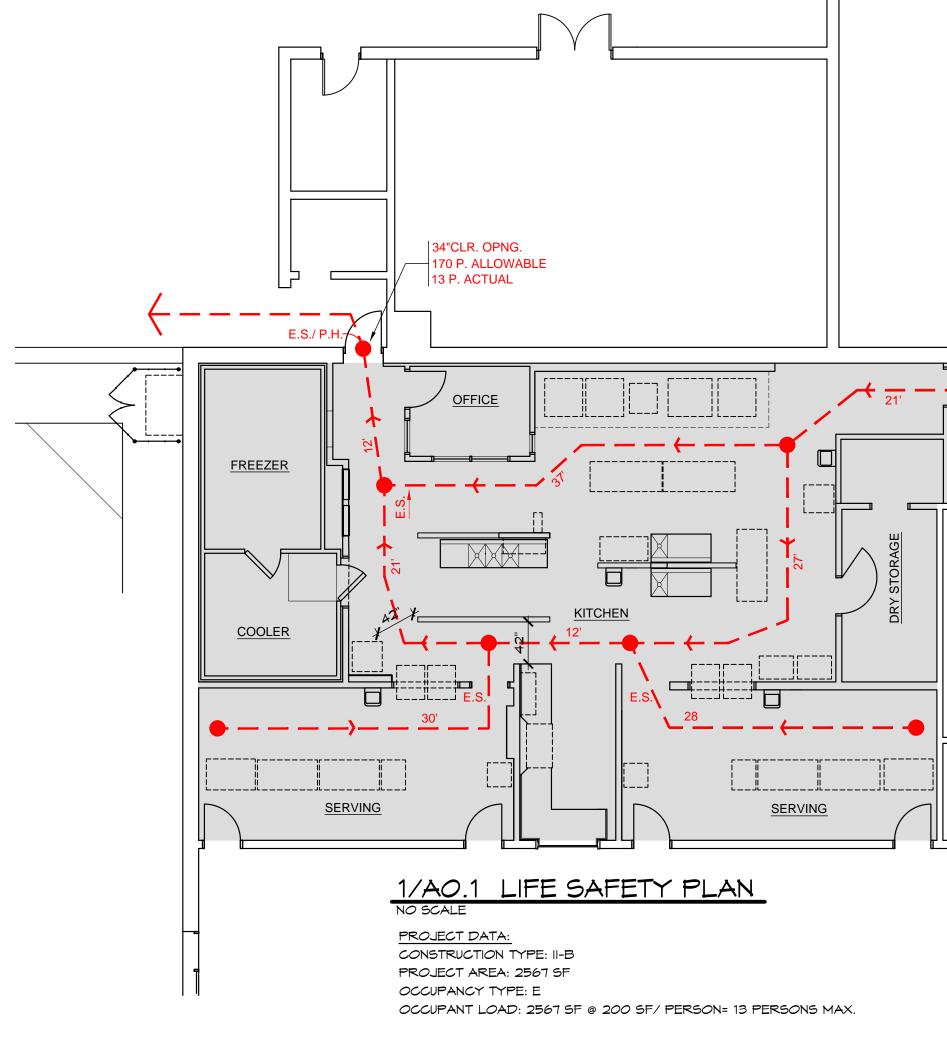
BOLTON ELEMENTARY SCHOOL

Kitchen Renovation

Winston Salem/Forsyth County Schools Winston-Salem, North Carolina



TOILET ()

2018 APPENDIX B - BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Projec Address:	1250 BOLTON	TON ELEMENTARY KIT ST, WINSTON-SALEM,			Z	Zip Code: 27103
Proposed Use: Owner/Auth. Ag	gent: CARLOS SANE		Pr	ione: 336-399-6214	Email: C	Sanders@wsfcs.k12.nc.us
Owned By: Code Enforcen	nent Jurisdiction: County	Winston-Salem	Private County	Forsyth	State State	
CONTACT: P	ERRY PETERSON, ARCHITE	ECT				
DESIGNER:	FIRM:		NAME:	LICENSE #:	TELEPHONE #:	EMAIL:
Architectural Civil	PETERSON/GORDO	N ARCH.	PERRY PETERSON	NC 5141	(336) 760-1411	pgarch@triad.twcbc.com
Electrical Fire Alarm	CONSULTANT ENGI	NEERING SERVICE	CHRIS STROUPE	NC 15886	(336) 724-0139	chris@ceseng.net
Plumbing	CONSULTANT ENGI	NEERING SERVICE	CHRIS STROUPE	NC 15886	(336) 724-0139	chris@ceseng.net
Mechanical Sprinkler/Stanc	CONSULTANT ENGI	NEERING SERVICE	CHRIS STROUPE	NC 15886	(336) 724-0139	chris@ceseng.net
Structural Retaining Walls	>5' High					
Other	s >o riigii					
2018 EDITION		New Construction		ddition	Upfit	
	Ĭ	Reconstruction	AI	teration	Repair	
CONSTRUCTE DCCUPANCY	ED <u>1966</u> CATEGORY (Table 1604.5): Cu		DUCATIONAL RENO Proposed:	VATED 2021 III	CURRENT O	DCC. EDUCATIONAL
		BAS	IC BUILDING	DATA		
Construction T	ype I-A		II-A 🗌 IV-A	□ V-A		
Vixed Construe	ction: I-B	II-B II-B II-B II-B II-B	II-B IV-B	U-В		
Sprinklers:	No	Partial		Yes		PA 13R NFPA 13D
Standpipes: Primary Fire Di	strict: No	Yes Class	s: 🔲 I	□ "		t Dry
Flood Hazard A	Area: No	Yes				
Special Inspect	tions Req'd: No	Yes				
LOOR:	EXISTING BUILDING		BUILDING AR EW (SQ. FT.)	CATABLE	SUBTOTAL	
4th Floor						
3rd Floor						
2nd Floor 1st Floor		NO CHAN	IGE IN BUILDING AREA			
TOTAL						
		Δ1				
Primary Occup	ancy: Assembly	AL			A-4	A-5
	Business					
	Educational Factory	F-1 Moderate	F-2 Low			
	Hazardous	H-1 Detonate	H-2 Deflagrate	H-3 Combust	ible H-4 Health	H-5 HPM
	Institutional I-3 Condition		□ I-2 □ 2	□ I-3 □ 3		□ 5
	Mercantile			\Box	L *	
	Residential Storage	R-1 S-1 Moderate	□ R-2 □ S-2 Low	R-3	R-4	
	Utility and Misc.	Parking Garage	Open	Enclosed	Repair Gara	3ge
Accessory Occ	upancy:					
	Assembly	A-1	A-2	A-3	A-4	A-5
	Business Educational					
	Factory	F-1 Moderate	F-2 Low			
	Hazardous	H-1 Detonate	H-2 Deflagrate	H-3 Combust		H-5 HPM
	Institutional I-3 Condition	□ ^{I-1} □ 1	□ I-2 □ 2	□ I-3 □ 3	☐ I-4 ☐ 4	□ 5
	Mercantile					
	Residential Storage	R-1	R-2 S-1 Low	R-3 High-piled	R-4	
	Utility and Misc.	Parking Garage	Open		Repair Gara	ige
ncidental Uses	s: (Table 509):					
Special Uses:						
- Special Provisi	ons:					
Aixed Occupar	ncy: No Yes	Separation:		E>	ception:	
	· · · ·	not exempt as a Non-Sep	arated Use (see exception	s).		
	Non-Separated Us The required type	se of construction for the buil	ding shall be determined h	v applying the beight	and area limitations for co	ich of the applicable
	occupancies to the	e entire building. The mos				
	Separated Use For each story, the	e area of the occupancy sh	nall be such that the sum o	f the ratios of the actua	al floor area of each use d	livided by the allowable
	floor area for each	use shall not exceed 1.	uut alut ale sull 0			
		ea of Occupancy A	- + -	Actual Area of C Allowable Area of		\leq 1
		+		· +		1
		I		•••••	••	- —
			(A)		(C) (D)	(E) (F)
BUILDING/	DESCRIPTION				A FOR AREA FOR	ALLOWABLE MAXIMU
BUILDING/ STORY NO.	DESCRIPTION AND USE		LDG AREA ER STORY		NTAGE SPRINKLER	AREA OR BUILDIN
STORY NO.	AND USE	PE (ER STORY ACTUAL)	AREA FRO	NTAGE SPRINKLER REASE ¹ INCREASE ²	UNLIMITED ³ AREA
		PE (ER STORY	AREA FRC	NTAGE SPRINKLER REASE ¹ INCREASE ²	
STORY NO.	AND USE	PE (ER STORY ACTUAL)	AREA FRO	NTAGE SPRINKLER REASE ¹ INCREASE ²	UNLIMITED ³ AREA

