ruby Spice Summersweet	3
[Symbol]	HYD	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	5
[Symbol]	IS	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	17
[Symbol]	IM	Ilex opaca 'Maryland Dwarf'	Maryland Dwarf American Holly	6
[Symbol]	IV3	Ilex verticillata 'Sparkleberry'	Sparkleberry Winterberry	13
[Symbol]	LP	Leucothoe populifolia	Florida Hobblebush	3
[Symbol]	OF	Osmanthus fragrans 'Fudingzhu'	Fudingzhu Sweet Olive	9
[Symbol]	RG	Rhus glabra	Smooth Sumac	5
[Symbol]	TB	Temstroemia gymnanthera 'Conthery'	Bronze Beauty™ Cleyera	3
[Symbol]	VM	Viburnum acerifolium	Mapleleaf viburnum	4
[Symbol]	VC	Viburnum awabuki 'Chindo'	Chindo Viburnum	21

PLANT SCHEDULE PHASE ONE - SHRUB GARDEN

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	QTY
TREES				
[Symbol]	LT	Liriodendron tulipifera	Tulip Poplar	1
[Symbol]	OA	Oxydendrum arboreum	Sourwood Tree	2
[Symbol]	QL	Quercus lyrata	Overcup Oak	1
UNDERSTORY TREES				
[Symbol]	AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	1
[Symbol]	CF2	Cornus florida	Eastern Dogwood	2

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	QTY
[Symbol]	AP	Aesculus parviflora	Bottlebrush Buckeye	12
[Symbol]	AD	Azalea indica 'George L. Tabor'	George Tabor Azalea	10
[Symbol]	AZR	Azalea x 'Fashion'	Fashion Glenn Dale Azalea	18
[Symbol]	CA	Callicarpa americana	American Beautyberry	7
[Symbol]	CD	Camellia japonica 'Debutante'	Debutante Camellia	9
[Symbol]	CC	Camellia sasanqua 'Dwarf Shishi'	Dwarf Shishi Camellia	7
[Symbol]	CW	Camellia sasanqua 'Green 02-004'™	October Magic White Shi-Shi Camellia	6
[Symbol]	CG	Cryptomeria japonica 'Globosa Nana'	Dwarf Japanese Cedar	6
[Symbol]	GC	Gardenia jasminoides 'Crown Jewel'	Crown Jewel Gardenia	7
[Symbol]	HYD	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	10
[Symbol]	IV3	Ilex verticillata 'Sparkleberry'	Sparkleberry Winterberry	5
[Symbol]	RG2	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	13
[Symbol]	VC	Viburnum awabuki 'Chindo'	Chindo Viburnum	4
[Symbol]	VM2	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	5

PHASE ONE:

- PARKING LOT USED FOR STAGING - GRADE AND GRAVEL ONLY AT THIS TIME.
- ROUGH GRADING OUTSIDE OF WETLANDS.
- PARKING LOT PLANTINGS.
- STREET TREES.
- BUFFER PLANTINGS ALONG PROPERTY BOUNDARIES.
- TEMPORARY SIDEWALKS OF CHAPEL HILL GRIT.
- MULCH WALKS THROUGH SHRUB GARDEN.
- SHRUBS FOR SHRUB GARDEN.
- POLLINATOR SEED MIX.
- FESCUE/CLOVER MIX IN MEADOW.
- MAINTENANCE ACCESS DRIVE.
- BRIDGE OVER WETLANDS

PHASE TWO:

- NATURAL PLAY ELEMENTS.
- BENCHES.
- ADDITIONAL PLANTINGS.
- FORMAL LAWN.
- PERGOLA.
- HEIRLOOM GARDEN.

PHASE THREE:

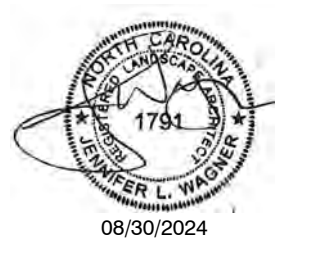
- BOARDWALK.
- PERMANENT SIDEWALKS OF CONCRETE.
- FOUNTAIN AND SEATWALL.
- ENTRY PLAZA AND GATE.
- EDUCATIONAL SIGNAGE.

FUTURE PHASE:

- VISITOR'S CENTER.
- SIDEWALKS AND PLANTING AROUND FUTURE VISITOR'S CENTER.

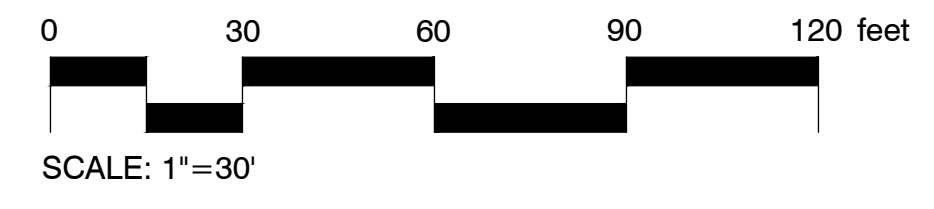
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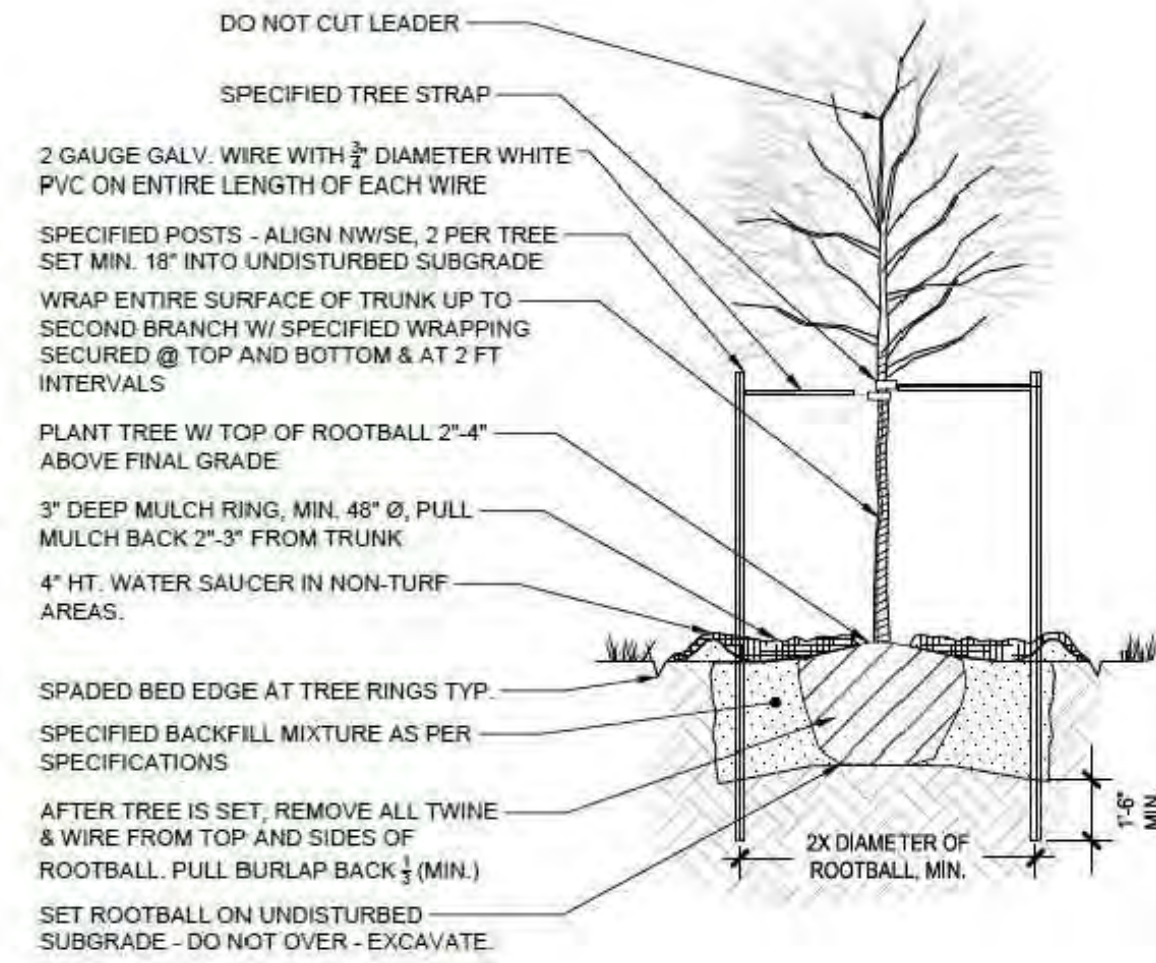
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CENTER CITY GARDEN	PHASING PLAN
2024/08/30	L401
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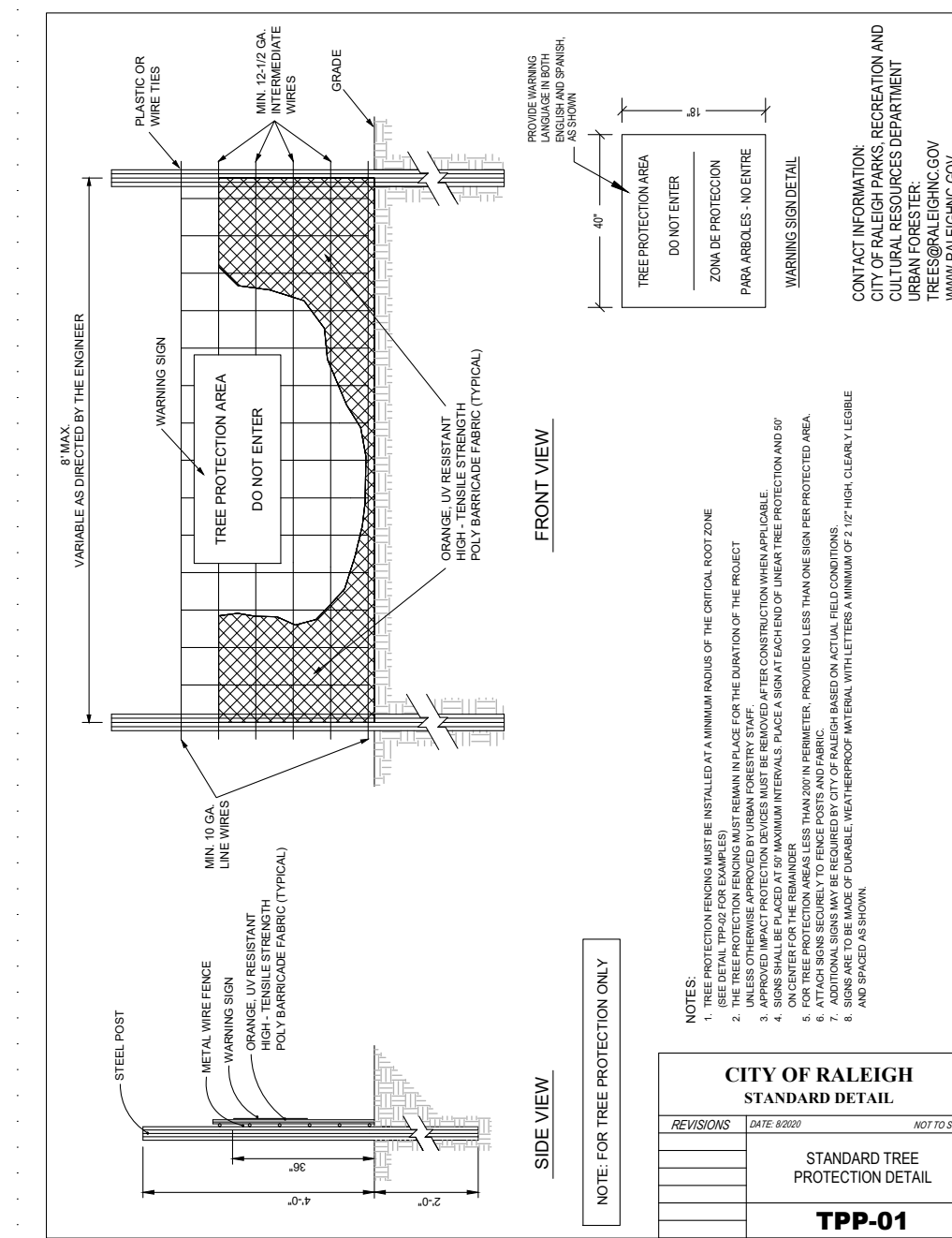