LIFE SAFETY PLAN SHEET - A1.0

c. Ratio (F/P) = 10FA (F/P)
d. W = Minimum width of public way = N/A (W)
e. Percent of frontage increase 1_f = 100 [F/P - 0.25] x W/30 = N/A %
2. Unlimited area applicable under conditions of Section (507)
3. Maximum Building Areas= total number of stories in the building x D (maximum 3 stories) (506.2) The maximum area of open parking garages must comply with Table 406.8.4. The maximum area of air traffic control towers must comply with Table 412.3.1
 Frontage increase is based on the unsprinklered area value in Table 506.2

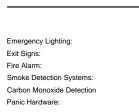
ALLOWABLE HEIGHT							
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE				
BUILDING HEIGHT IN FEET	55'	NO CHANGE	2018 CODE				
BUILDING HEIGHT IN STORIES	2 STORIES	NO CHANGE	2018 CODE				

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE	R	ATING	DETAIL #	DESIGN #	DESIGN # FOR	DESIGN #
	SEPARATION DISTANCE (FEET)	REQ'D	PROVIDED (W/* REDUCTION)	AND SHEET #	FOR RATED ASSEMBLY	RATED PENETRATION	FOR RATED JOINTS
Structural frame, including columns, girders, trusses	>30'	0	EXIST NO CHANGE				
Bearing walls	N/A	0	EXIST NO CHANGE				
Exterior	>30'	0	EXIST NO CHANGE				
North	>30'	0					
East	>30'	0					
West	>30'	0					
South	>30'	0					
Interior		0	EXIST NO CHANGE				
Nonbearing walls and partitions							
Exterior							
North	>30'	0	EXIST NO CHANGE				
East	>30'	0					
West	>30'	0					
South	>30'	0					
Interior walls & partitions		0	EXIST NO CHANGE				

FLOOR

BUILDING ELEMENT	FIRE	RA	TING	DETAIL #	DESIGN #	DESIGN # FOR	DES
	SEPARATION DISTANCE (FEET)	REQ'D	PROVIDED (W/* REDUCTION)	AND SHEET #	FOR RATED ASSEMBLY	RATED PENETRATION	F RA JO
Floor construction							
Including supporting beams	>30'	0					
and joists							
Roof construction							
Including supporting beams	>30'	0					
and joists							
Shafts - Exit	N/A						
Shafts - Elevator/Other	N/A						
Corridor Separation	. N/A						
Occupancy/Fire Barrier Separation	N/A						
Fire Wall Separation	N/A						
Smoke Barrier Separation	N/A						
Smoke Partition	N/A						
Tenant Separation	N/A						
Incidental Use Separation	N/A						



Exit Signs: Fire Alarm:

LIFE	SAFETY REQUIREMENTS
No No	Yes
No No	Yes
No No	Yes
No	Yes
No	Yes
No	Yes

		LIFE	E SAFE	ETY PLAN RE	QUIREMENT	S	
Life Safety P	lan Sheet #: 1/A0.1						
	Assumed and r	oke wall locations (eal property line loo ening area with res	cations (if no	ot on site plan) ance to assumed propert	y lines (705.8)		
	Occupant loads Exit access trav Common path Dead end lengt Clear exit widtt Maximum calcu Actual occupan A separate sch occupancy sep Location of doc Location of	i for each area vel distance (1017) of travel distances hs (1020.4) is for each exit doo lated occupant cap t load for each exit dematic plan indicat aration rs with panic hardw rs with delayed egy rs with delayed egy rs with hold-open c argency escape wit tage of each fire ar tage of each smoke) (1006.2.1 & pacity each t door ting where fi ware (1010./ rress locks a unetic egress devices nodows (1030/ rea (202) e compartm	exit exit door can accome ire rated floor/clg and/or m 1.10) ind the amount of delay (1 s locks (1010.1.9.9) 0)	odate based on egress wir pof assembly is provided 1 1010.1.9.7)		
				(SECTION 1106) TO EXISTING PARKING			
		MINIMUN NUMBER OF I		TRAVEL D	DISTANCE	ARRANGEMEI EGRESS ^{1,3} (SE	
FLOOR	ROOM OR SPACE DESIGNATION		SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1016.1)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN	ACTUAL DISTANCE SHOWN ON

ROOM OR SPACE DESIGNATION	REQUIRED	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1016.1)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS
KITCHEN AREA	1	1	75'	73'	N/A	N/A
	*OVER	ALL NUMBER	R OF EXITS			

EXIT WIDTH

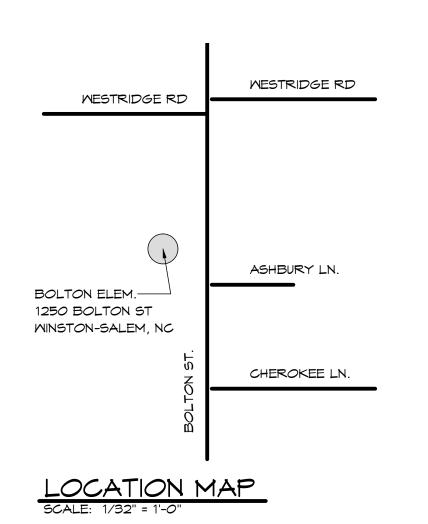
	(a)	(b)		(C)	EXI	T WIDTH (ir)2,3,4,5,6	
USE GROUP OR SPACE DESCRIPTION	AREA ¹ SQ. FT.	AREA ¹ PER OCCUPANT (TABLE	CALC. OCCUPANT LOAD	PER OC	EGRESS WIDTH PER OCCUPANT (TABLE 1005.1)		DWIDTH N1005.1))xc	ACTUAL SHOWN C	
		1004.1.1)	A ÷ B	STAIR	LEVEL	STAIR	LEVEL	STAIR	LEVEL
KITCHEN AREA	2,567 sf	200	13	.2			2.6"		34"

See Table 1004.1.1 to determine whether net or gross area is applicable. See definition "Area, Gross" and "Area, Net" (Section 1002) Minimum stairway width (Section 1009.1); min. corridor width (Section 1017.2); min. door width (Section 1008.1) Minimum width of exit passageway (Section 1021.2)

See Section 1004.5 for converging exits.
 The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1)
 Assembly occupancies (Section 1025)

PLUMBING FIXTURE REQUIREMENTS NO CHANGES TO EXISTING STUDENT RESTROOMS

	RESTROOMS FOR KITCHEN STAFF BELOW							
		WATERCLOSETS	URINALS	LAVATORIES	SHOWERS/	DRINKING F	OUNTAINS	
		UNISEX		UNISEX	TUBS	REGULAR	ACCESSIBLE	
	PROVIDED	1		1		N/A	N/A	
REQUIRED		1		1		N/A	N/A	