DETAIL 1 - TREE PLANTING

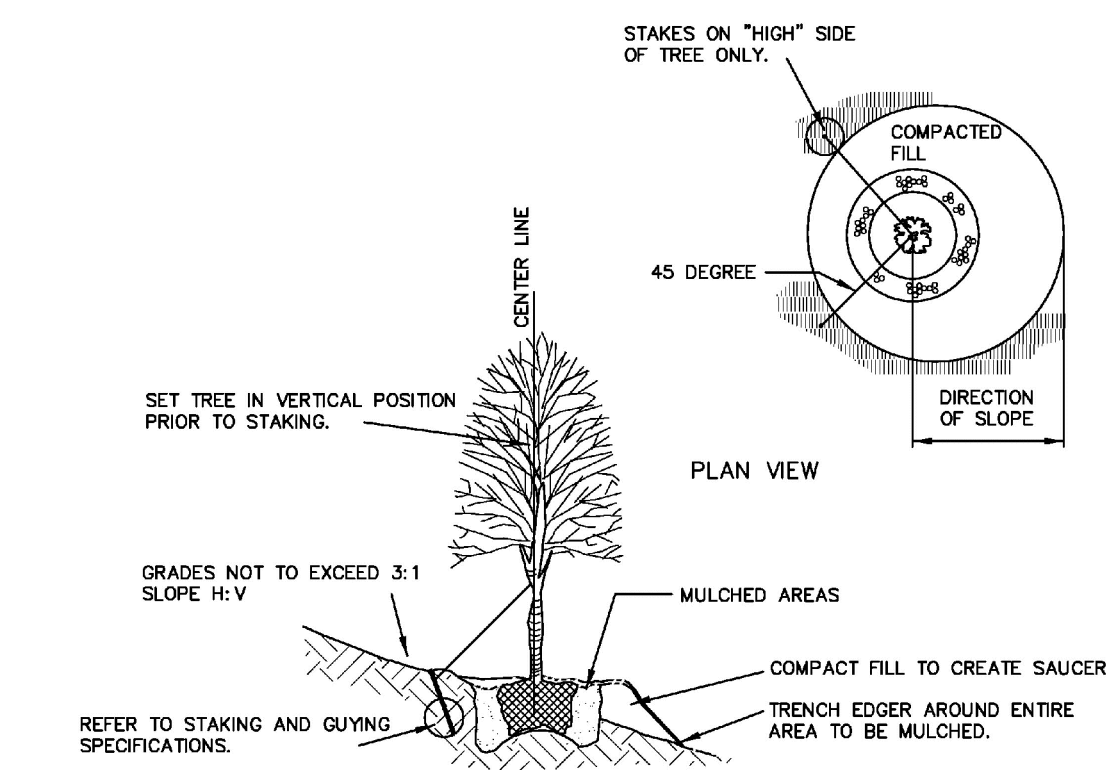
PLANTING NOTES

- ALL DISTURBED AREAS NOT SHOWN WITH PLANTS SHALL BE PLANTED WITH TALL FESCUE / MICRO-CLOVER MIX.
- ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION.
- CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND ALL OTHER UNDERGROUND STRUCTURES PRIOR TO PLANTING.
- PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
- ALL DEBRIS, ROCKS, ETC. LARGER THAN .5 INCH ARE TO BE REMOVED PRIOR TO SEEDING/SODDING OR PLANTING.
- MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH, FREE OF WEEDS. DO NOT STAKE TREES EXCEPT WHERE SPECIFIED OR ON SLOPES.
- FOR PLANTER BEDS: RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL. TILL IN SOIL AMENDMENTS TO A DEPTH OF 6" AND WHERE PLANTS SHARE ROOT SPACE - TILL THE ENTIRE AREA, NOT JUST THE PLANT HOLES. FOR SEEDING/SOD: ALL AREAS TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL TILLED INTO A DEPTH OF 4" TO ENSURE INTEGRATION WITH EXISTING SOIL.
- FOR CONTAINER GROWN PLANTS, USE FINGERS OR SMALL HAND TOOLS TO GENTLY PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL AND CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- BEFORE PLANTING, ADD 3-4" OF WELL COMPOSTED LEAVES, RECYCLED YARD WASTE OR OTHER COMPOST AND TILL INTO TOP 4-6" OF PREPARED SOIL. ADD COMPOST AT 20-35% BY VOLUME TO BACKFILL.
- DO NOT PLACE MULCH IN CONTACT WITH TRUNK.
- PROVIDE GATOR BAGS FOR TREES WHERE IRRIGATION IS NOT PROVIDED. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- PLANTS SHALL BE REPRESENTATIVE OF THEIR SPECIES AND MEET ANSI STANDARD Z60.
- LANDSCAPE ARCHITECT OR OWNER MAINTAINS THE RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
- QUANTITIES SHOWN ON THE PLANT LEGEND ARE FOR THE CONTRACTOR'S CONVENIENCE. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND.
- IF ANY PLANT SUBSTITUTIONS ARE REQUESTED BY THE CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL BE PRESENTED AND A MINIMUM OF 72-HOURS SHALL BE GIVEN TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING DATE FOR FINAL DECISION.
- BALLED AND BURLAPPED TREES SHALL BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
- STREET TREES SHALL BE SPACED NO CLOSER THAN 25' TO EACH OTHER AND SHOULD BE 10' AWAY FROM STORMWATER PIPES, WITH A MINIMUM OF 5' FROM STORMWATER STRUCTURES. MEDIUM TO LARGE STREET TREES SHOULD BE SPACED AN AVERAGE OF 40' APART AND SMALL MATURING STREET TREES SHOULD BE SPACED AN AVERAGE OF 20' APART, AS INDICATED ON THE PLANS.
- IRRIGATION TO BE DESIGN-BUILD BY CONTRACTOR AND UTILIZE AN ON-SITE WELL.

DETAIL 2 - PLANTING NOTES

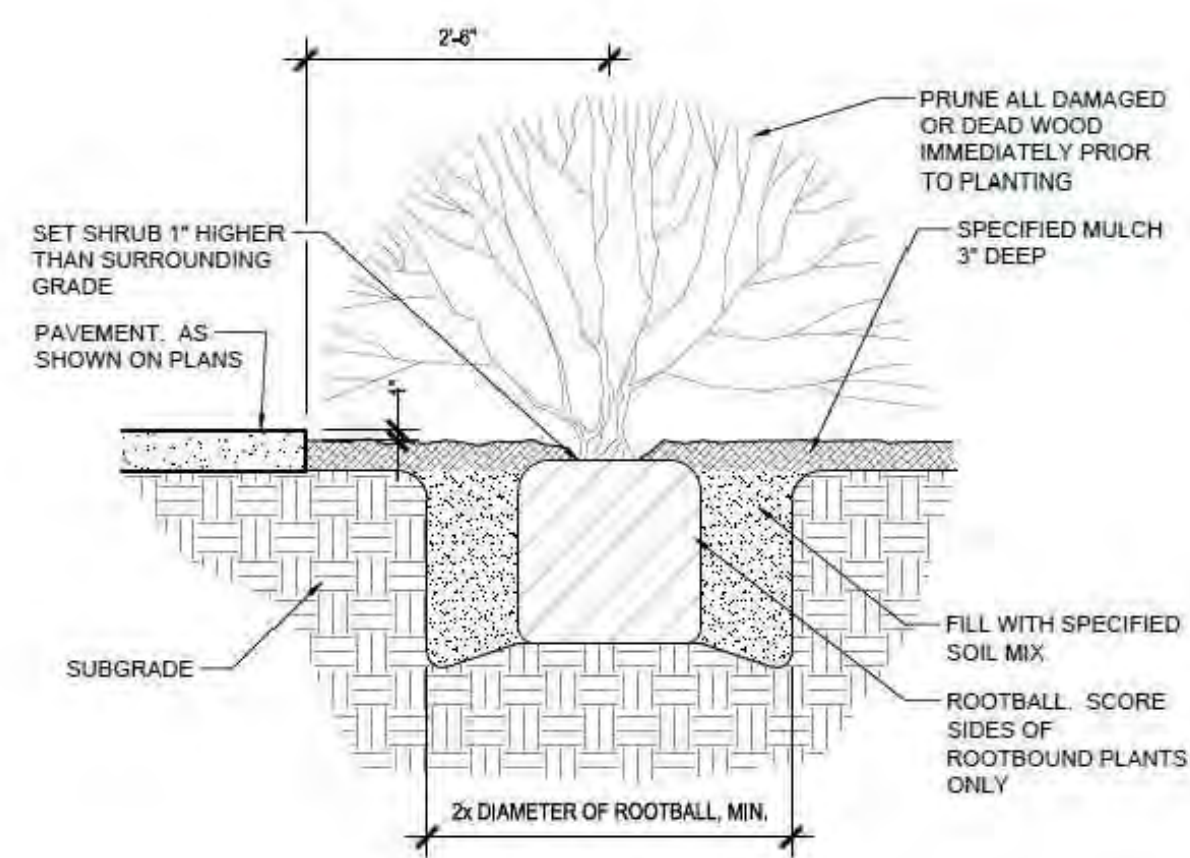


DETAIL 3 - TREE PROTECTION FENCE

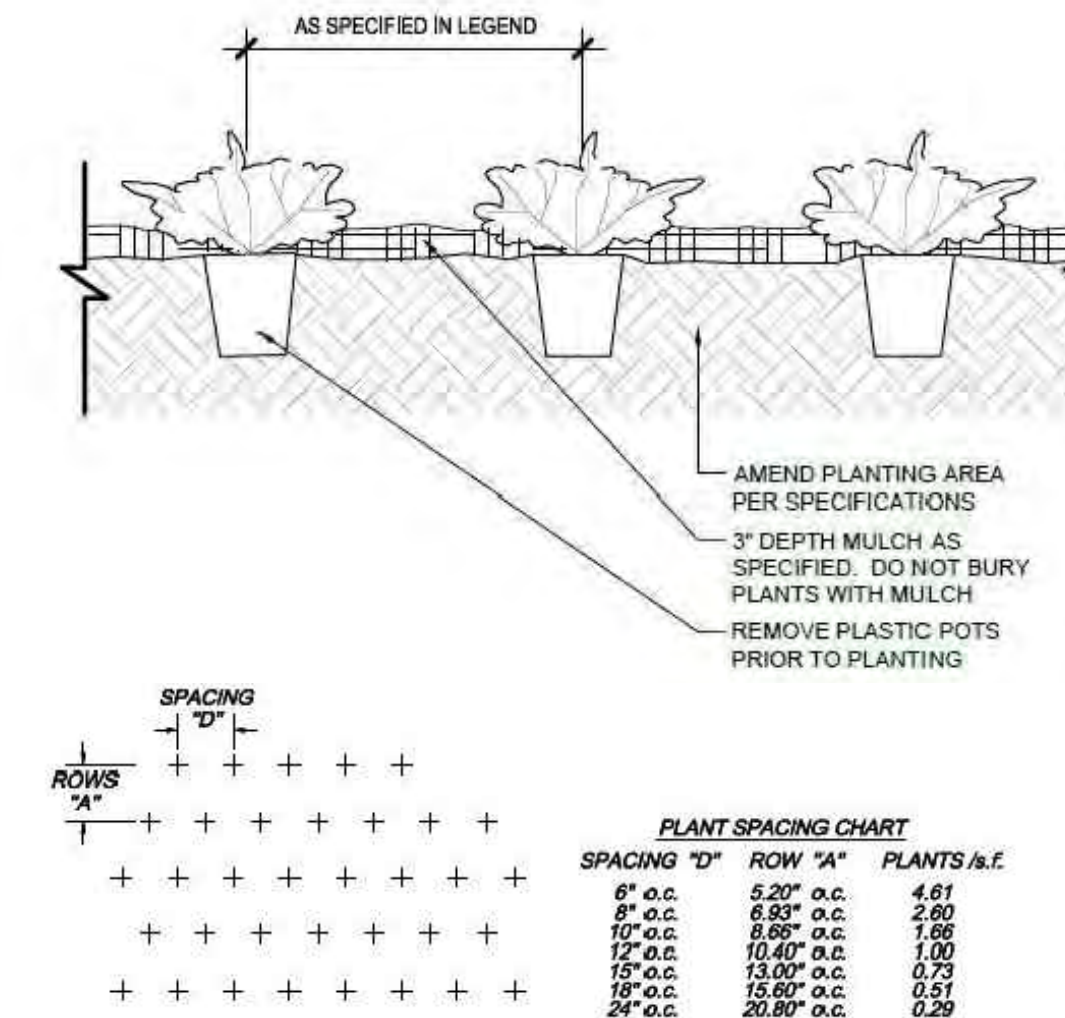


PLANTING OF TREES ON SLOPES
N.T.S.

DETAIL 4 - TREE PLANTING ON SLOPE



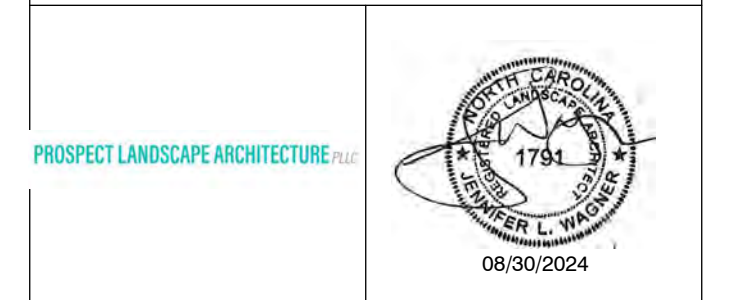
DETAIL 5 - SHRUB PLANTING



DETAIL 6 - GROUNDCOVER & SPACING

No.	Revision/Issue	Date
6	CD'S AND PHASING-REV	08/30/2024
5	CD'S AND PHASING	04/12/2024
4	PARKING REVISION	03/29/2024
3	100% DD	10/23/2023
2	90% DD	09/12/2023
1	OWNER REVIEW	08/01/2023

Designed By:
PROSPECT LANDSCAPE ARCHITECTURE, PLLC
227 GLASCOCK STREET
RALEIGH, NC 27604
919-607-0025
JENWAGNERLANDSCAPE@GMAIL.COM
WWW.PROSPECT-LA.COM



Project/Client:
CITY OF ASHEBORO
DAVID & PAULINE JARRELL CENTER CITY GARDEN
205 S. Cox Street, Asheboro, NC 27203

CENTER CITY GARDEN	PLANTING DETAILS
2024/08/30	L500

AGGREGATE PATH EDGING

1. ALUMINUM EDGING - SURE-LOC 'CRISP EDGE' PRODUCT OR SIMILAR.
2. 1/8" X 4" PRODUCT.
3. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

HEIRLOOM GARDEN PLANTER BEDS

RAISED PLANTER BEDS MADE OF CEDAR, CYPRESS OR OTHER ROT RESISTANT WOOD OR HDPE MATERIAL WITH FABRIC LINER.