PETERSON GORDON

ARCHITECTS ΡA

3508-A VEST MILL ROAD WINSTON - SALEM NC TEL (336) 760-1411

EMAIL info@petersongordon.com

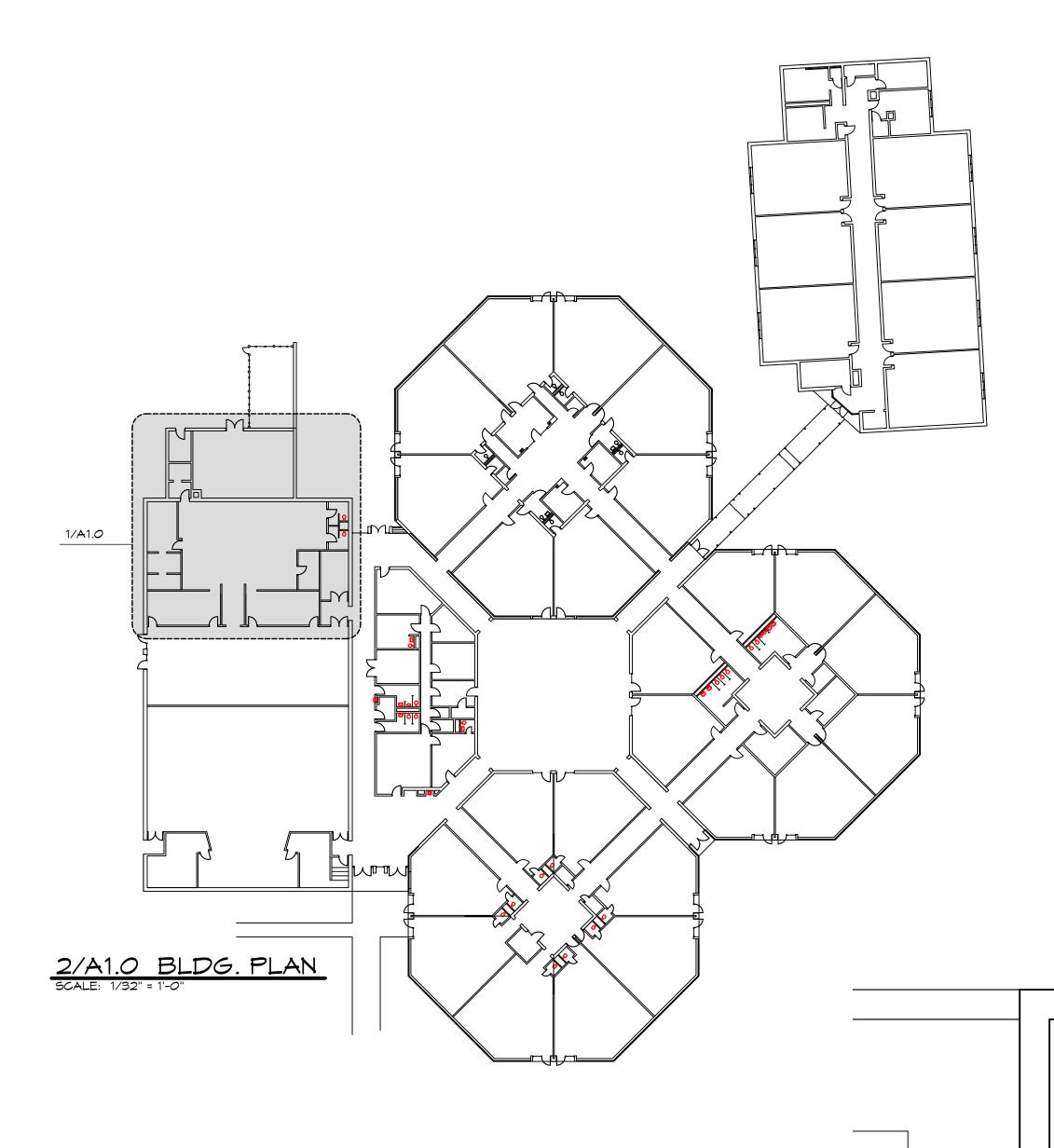


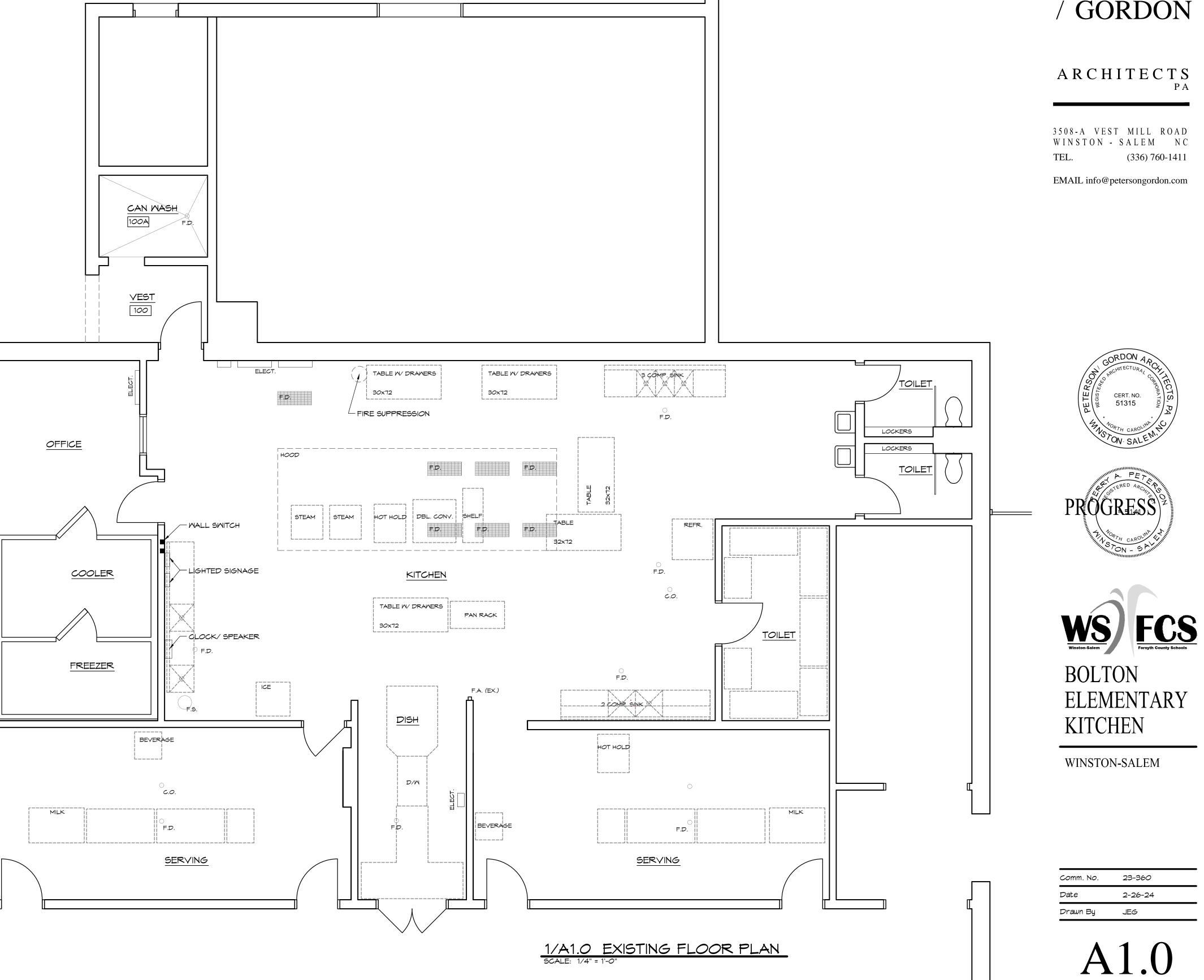


WINSTON-SALEM