- GARDENER'S SUPPLY COMPANY www.gardeners.com "WHEELCHAIR ACCESSIBLE ELEVATED GARDEN BED" or
- TERRAFORM KIT FOR ADAPTED GARDENS: <https://terraform.fr/english-version/> or
- DURABLE GREEN BED: durablegreenbed.com "4'X12'X2' LONG RECTANGLE RAISED GARDEN BED KIT (RECYCLED WOODCHIP/CONCRETE COMPOSITE WITH CEDAR TOP)"

FENCING

- AROUND PERIMETER WITH SHRUBS IN-BOARD: 6' TALL SOLID WOOD FENCE OR MASONRY WALL AROUND SITE. (CMU WITH BRICK VENEER) OR PRODUCT PROVIDED BY CITY.
- FENCE ALONG FRONT OF SITE (AS SHOWN ON PLANS), AMERISTAR ECHELON II OR SIMILAR.

FURNISHINGS

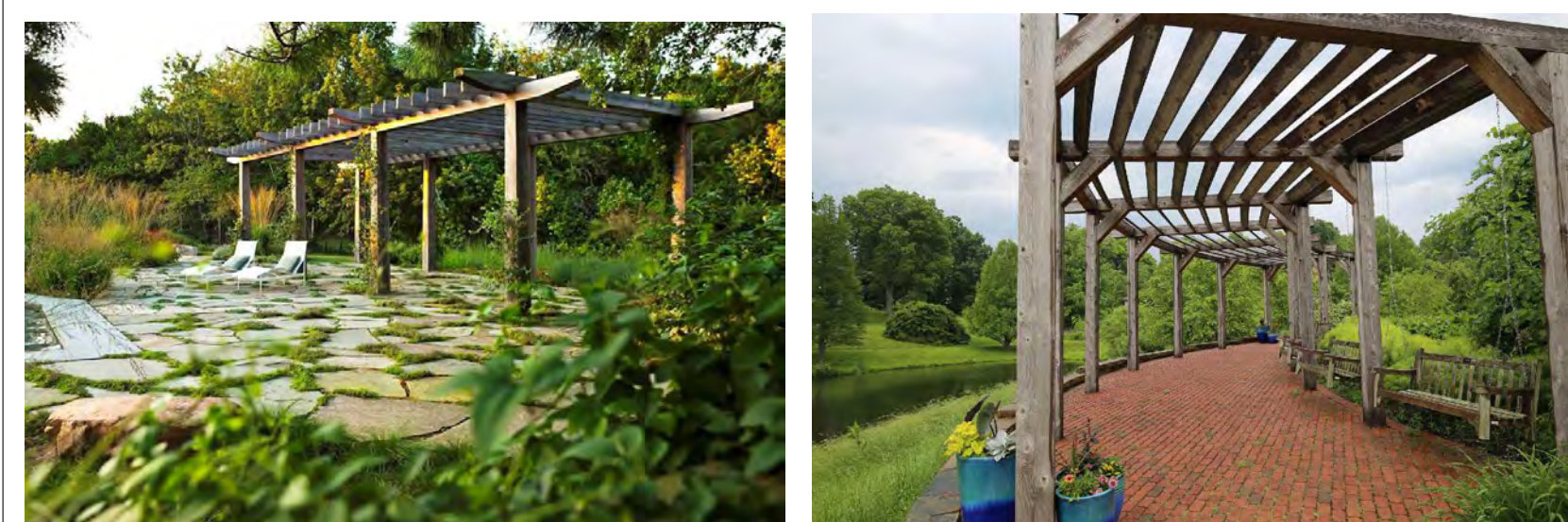
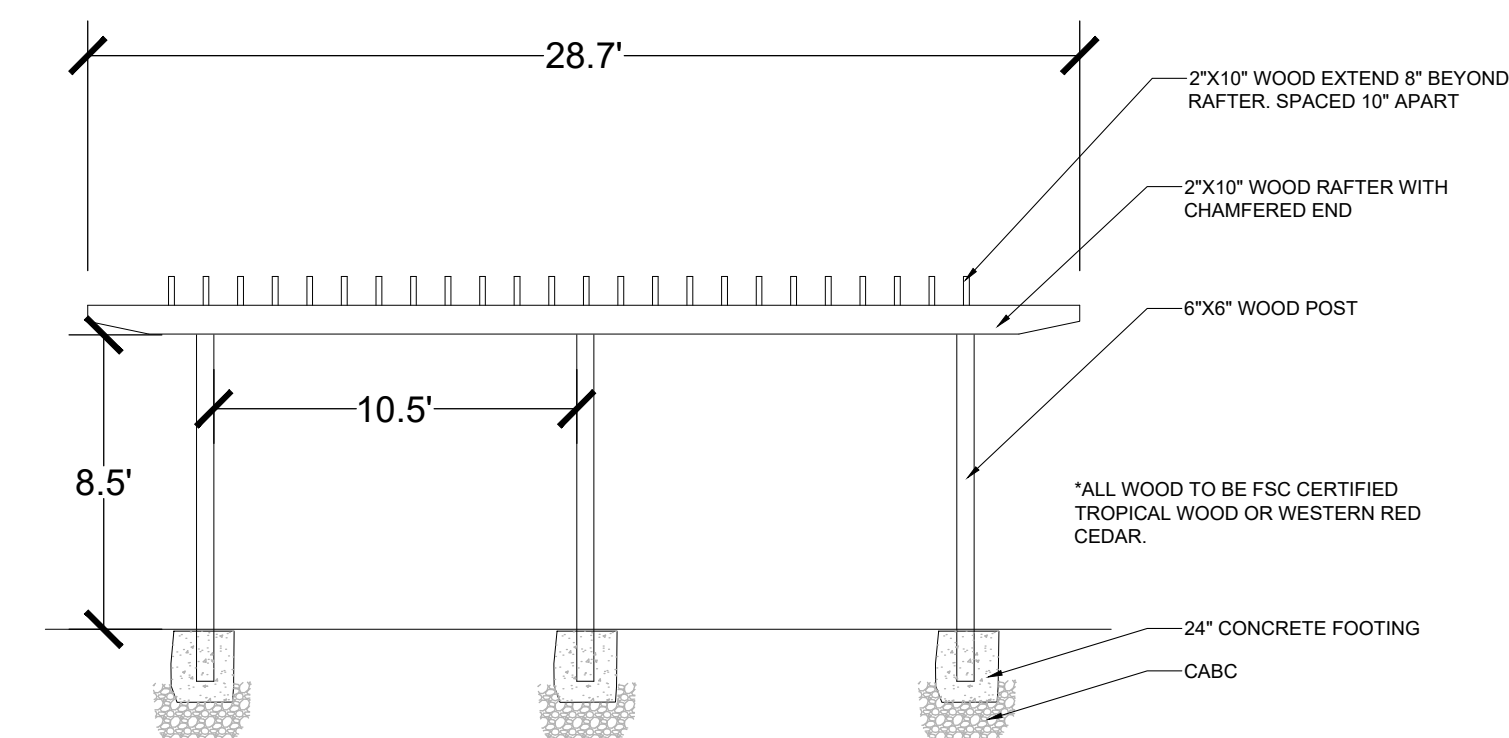
BENCHES: SEE DTL. 2/L503.
LIGHT FIXTURES: SEE NOTES ON SHEET L200.

POLLINATOR SEED MIXES

Eden Brothers
2099 Brevard road
Arden, NC 28704
edenbrothers.com
Perennial Pollinator Wildflower Mix - 25 lbs/more than acre

ALL UNPLANTED DISTURBED AREAS TO BE SEEDED WITH A TALL FESCUE/MICRO-CLOVER MIX.

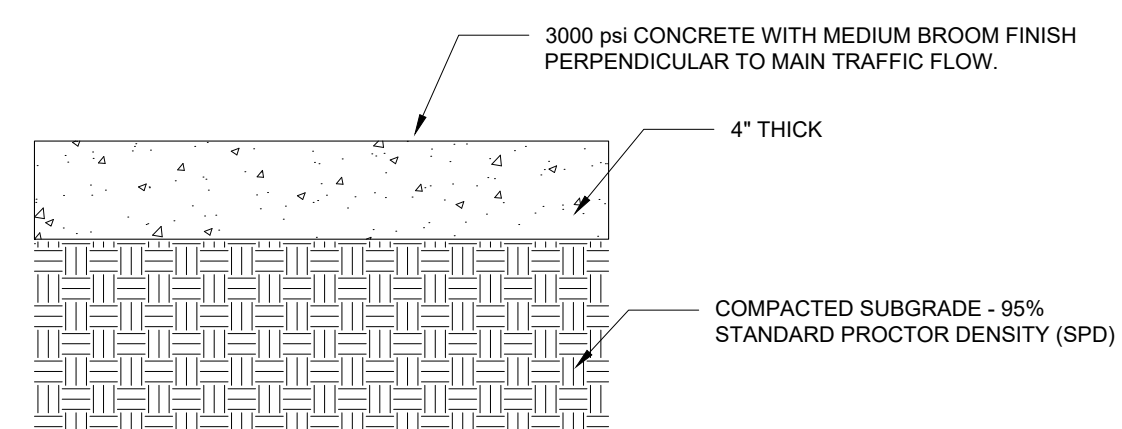
DETAIL 1 - BASIS OF DESIGN PRODUCTS



INSPIRATION IMAGES

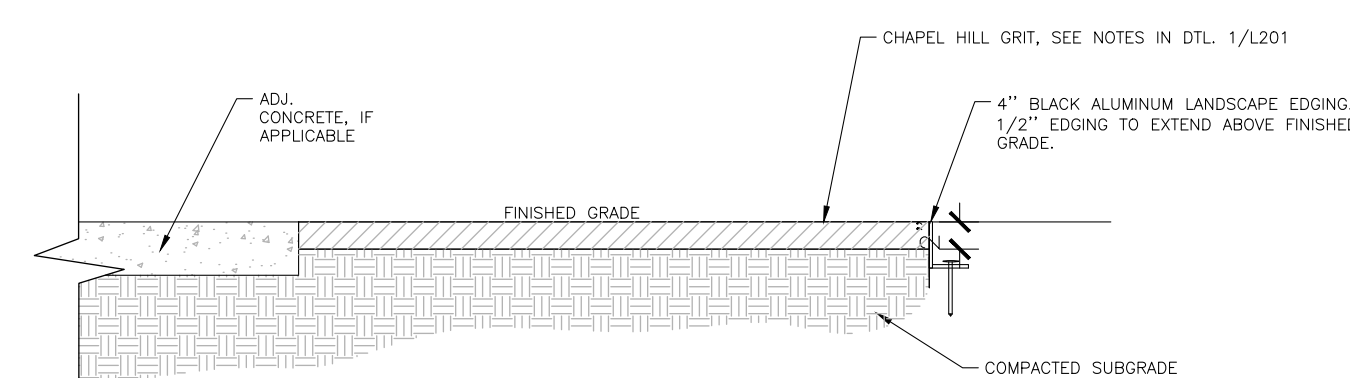
DETAIL 4 - PERGOLA

DETAIL 2 - PEDESTRIAN CONCRETE



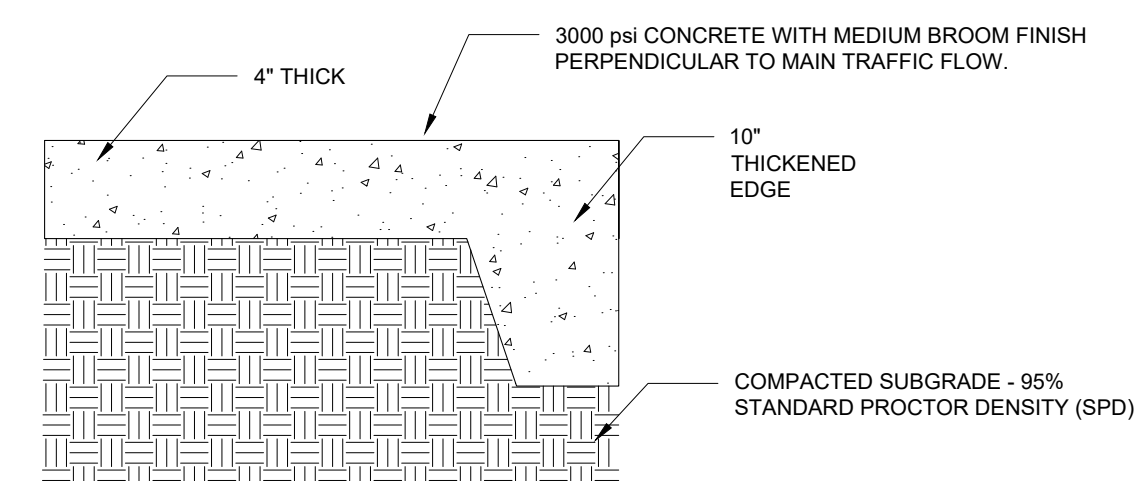
1. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT TO REVIEW FORMS PRIOR TO POURING.
2. SEE PLANS FOR JOINT LOCATIONS.