Comm. No.	23-360
Date	2-26-24
Drawn By	JEG

A0.1



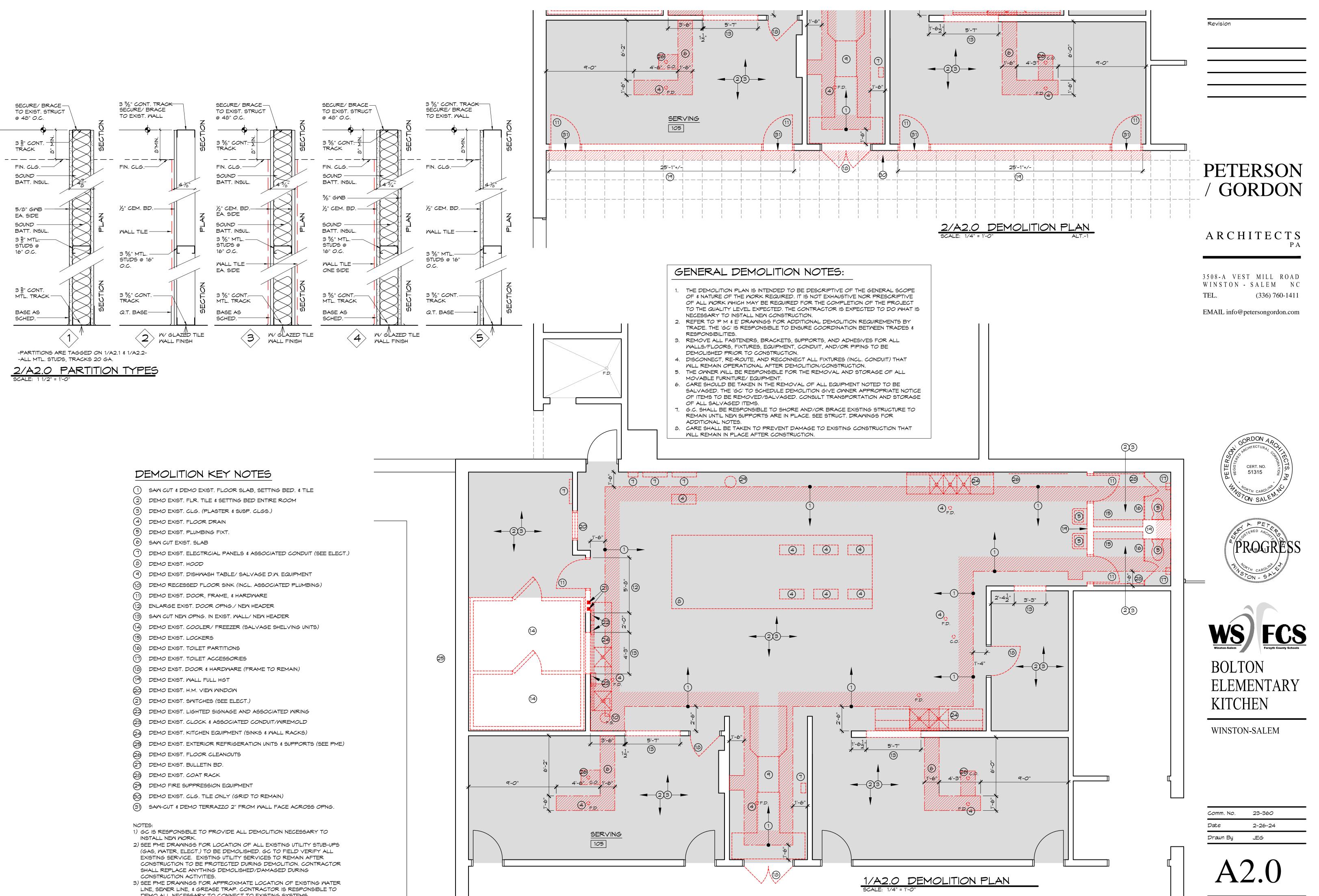


PETERSON / GORDON

ARCHITECTS ΡA

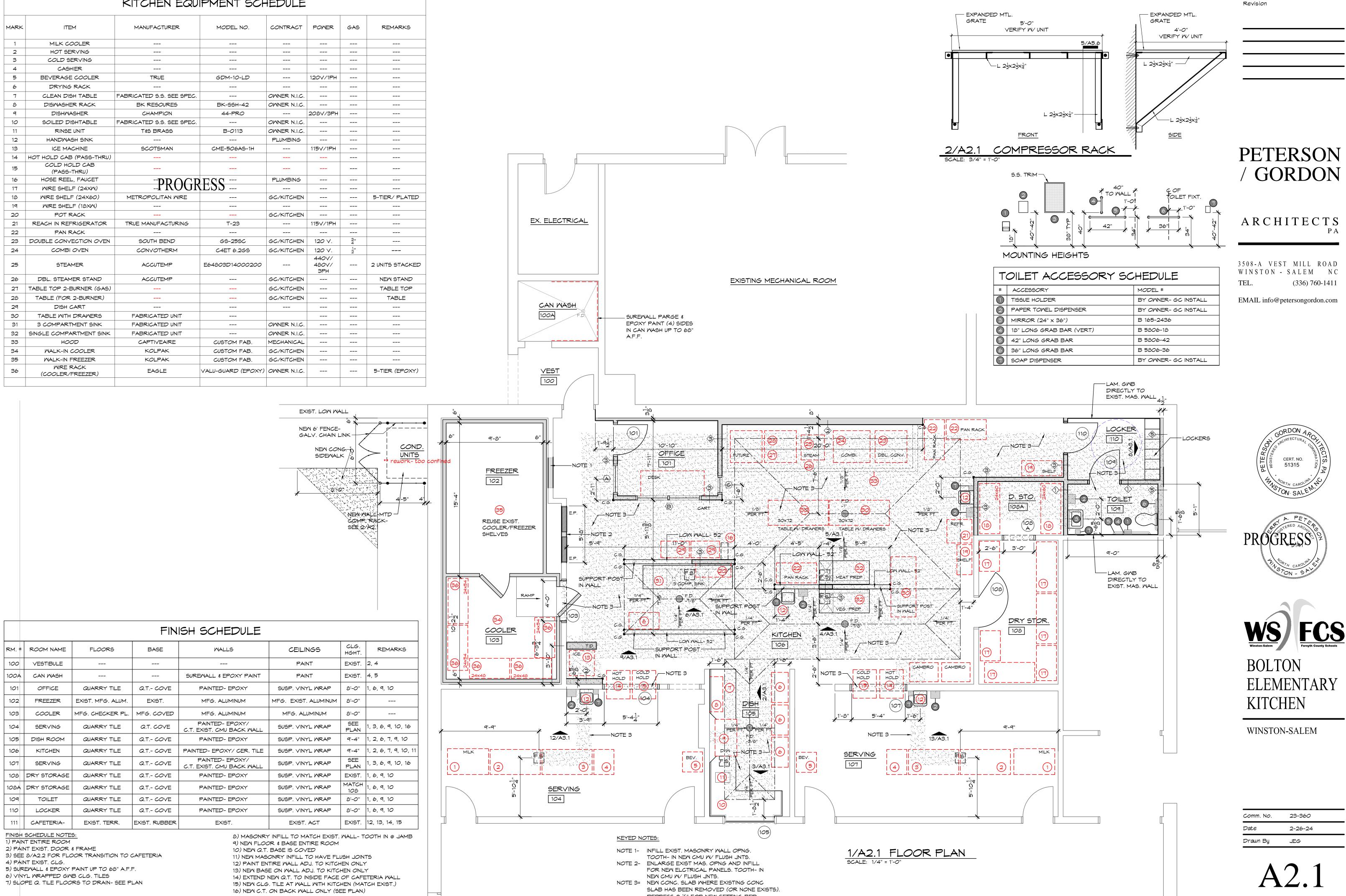
3508-A VEST MILL ROAD WINSTON - SALEM NC (336) 760-1411