DETAIL 5 - CHAPEL HILL GRIT PATH



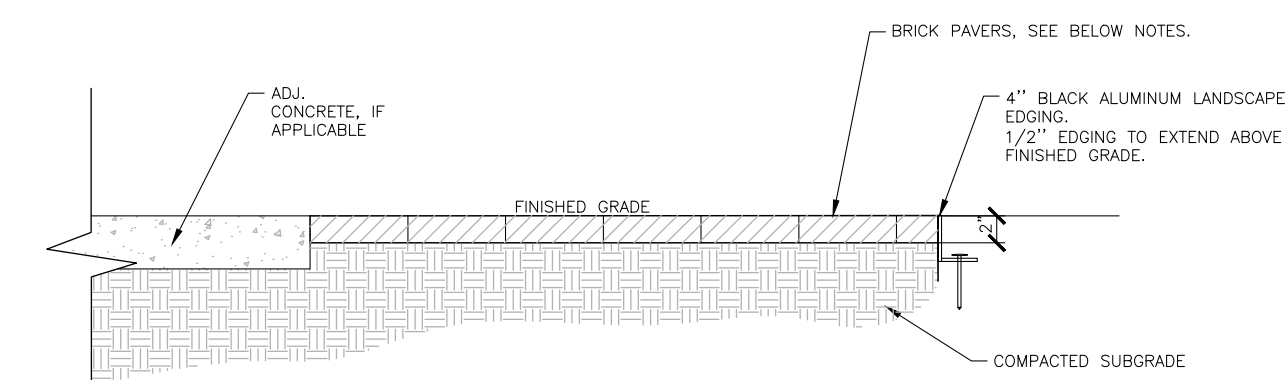
- NOTES:
1. PROVIDE MAX 2% CROSS-SLOPE FOR ADEQUATE DRAINAGE.
 2. LAY AGGREGATE IN 1.5\"/>

DETAIL 3 - PEDESTRIAN CONCRETE AT PARKING



1. THICKENED EDGE AT PARKING LOT.
2. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT TO REVIEW FORMS PRIOR TO POURING.
3. SEE PLANS FOR JOINT LOCATIONS.

DETAIL 6 - PEDESTRIAN BRICK



- NOTES:
1. PROVIDE MAX 2% CROSS-SLOPE FOR ADEQUATE DRAINAGE.
 2. BRICK Laid IN POLYMERIC SAND. BRICKS ABLE TO BE REMOVED, ENGRAVED AND REPLACED AS NEEDED FOR FUNDRAISING PURPOSES.
 3. ALUMINUM EDGING BY PERMALOC. "BRICK BLOCK" PRODUCT IN BLACK.

- BRICK PAVERS AT PLAZAS - COLOR AND FINISH TBD.
- Brick Markers USA www.brickmarkers.com
 - Fundraising Brick LLC www.fundraisingbrick.com
- COORDINATE WITH OWNER TO ENGRAVE WITH DONOR NAMES.

No.	Revision/Issue	Date
6	CD'S AND PHASING-REV	08/30/2024
5	CD'S AND PHASING	04/12/2024
4	PARKING REVISION	03/29/2024
3	100% DD	10/23/2023
2	90% DD	09/12/2023
1	OWNER REVIEW	08/01/2023

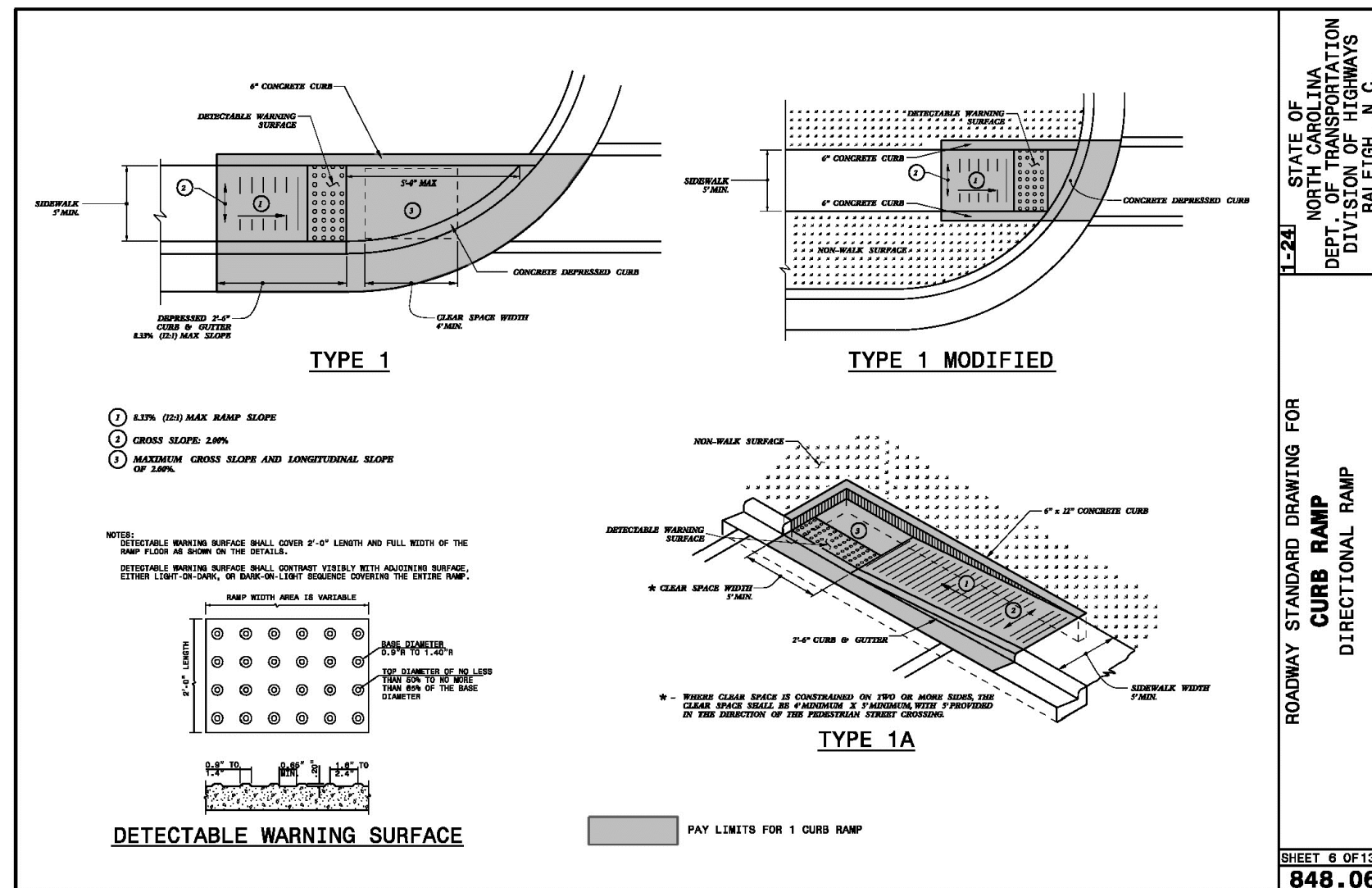
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RALEIGH, NC 27604
919-607-0025
JENWAGNERLANDSCAPE@GMAIL.COM
WWW.PROSPECT-LA.COM

PROSPECT LANDSCAPE ARCHITECTURE, PLLC

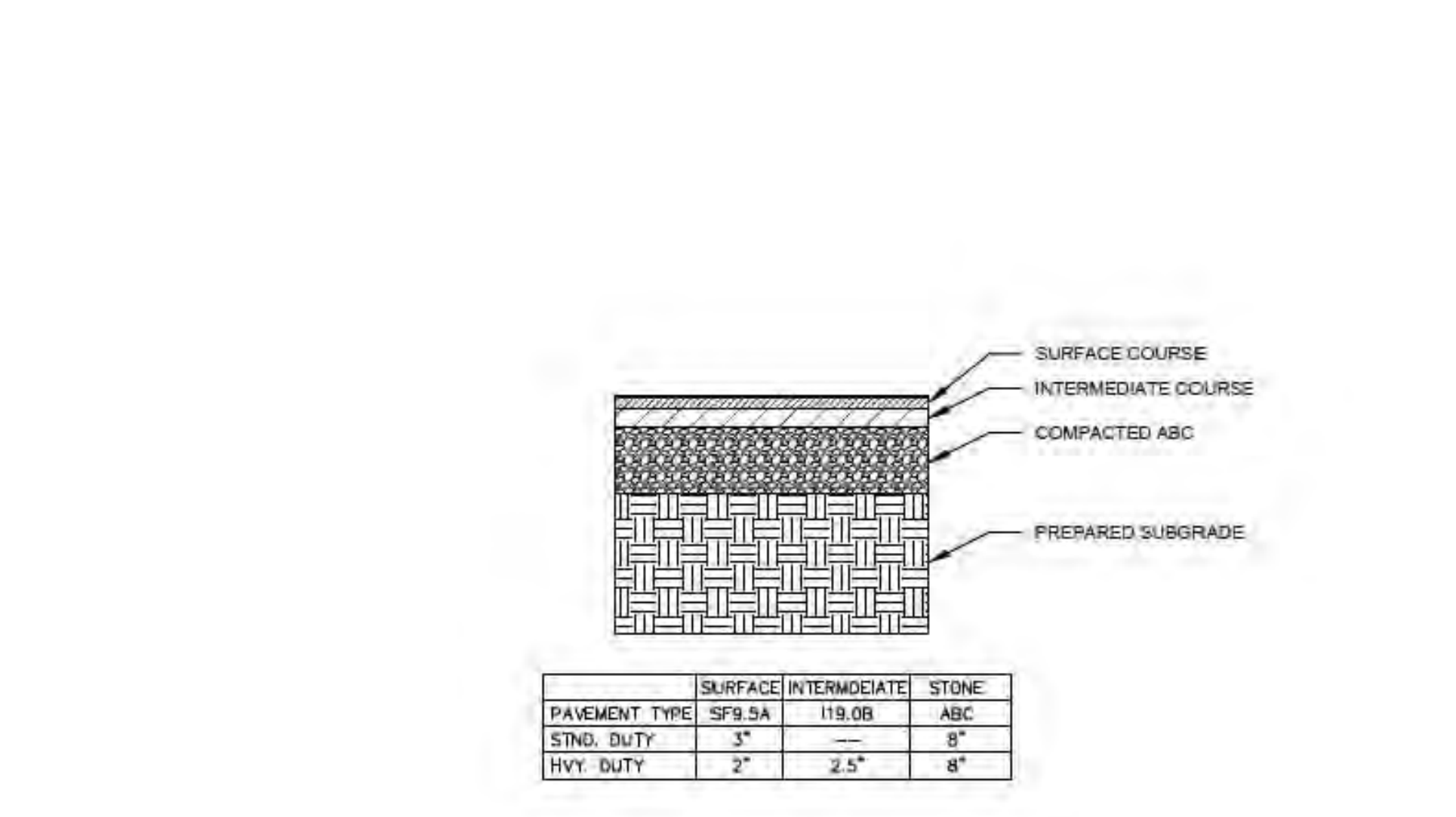


Project/Client:
CITY OF ASHEBORO
DAVID & PAULINE JARRELL CENTER CITY GARDEN
205 S. Cox Street, Asheboro, NC 27203

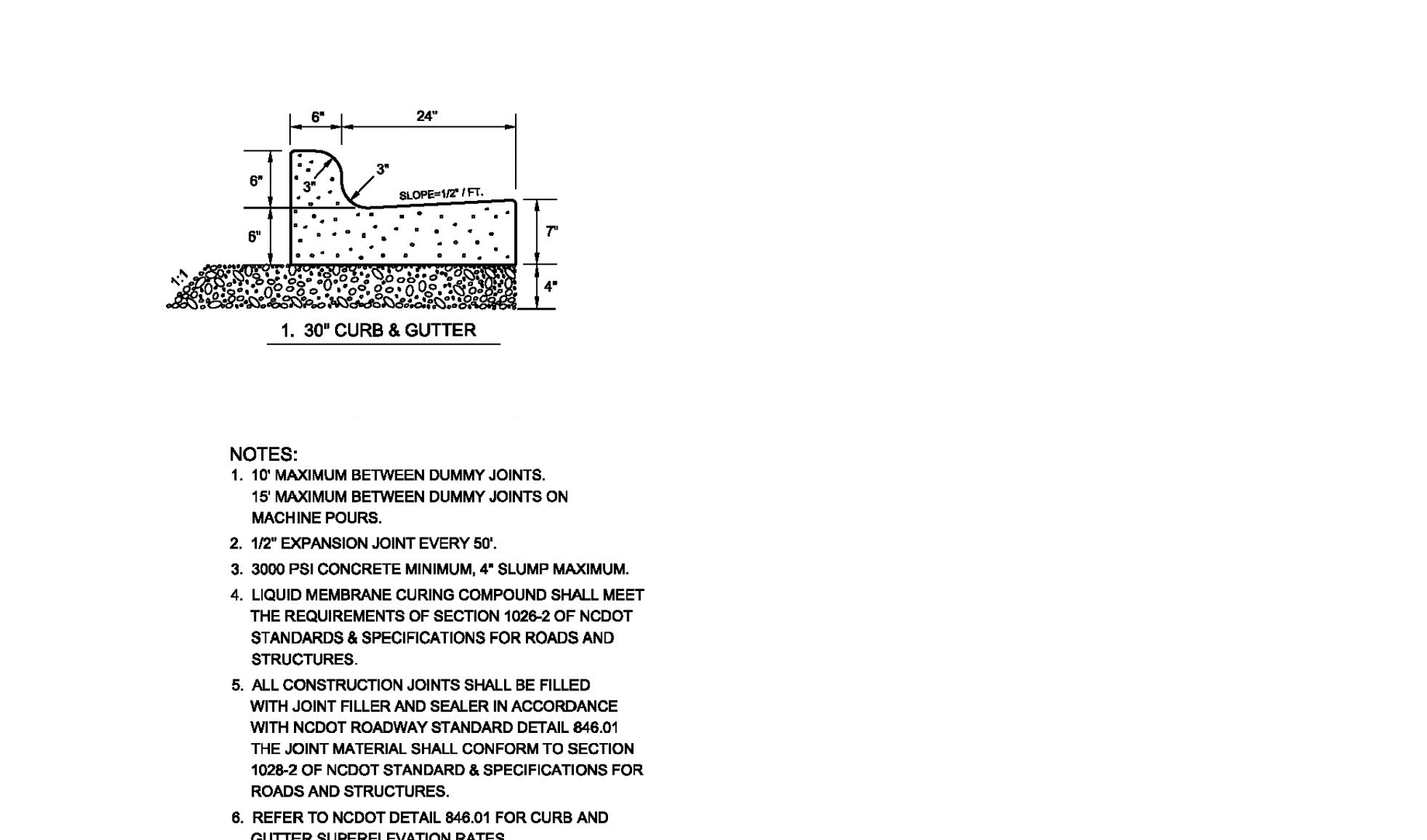
CENTER CITY GARDEN	SITE DETAILS
2024/08/30	L501