EMAIL info@petersongordon.com

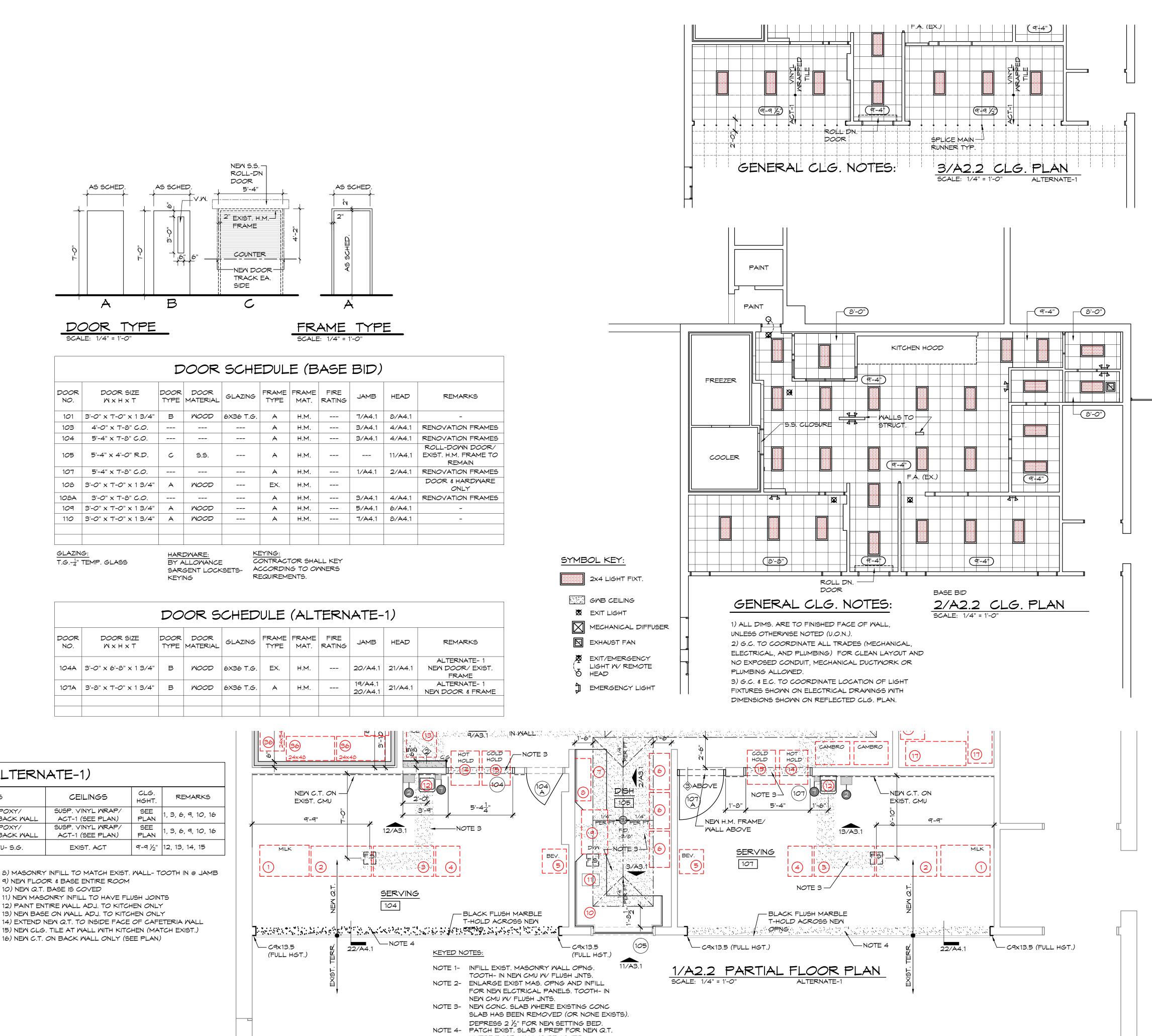


- DEMO ALL NECESSARY TO CONNECT TO EXISTING SYSTEMS.

		KITCHEN EQU	IPMENT SCH	EDULE			
MARK	ITEM	MANUFACTURER	MODEL NO.	CONTRACT	POWER	GAS	REMARKS
1	MILK COOLER						
2	HOT SERVING						
З	COLD SERVING						
4	CASHIER						
5	BEVERAGE COOLER	TRUE	GDM-10-LD		120V/1PH		
6	DRYING RACK						
٦	CLEAN DISH TABLE	FABRICATED S.S. SEE SPEC.		OWNER N.I.C.			
8	DISWASHER RACK	BK RESOURES	BK-55H-42	OWNER N.I.C.			
9	DISHWASHER	CHAMPION	44-PRO		208V/3PH		
10	SOILED DISHTABLE	FABRICATED S.S. SEE SPEC.		OWNER N.I.C.			
11	RINSE UNIT	T¢S BRASS	B-0113	OWNER N.I.C.			
12	HANDWASH SINK			PLUMBING			
13	ICE MACHINE	SCOTSMAN	CME-506AS-1H		115V/1PH		
14	HOT HOLD CAB (PASS-THRU)						
15	COLD HOLD CAB (PASS-THRU)						
16	HOSE REEL, FAUCET			PLUMBING			
17	MIRE SHELF (24XM)	PROGE	(ESS				
18	WIRE SHELF (24×60)	METROPOLITAN WIRE		GC/KITCHEN			5-TIER/ PLATED
19	WIRE SHELF (18XM)						
20	POT RACK			GC/KITCHEN			
21	REACH IN REFRIGERATOR	TRUE MANUFACTURING	T-23		115V/1PH		
22	PAN RACK						
23	DOUBLE CONVECTION OVEN	SOUTH BEND	65-2550	GC/KITCHEN	120 √.	<u>3</u> " 4	
24	COMBI OVEN	CONVOTHERM	C4ET 6.2GS	GC/KITCHEN	120 √.	<u>1</u> "	
25	STEAMER	ACCUTEMP	E64803D14000200		440V/ 480V/ 3PH		2 UNITS STACKED
26	DBL. STEAMER STAND	ACCUTEMP		GC/KITCHEN			NEW STAND
27	TABLE TOP 2-BURNER (GAS)			GC/KITCHEN			TABLE TOP
28	TABLE (FOR 2-BURNER)			GC/KITCHEN			TABLE
29	DISH CART						
30	TABLE WITH DRAWERS	FABRICATED UNIT					
31	3 COMPARTMENT SINK	FABRICATED UNIT		OWNER N.I.C.			
32	SINGLE COMPARTMENT SINK	FABRICATED UNIT		OWNER N.I.C.			
33	HOOD	CAPTIVEAIRE	CUSTOM FAB.	MECHANICAL			
34	WALK-IN COOLER	KOLPAK	CUSTOM FAB.	GC/KITCHEN			
35	WALK-IN FREEZER	KOLPAK	CUSTOM FAB.	GC/KITCHEN			
36	WIRE RACK (COOLER/FREEZER)	EAGLE					5-TIER (EPOXY)