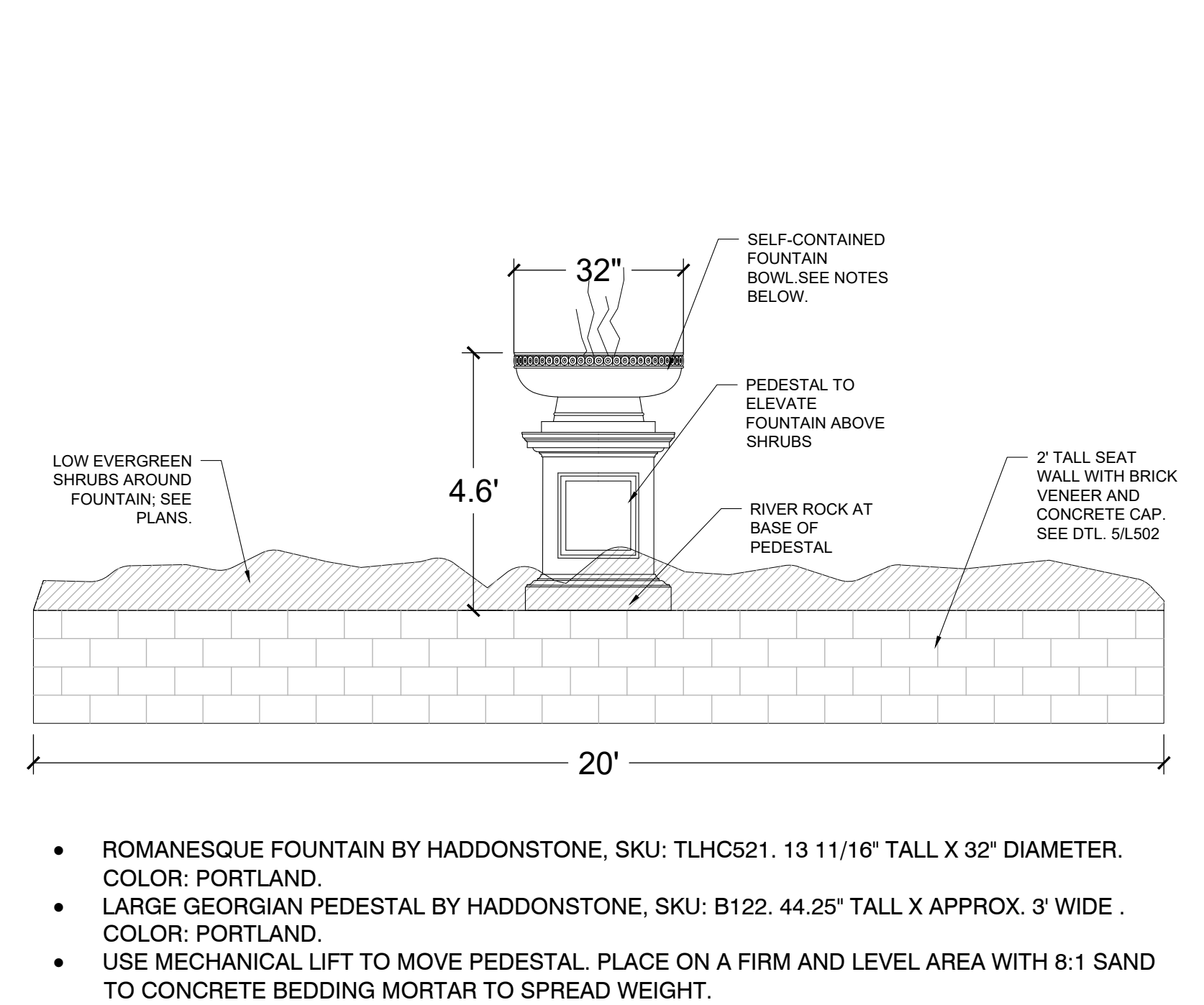
DETAIL 1 - CURB RAMP AT ENTRY DRIVE



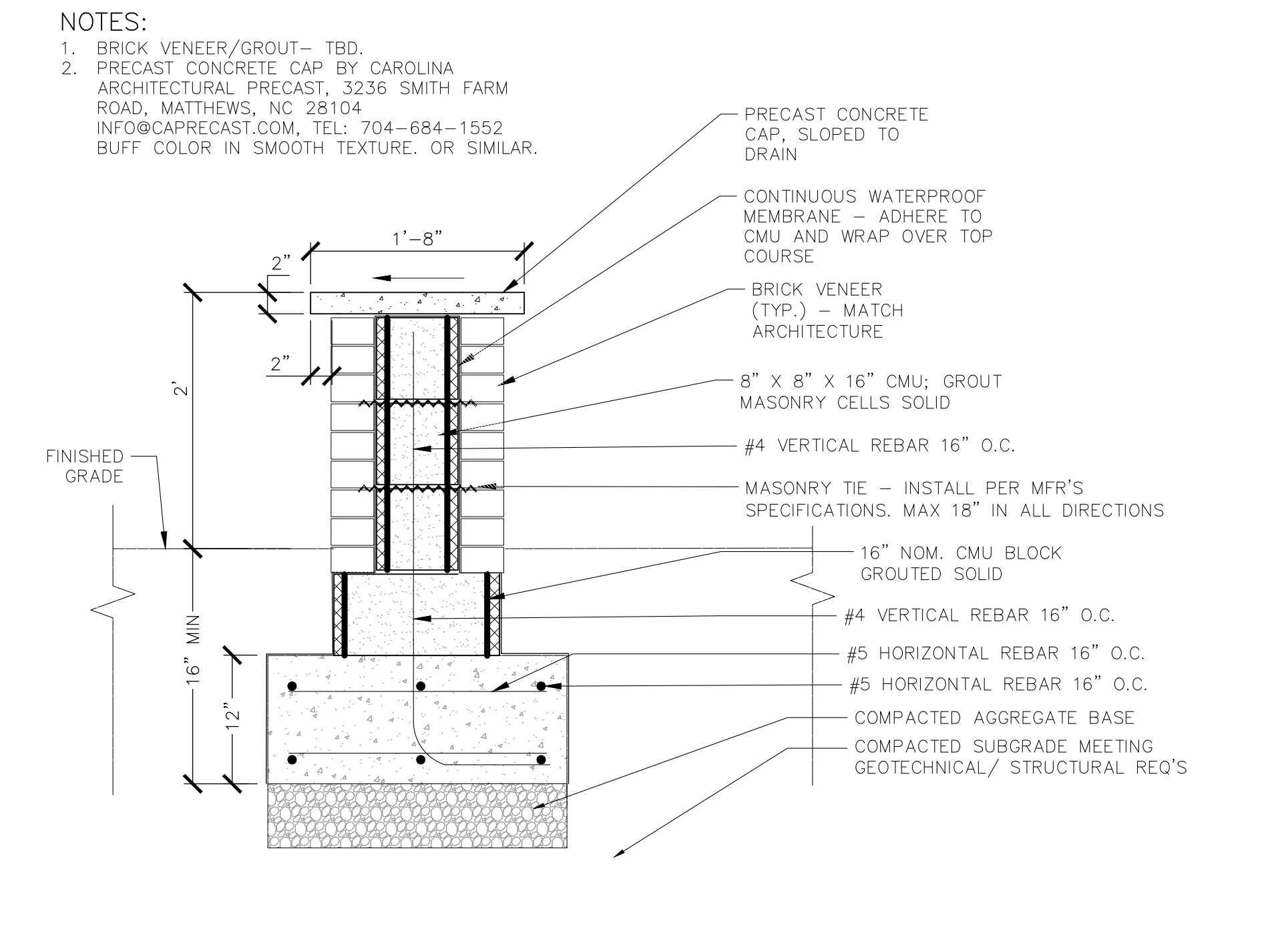
DETAIL 2 - ASPHALT IN PARKING LOT



DETAIL 3 - CURB AND GUTTER



DETAIL 4 - FOUNTAIN ELEVATION



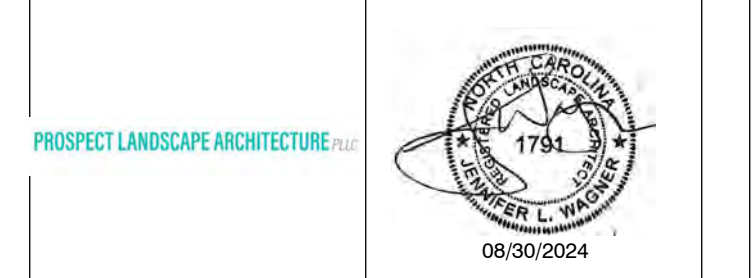
DETAIL 5 - SEAT WALL AT FOUNTAIN



DETAIL 6- BOARDWALK

No.	Revision/Issue	Date
6	CD'S AND PHASING-REV	08/30/2024
5	CD'S AND PHASING	04/12/2024
4	PARKING REVISION	03/29/2024
3	100% DD	10/23/2023
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 227 GLASCOCK STREET
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Project/Client:
 CITY OF ASHEBORO
 DAVID & PAULINE JARRELL CENTER CITY GARDEN
 205 S. Cox Street, Asheboro, NC 27203

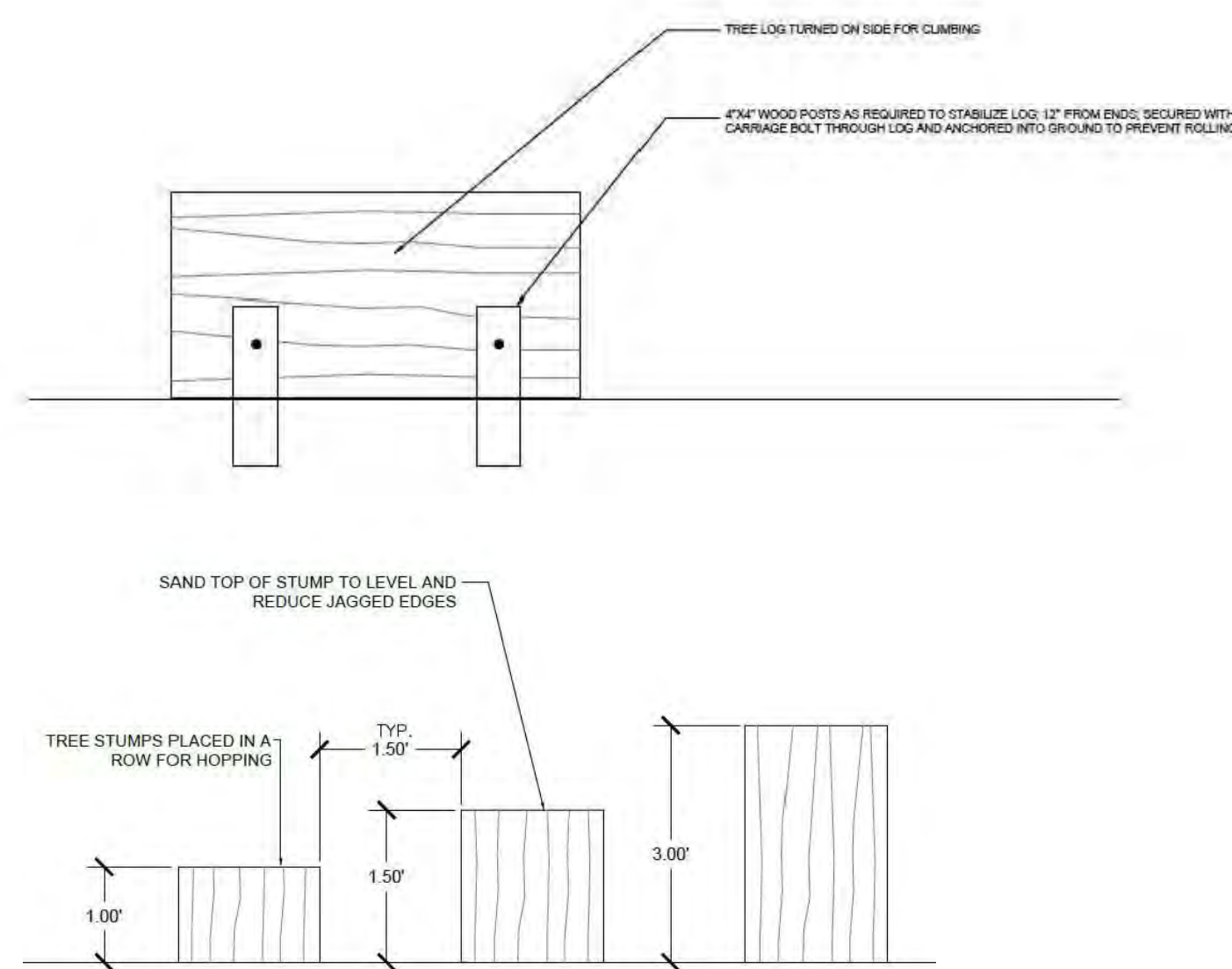
CENTER CITY GARDEN	SITE DETAILS
2024/08/30	L502



- 2 SIGNS: ONE WITH "VAN ACCESSIBLE" LANGUAGE ADDED.
- LOCATED AS SHOWN ON PLAN.
- 12"x18" FOR STANDARD SIGN.
- 12"x6" FOR VAN ACCESSIBLE SIGN.
- REFLECTIVE FINISH FOR VISIBILITY.
- CORROSION RESISTANT ALUMINUM.
- 1/12" THICKNESS
- SIGNS MOUNTED ON POLES 60" MINIMUM ABOVE PARKING SURFACE.