DEPRESS 2 $\frac{1}{2}$ " FOR NEW SETTING BED.



000R	SCH	ΞD

DOOR NO.	DOOR SIZE M x H x T	DOOR TYPE	DOOR MATERIAL	GLAZING	FR T
101	3'-0" x 7'-0" x 1 3/4"	в	WOOD	6X36 T.G.	
103	4'-0" x 7'-8" C.O.				
104	5'-4" x 7'-8" C.O.				
105	5'-4" x 4'-0" R.D.	c	5.5.		
107	5'-4" x 7'-8" C.O.				
108	3'-0" x 7'-0" x 1 3/4"	A	NOOD		1
108A	3'-0" x 7'-8" C.O.				
109	3'-0" x 7'-0" x 1 3/4"	A	WOOD		
110	3'-0" x 7'-0" x 1 3/4"	A	NOOD		
<u>GLAZIN</u> T.G <u>1</u> "	<u>G:</u> TEMP. GLASS	BY A	<u>DWARE:</u> ALLOWANCE GENT LOCK		EYIN ONT

DOOR NO.	DOOR SIZE M x H x T	DOOR TYPE	<i>DOO</i> R MATERIAL	GLAZING	FR/ TY
104A	3'-0" x 6'-8" x 1 3/4"	в	WOOD	6X36 T.G.	E
107A	3'-8" x 7'-0" x 1 3/4"	в	NOOD	6X36 T.G.	Ļ

7	
]: ::::

	FINISH SCHEDULE (ALTERNATE-1)						
RM. #	ROOM NAME	FLOORS	BASE	WALLS	CEILINGS	CLG. HGHT.	REMARKS
104	SER∨ING	QUARRY TILE	Q.T. COVE	PAINTED- EPOXY/ C.T. EXIST. CMU BACK WALL	SUSP. VINYL WRAP/ ACT-1 (SEE PLAN)	SEE PLAN	1, 3, 6, 9, 10, 16
107	SERVING	QUARRY TILE	Q.T COVE	PAINTED- EPOXY/ C.T. EXIST. CMU BACK WALL	SUSP. VINYL WRAP/ ACT-1 (SEE PLAN)	SEE PLAN	1, 3, 6, 9, 10, 16
111	CAFETERIA- ALTERNATE- 1	EXIST. TERR.	NEW RUBBER	PAINTED CMU- S.G.	EXIST. ACT	9'-9 ½"	12, 13, 14, 15

FINISH SCHEDULE NOTES:

1) PAINT ENTIRE ROOM

2) PAINT EXIST. DOOR & FRAME

3) SEE 8/A2.2 FOR FLOOR TRANSITION TO CAFETERIA 4) PAINT EXIST. CLG.

5) SUREWALL & EPOXY PAINT UP TO 68" A.F.F.

6) VINYL WRAPPED GWB CLG. TILES 7) SLOPE Q. TILE FLOORS TO DRAIN- SEE PLAN 8) MASONRY INFILL TO MATCH EXIST. WALL- TOOTH IN @ JAMB 9) NEW FLOOR & BASE ENTIRE ROOM

- 10) NEW Q.T. BASE IS COVED

- 15) NEW CLG. TILE AT WALL WITH KITCHEN (MATCH EXIST.)
- 16) NEW C.T. ON BACK WALL ONLY (SEE PLAN)

PETERSON GORDON

Revision

ARCHITECTS ΡA

3508-A VEST MILL ROAD WINSTON - SALEM NC TEL.