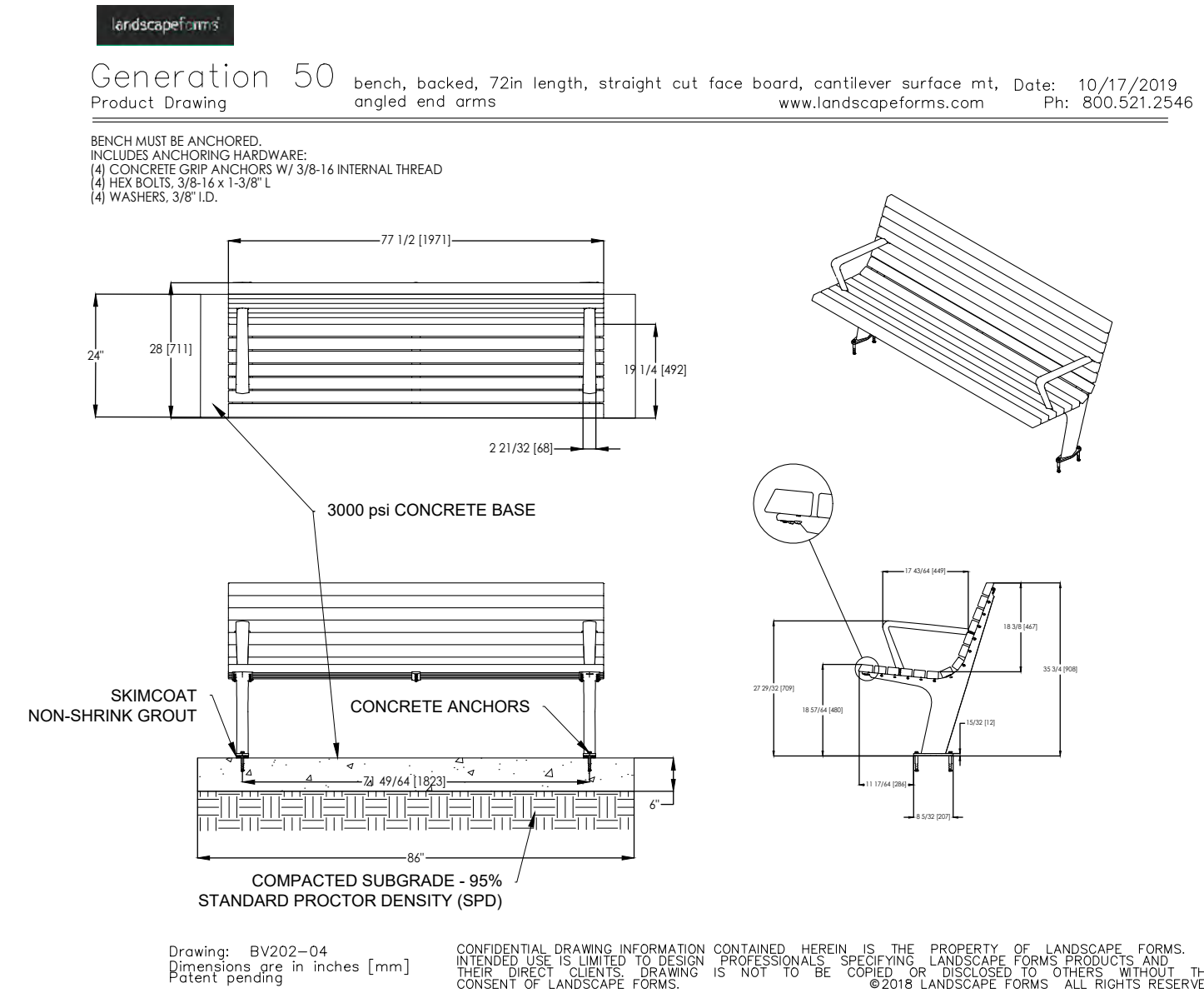
DETAIL 1 - ADA PARKING SIGN

- LOCATIONS TO BE DETERMINED.
- USE ONSITE FELLED TREES FOR NATURE PLAY ELEMENTS.

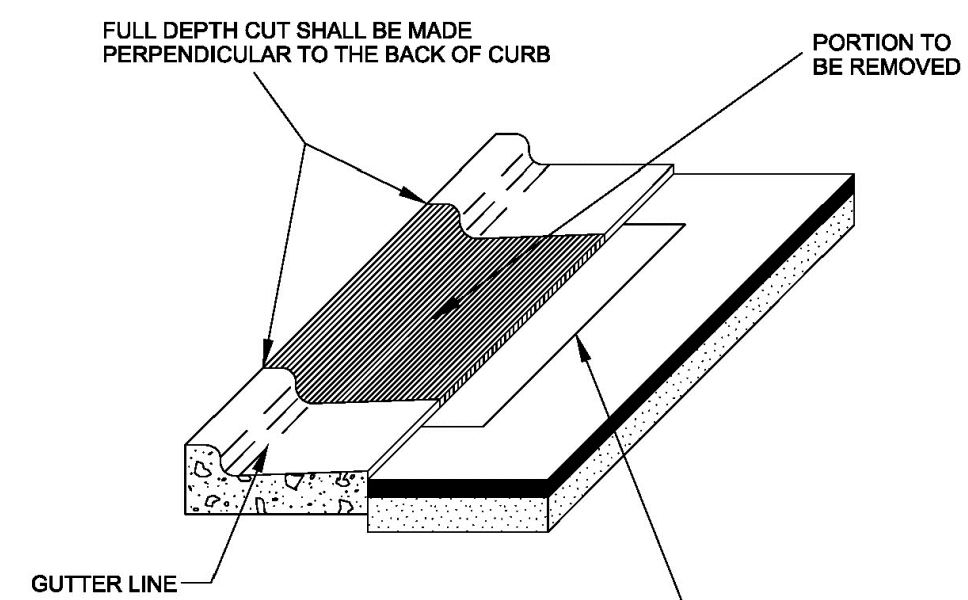


DETAIL 4 - NATURE PLAY ELEMENTS

PURCHASED BY OWNER, INSTALLED BY CONTRACTOR.



DETAIL 2 - BENCH AND MOUNTING

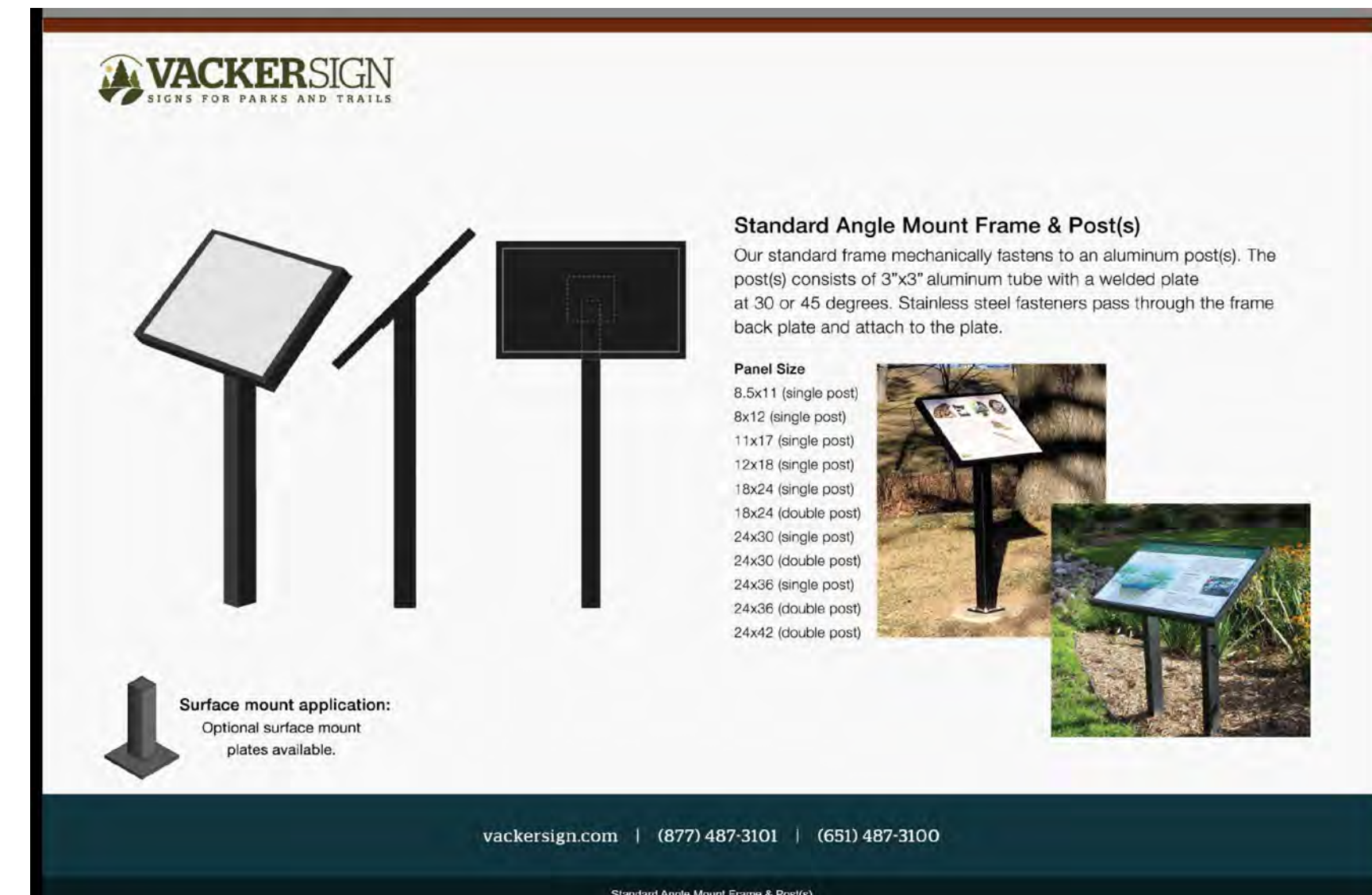


IF THE FINAL LIFT OF ASPHALT HAS BEEN INSTALLED AND IS DAMAGED DURING CURB REMOVAL, A ONE FOOT WIDE SECTION OF ASPHALT SHOULD BE SAWCUT AND REMOVED FOR FORMS TO BE USED TO KEEP A STRAIGHT EDGE ON THE DRIVEWAY APRON. REINSTALL HOT MIX SURFACE ASPHALT PATCH \$9.55.

IF THE FINAL LIFT OF ASPHALT HAS NOT BEEN INSTALLED, THE ASPHALT IN FRONT OF THE APRON CAN REMAIN IN PLACE.

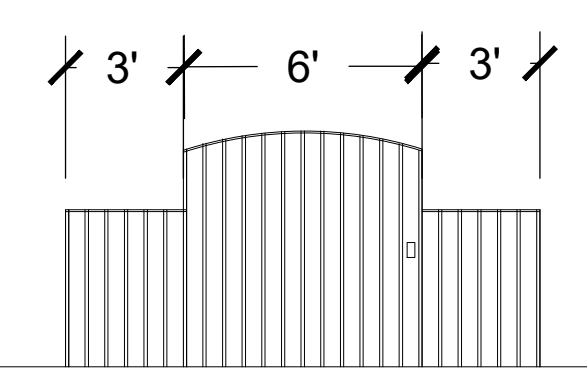
- NOTES:
1. CURB AND GUTTER SECTION SHALL BE REMOVED IN ACCORDANCE WITH DRIVEWAY WIDTH APPROVED BY THE CITY.
 2. IF PERPENDICULAR CUT IS LESS THAN 5' FROM NEXT JOINT, THEN THE PARALLEL CUT SHALL BE MADE TO THAT JOINT.
 3. THIS METHOD IS NOT ALLOWED IN NEW ROADWAY CONSTRUCTION.

DETAIL 5 - CURB AND GUTTER DEMO AT ROAD



- SIGNAGE CONTENT AND LOCATIONS TO BE DETERMINED.
- INTERPRETIVE SIGNS BY VACKER SIGN OR SIMILAR.
- <https://vackersign.com/products/interpretive-signs/>

DETAIL 3 - EDUCATIONAL SIGNAGE



1. FINAL DESIGN TO BE DETERMINED.
2. WROUGHT IRON DECORATIVE GATE AT PEDESTRIAN PLAZA ENTRY TO GARDEN.
3. POSSIBLE DONOR OPPORTUNITY.
4. UTILIZE DAKOTA FAB & WELDING OR SIMILAR. <https://www.dakotafabwelding.com/>



INSPIRATION IMAGES DETAIL 6- ENTRY GATE

No.	Revision/Issue	Date
6	CD'S AND PHASING-REV	08/30/2024
5	CD'S AND PHASING	04/12/2024
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Project/Client:
CITY OF ASHEBORO
DAVID & PAULINE JARRELL CENTER CITY GARDEN
205 S. Cox Street, Asheboro, NC 27203

CENTER CITY GARDEN	SITE DETAILS
2024/08/30	L503

Zoning Compliance Permit

City of Asheboro

146 N. Church Street - P.O. Box 1106

Asheboro, NC 27204

Tel: (336) 626-1201 Fax: (336) 626-1218



Permit Number: 234900373

Issue Date: 12/08/2025

Expiration Date: 12/08/2026

Total Fees Paid: \$0.00

Owner: CITY OF ASHEBORO

Permitee: Trevor Nuttall

Address: 205 S COX ST

Parcel ID Number: 7751829013

Property Zoning: OA6/RA6

**Overlay District: Tier 2 Center City
Planning Area**

Additional Address: 179 S COX ST

Additional Parcel: 7751920109

Additional Address: No Physical Address

Additional Parcel: 7751921296

Additional Address: No Physical Address

Additional Parcel: 7751920235

Proposed Use: Public Use Facility-

Class of Work: New Construction

**Proposed Structure Sq Ft: 0 Gross Floor
Area; Pergola and Elevated Boardwalk size
per approved site plan**

Front Setback: 5 - 25 Feet Build-to line

**Rear Setback: 20 Feet or Buffer/Screen C
where applicable**

Existing Use: Undeveloped

**Number of Structures: 2 (Pergola and
Elevated Boardwalk)**

**Side Setback: 10 Feet or Buffer/Screen C
where applicable**

Maximum Building Height: 35 Feet

**Number of Required Parking Spaces: 0
Required; 27 Provided including 2 ADA**

Description of Work: Jarrell Center City Garden

**Permit Notes: This permit is for Phases 1 - 3 of the project. The future phase (location of
Historic Law Office or construction of Visitor's Center) will require a separate zoning permit
review and approval.**

All provisions of the Zoning Ordinance and other City ordinances will be complied with, whether specified herein or not.
Plans approved by the City of Asheboro as part of this application are considered part of this application.

Trevor Nuttall
Applicant

A handwritten signature in black ink, appearing to read "TNT", written over a horizontal line.

This is to certify that I find the application to be in accordance with the provisions of the law relating to zoning in the City of Asheboro, that the same has been approved and entered into the records of this Department.

A handwritten signature in black ink, written over a horizontal line.

Zoning Official

CERTIFICATE OF PLAN APPROVAL



The posting of this certificate certifies that an erosion and sedimentation control plan has been approved for this project by the North Carolina Department of Environmental Quality in accordance with North Carolina General Statute 113A – 57 (4) and 113A – 54 (d) (4) and North Carolina Administrative Code, Title 15A, Chapter 4B.0107 (c). This certificate must be posted at the primary entrance of the job site before construction begins and until establishment of permanent groundcover as required by North Carolina Administrative Code, Title 15A, Chapter 4B.0127 (b).

**David & Pauline Jarrell Center City Garden
205 S. Cox Street Asheboro, NC 27203**

10/30/2024

Date of Plan Approval



RANDO-2025-0131

Project Identifier

Certificate of Coverage Number: _____



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

JOSH STEIN
GOVERNOR

DANIEL H. JOHNSON
SECRETARY

December 5, 2025

**Chatham County EXTENSION to County Driveway Permit File Number
D081-076-24-00029 (Jarrell Center City Garden)**

Re: Commercial Driveway Permit Application with Entrance onto SR-2327 (S. Cox Street)

City of Asheboro
c/o Mr. Justin Luck
146 N. Church Street
Asheboro, NC 27203

Mr. Luck,

Your request for an extension of Driveway Permit # **D081-076-24-00029** concerning an entrance on SR-2327 is approved, subject to the same stipulations as originally approved. The extension of the above-mentioned permit is valid for one year from December 5, 2025.

The owner/Developer & Engineer is advised that any changes to the approved site plan or construction of any structures which will add additional traffic to the site may require issuance of a new driveway permit and/or encroachment approval by NCDOT.

If you have any questions or need any additional information, please do not hesitate to contact this office.

Sincerely,

DocuSigned by:

Justin Richardson

ED09AE5A55994AD...

Justin Richardson
District Engineer

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DISTRICT OFFICE
300 DOT DRIVE
ASHEBORO, NC 27205

Telephone: (336) 318-4000
Fax: (336) 318-4010

Location:
300 DOT DRIVE
ASHEBORO, NC 27205

Website: www.ncdot.gov

From: [Justin Luck](#)
To: [Kimes, Tyler J](#)
Subject: [External] Jarrell Center City Garden Driveway Permit
Date: Friday, December 5, 2025 1:51:43 PM
Attachments: [image002.png](#)
[20186427-D0810762400029 Approval Package David and Pauline Jarrell Center City Garden SR 2327 20240422.pdf](#)

CAUTION: External email. Do not click links or open attachments unless verified. Report suspicious emails with the Report Message button located on your Outlook menu bar on the Home tab.

Hi Tyler,

Hope you are doing well. It's been a long haul, but the city has acquired funds to begin construction on the Jarrell Center City Garden on S. Cox St. We anticipate construction to begin in the next 2-3 months. In looking at our driveway permit approval, it was issued in April of last year, so we are thinking it's now void. How do we go about renewing it or getting a new one? There are no proposed changes to the driveway from what was approved.

Thanks,

Justin

Justin T. Luck, AICP
Planning & Zoning Director
Planning & Zoning Dept.
336-626-1201 x 2392
www.asheboronc.gov



Email correspondence to and from this sender is subject to the North Carolina Public Records Law and may be disclosed to third parties.

FRAUD ADVISORY: The City of Asheboro does not utilize wire transfers for payment of application fees. Payment links will be sent from wo.iworq.net.



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J.R. "JOEY" HOPKINS
SECRETARY

April 19th, 2024

Randolph County Driveway Permit File Number D081-076-24-00029
(Jarrell Center City Garden)

Re: Commercial Driveway Permit Application with Entrance onto SR-2327 (S. Cox Street)

City of Asheboro
c/o Mr. John Ogburn
146 N. Church Street
Asheboro, NC 27203

Dear Mr. Ogburn,

Personnel assigned to this office have conducted a review of the permit application & plans and approval is granted subject to the following stipulations:

1. This approval covers only work associated with the construction of an entrance connection to the NCDOT maintained roadway. This driveway permit is void if work has not begun within one year from the date of this letter.
2. The entrance onto SR 2327 is to be constructed in accordance with the attached plan sheets.
3. The entrance onto SR 2327 shall require radii on each side of the driveway as shown on the attached drawing.
4. No parking or outdoor advertising (signs) shall be allowed inside the right of way of SR 2327.
5. Any areas inside the right of way disturbed during construction shall be seeded and mulched immediately upon completion of construction.
6. Upon completion of construction, final approval by the District Engineer is required prior to opening the access connection for public use (page 9 Driveway Manual).
7. **The Owner/Developer & Engineer is advised that any changes to the approved site plan or construction of any structures which will add additional traffic to the site will require issuance of a new driveway permit and encroachment by NCDOT.**
8. **Any work proposed within existing or proposed NCDOT right of way not covered in the above stipulations shall be constructed in accordance with an NCDOT approved Encroachment Agreement. An approved Encroachment Agreement will show all**

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
DISTRICT OFFICE
300 DOT DRIVE
ASHEBORO, NC 27205

Telephone: (336) 318-4000
Fax: (336) 318-4010


Location:
300 DOT DRIVE
ASHEBORO, NC 27205

Website: www.ncdot.gov

roadway details including, but not limited to, roadway widening, drainage and pavement markings. When construction activities are covered under both an approved NCDOT Driveway Permit and an approved NCDOT Encroachment Agreement, those construction activities shall be considered to be covered under the NCDOT approved Encroachment Agreement.

Attached to this correspondence please find an approved copy of TEB Form 65-04 (Driveway Permit Application - N. C. Department of Transportation). Upon completion of the driveway entrances construction please notify the District Engineer Office (Phone (336)318-4000) so a final inspection of the entrances can be made.

Sincerely,

DocuSigned by:

746DFD671EFA474...

R. J. Monroe
District Supervisor

APPLICATION IDENTIFICATION		N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION
Driveway Permit No. D081-076-23-00075	Date of Application 09/21/2023	
County: Randolph		
Development Name: David and Pauline Jarrell Center City Garden		

LOCATION OF PROPERTY:

Route/Road: S. Cox St. (S.R. 2327)

Exact Distance 320 Miles Feet N S E W

From the Intersection of Route No. 2327 and Route No. E. Academy St. Toward Worth St.

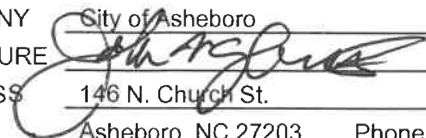
Property Will Be Used For: Residential /Subdivision Commercial Educational Facilities TND Emergency Services Other
Property: is is not within Asheboro City Zoning Area.


AGREEMENT

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during and following construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- I agree that the entire cost of constructing and maintaining an approved private street or driveway access connection and conditions of this permit will be borne by the property owner, the applicant, and their grantees, successors, and assignees.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**

SIGNATURES OF APPLICANT

PROPERTY OWNER (APPLICANT)

COMPANY City of Asheboro
SIGNATURE 
ADDRESS 146 N. Church St.
Asheboro, NC 27203 Phone No. 336-626-
1201

WITNESS
NAME Brad Morton
SIGNATURE 
ADDRESS 146 N. Church St.
Asheboro, NC 27203

AUTHORIZED AGENT

COMPANY _____
SIGNATURE _____
ADDRESS _____
Phone No. _____

WITNESS
NAME _____
SIGNATURE _____
ADDRESS _____

APPROVALS


APPLICATION RECEIVED BY DISTRICT ENGINEER

DocuSigned by:
 District Supervisor
SIGNATURE DATE

APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)

 Planning + Zoning Admin 9-21-23
SIGNATURE TITLE DATE

APPLICATION APPROVED BY NCDOT

DocuSigned by:
 District Supervisor 04/19/2024
SIGNATURE TITLE DATE

INSPECTION BY NCDOT

SIGNATURE TITLE DATE

COMMENTS:

ATTACHMENT FORM

NOTIFICATION FOR UTILITY / NON-UTILITY ENCROACHMENT WITHIN NCDOT R/W

Instructions for use:

This form must be completed in its entirety and submitted directly to the designated personnel in the District Engineer's office via email, fax or hand delivery a minimum of one week prior to construction for the encroachment. If the designated NCDOT personnel names are unknown by the person completing this form, please contact the District Engineer's office to determine that contact info.

Date: _____ Submitted by Name: _____

To: District Personnel Name: Tyler Kimes
District Personnel Email: tjkimes@ncdot.gov
District Phone: 336-318-4000

This notification is to inform you that we (encroaching party or their contractor) will begin construction work on the following project in a minimum of one week.

Driveway number
(assigned by NCDOT) for the project: D081-076-24-00029

Construction start date: _____

Approximate ending date: _____

Contact NCDOT inspector a minimum of 72 hrs. in advance to set-up Preconstruction meeting in the District Engineer's office or other location as directed by the District Engineer

Preconstruction meeting date & time: _____

Preconstruction meeting address: _____

Type of project: Driveway
[Examples: power, telecommunication, water, sewer, gas, petroleum, other (describe)]

Contact Info for this project:

Contractor Company Name: _____

Contractor Contact Name: _____

Contractor Phone Number: _____

Contractor Email: _____

NCDOT Inspector Name:
Steve Gibbs

NCDOT Inspector Phone:
336-318-4000

NCDOT Inspector Email:
ext-psgibbs@ncdot.gov

NCDOT Project Manager Name:
Tyler Kimes

NCDOT Project Manager Phone:
336-318-4000

NCDOT Project Manager Email:
tjkimes@ncdot.gov

TEMPORARY CONSTRUCTION ENTRANCE | EXIT

DEFINITION: GRAVELED AREA TO BE LOCATED AT POINTS WHERE VEHICLES ENTER AND LEAVE A SITE.