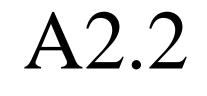
EMAIL info@petersongordon.com



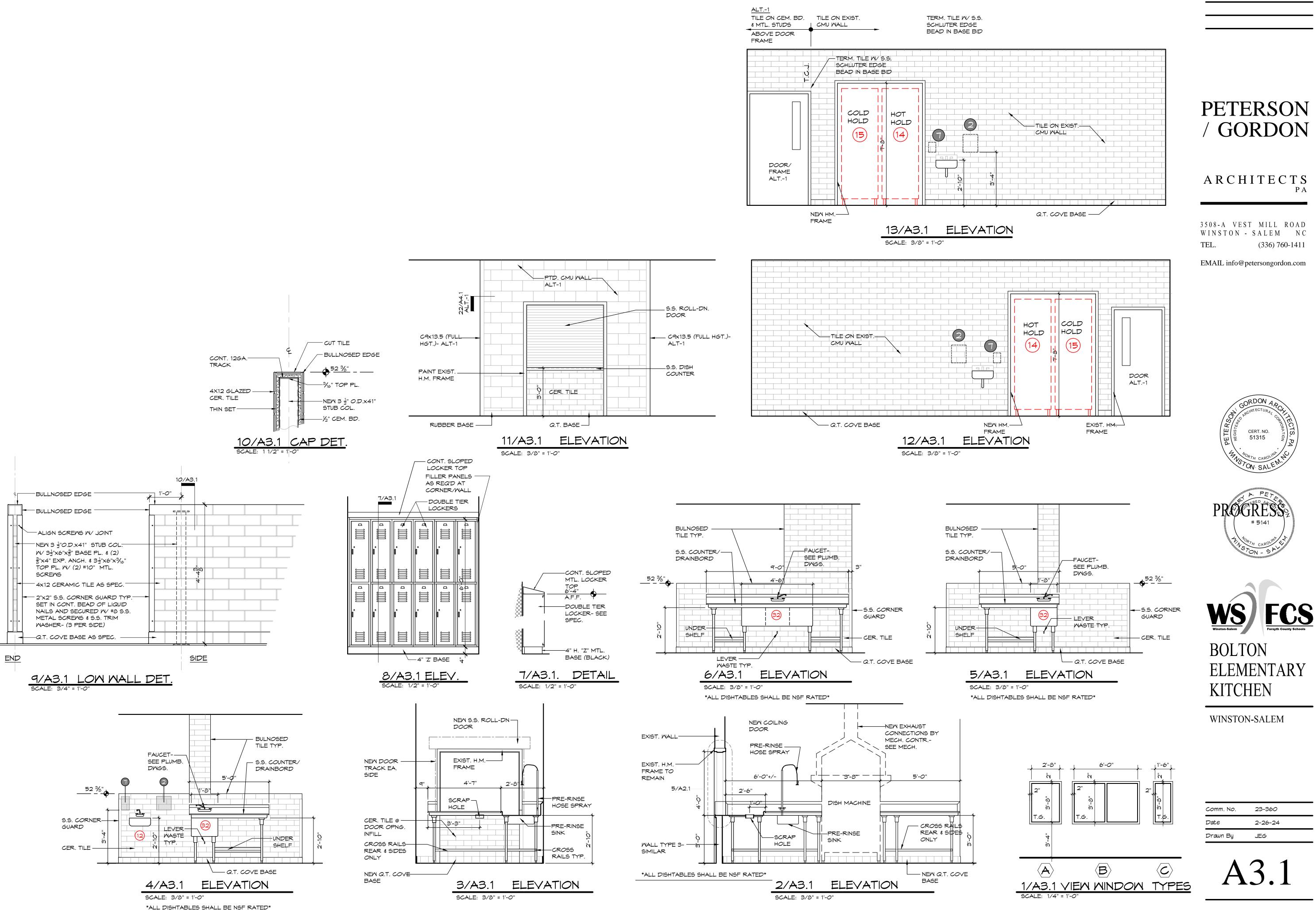


WINSTON-SALEM

Comm. No.	23-360
Date	2-26-24
Drawn By	JEG

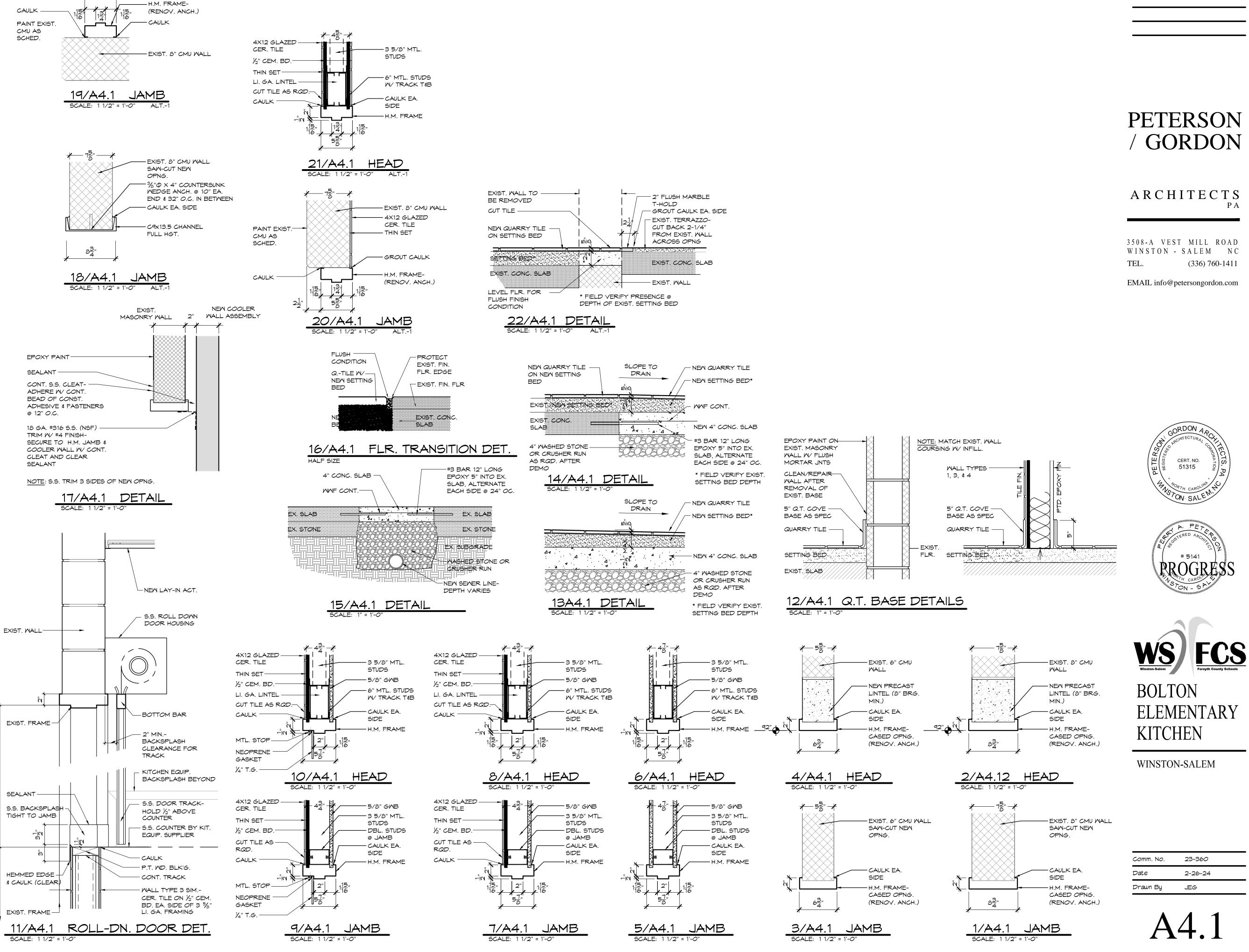


WHERE EXIST. WALL IS REMOVED



Revision





23-360
2-26-24
JEG