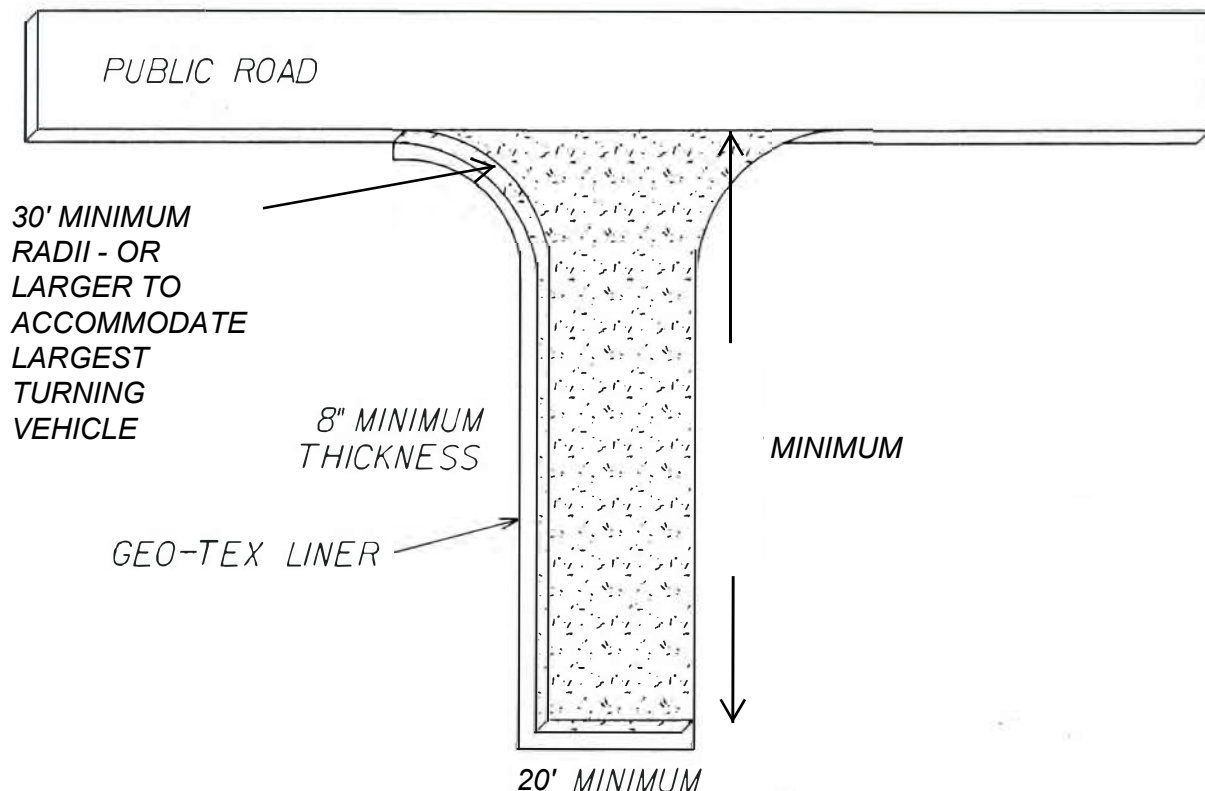
PURPOSE: TO PROVIDE A BUFFER AREA WHERE VEHICLES CAN DROP THEIR MUD AND SEDIMENT TO AVOID TRANSPORTING IT ONTO PUBLIC ROADS. TO CONTROL EROSION FROM SURFACE RUNOFF. AND TO HELP CONTROL DUST.

CONDITIONS: MAINTAIN IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO ADJACENT STREETS. PERIODIC TOPDRESSING OF STONE WILL BE NECESSARY. ANY MATERIAL TRACKED ONTO ROADWAY MUST BE CLEANED UP IMMEDIATELY.
PROVIDE AND INSTALL ADEQUATELY SIZED DRIVEWAY PIPE OF SUFFICIENT STRENGTH MATERIAL TO WITHSTAND CONSTRUCTION TRAFFIC WITHOUT DEFORMATION OF THE PIPE.

DESIGN CRITERIA: USE CLASS A WASHED STONE. WITH GEO TEXTILE LINER.

DIMENSIONS: THICKNESS OF 8 INCH MINIMUM CLASS A STONE
WIDTH OF 20 FOOT MINIMUM AND 50 FOOT MAXIMUM.
LENGTH OF 50 FOOT MINIMUM

LOCATION: LOCATE CONSTRUCTION ENTRANCES AND EXITS TO LIMIT SEDIMENT FROM LEAVING THE SITE AND TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES. AVOID STEEP GRADES AND ENTRANCES AT CURVES ON PUBLIC ROADS.
INSTALL CONSTRUCTION ENTRANCES IN A WAY TO PREVENT VEHICLES FROM BYPASSING CONSTRUCTION ENTRANCE LEAVING PROJECT SITE.



NOT TO SCALE

----- Forwarded message -----

From: **Phillips, George L CIV USARMY CESAW (USA)** <George.L.Phillips@usace.army.mil>

Date: Fri, Aug 23, 2024 at 2:45 PM

Subject: Delineation Concurrence / SAW-2023-01977 / 205 South Cox Street / Asheboro / Randolph County

To: Russell Briggs <russell.briggs@bandfconsulting.com>, Barrett Kays <barrettkays@gmail.com>

ALCON,

Reference is made to ORM ID SAW-2023-01977, please reference this number on any correspondence regarding this action.

We received information from you requesting the Wilmington District, Regulatory Division review and concur with the boundaries of an aquatic resource delineation.

We have reviewed the information provided by you concerning the aquatic resources, and by copy of this e-mail, are confirming that the aquatic resources delineation has been verified by the Corps to be a sufficiently accurate and reliable representation of the location and extent of aquatic resources within the identified PJD Review Area. The location and extent of these aquatic resources are shown on the delineation map, Potential Aquatic Resources Map.

Regulatory Guidance Letter (RGL) 16-01

<https://usace.contentdm.oclc.org/utills/getfile/collection/p16021coll9/id/1256> provides guidance for Jurisdictional Determinations (JD) and states “The Corps generally does not issue a JD of any type where no JD has been requested”. At this time we are only verifying the delineation. This delineation may be relied upon for use in the permit evaluation process, including determining compensatory mitigation. “This verification does not address nor include any consideration for geographic jurisdiction on aquatic resources and shall not be interpreted as such. This delineation verification is not an Approved Jurisdictional Determination (AJD) and is not an appealable action under the Regulatory Program Administrative Appeal Process (33 CFR Part 331). However, you may request an AJD, which is an appealable action.

If you wish to receive a Preliminary Jurisdictional Determination (PJD), or an Approved Jurisdictional Determination (AJD) please respond accordingly, otherwise nothing further is required and we will not provide any additional documentation.

The delineation included herein has been conducted to identify the location and extent of the aquatic resource boundaries and/or the jurisdictional status of aquatic resources for purposes of the Clean Water Act for the particular site identified in this request. This delineation may not be valid for the Wetland Conservation Provisions of the Food Security Act of 1985, as amended. If you or your tenant are USDA program participants, or anticipate participation in USDA programs, you should discuss the applicability of a certified wetland determination with the local USDA service center, prior to starting work.

Lyle Phillips

Regulatory Project Manager

US Army Corps of Engineers

CE-SAW-RG-R

3331 Heritage Trade Drive, Suite 105

Wake Forest, North Carolina 27587

Phone: (919) 588-9200

Fax: (919) 562-0421

Email: George.L.Phillips@usace.army.mil

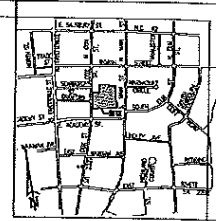
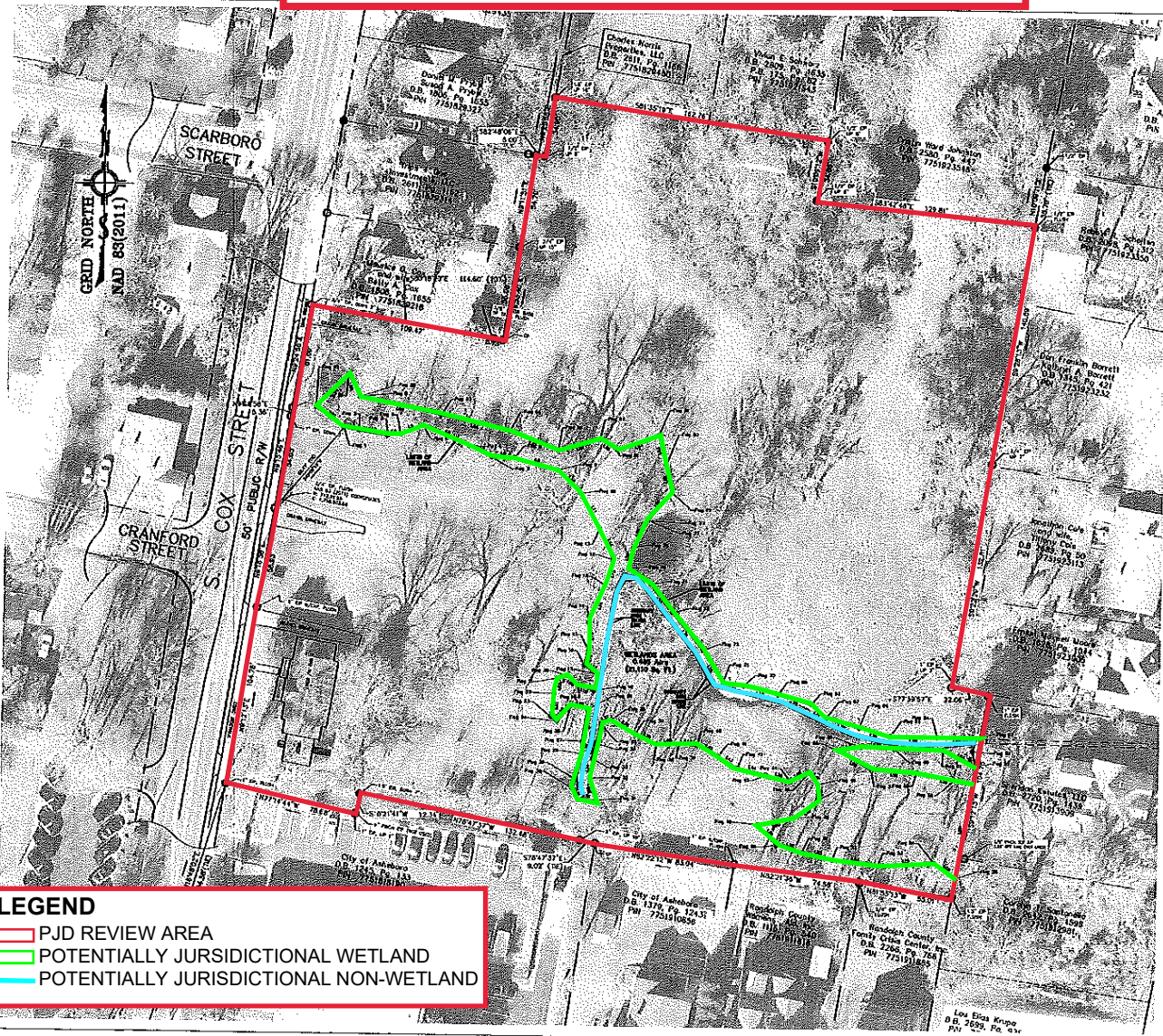
We would appreciate your feedback on how we are performing our duties. Our automated Customer Service Survey is located at <https://regulatory.ops.usace.army.mil/customer-service-survey/>. Thank you for taking the time to visit this site and complete the survey.

POTENTIAL AQUATIC RESOURCES MAP

Line #	Direction	Length
1	S 89°00'00" W	100.00
2	S 89°00'00" W	100.00
3	S 89°00'00" W	100.00
4	S 89°00'00" W	100.00
5	S 89°00'00" W	100.00
6	S 89°00'00" W	100.00
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8	S 89°00'00" W	100.00
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95	S 89°00'00" W	100.00
96	S 89°00'00" W	100.00
97	S 89°00'00" W	100.00
98	S 89°00'00" W	100.00
99	S 89°00'00" W	100.00
100	S 89°00'00" W	100.00

LEGEND

- PJD REVIEW AREA
- POTENTIALLY JURISDICTIONAL WETLAND
- POTENTIALLY JURISDICTIONAL NON-WETLAND



- NOTES**
- Total Parcel Area (Acres): 4.22 Acres (179,322 Sq Ft)
 - Deed References -
 - Plat 721818003 - D.B. 2674, Pg. 1736
 - Plat 721818008 - D.B. 2674, Pg. 1123
 - Plat 721818003 - D.B. 2417, Pg. 1243
 - Plat 721818008 - D.B. 2674, Pg. 623
 - The property boundary shown represents the outer boundary of the above parcel. It is not a recorded owner.
 - Survey performed using North Carolina Network 8K system. NAD 83 (2011) datum. Field Survey Date June 7, 2023. UAS US Survey. Footcandle shown are ground unless otherwise indicated.
 - All points unless noted are 5/8" iron pins set flush with ground.
 - Location not shown hereon are located by close ground indicators only, unless otherwise noted.
 - This project is subject to the rules and all state of the State of North Carolina.
 - The purpose of this survey is to establish the location of the potential aquatic resources. No other information provided by Robert L. East, P.E., O.P.S., L.S., P.A., F.A.S.A.

I certify that I prepared this map and draw to the best of my actual survey made by me (field observation recorded in D.B. 2674, Pg. 1246, D.B. 2674, Pg. 1123, D.B. 2417, Pg. 1243, D.B. 2674, Pg. 623) and that the boundaries and acreage are indicated on these documents in accordance with the laws of the State of North Carolina and that this map meets the requirements of the Standards of Practice for Land Surveying in North Carolina (as amended 1/2023).

Robert L. East, P.E., O.P.S., L.S., P.A., F.A.S.A.

CITY OF ASHEBORO
ENGINEERING DEPARTMENT
148 NORTH CHURCH STREET
ASHEBORO, NORTH CAROLINA

THE DAVID AND PAULINE JARRELL
CITY CENTER GARDEN

Scale
Metric: 1" = 10'
Foot: 1" = 40'

Date: 06/25/2023

Drawn By: RS

Checked By:

Disk No.

Drawing No. 00000

Job No. 17-201

Sheet No.

1 of 1