



HOUSING & COMMUNITY DEVELOPMENT
THE CENTER OF IT ALL

Request for Proposal #: 320-051225AG

Workforce Housing and Urgent Repair

Date of Issue: 12/30/2025

Proposal Due Date: 1/13/2026

at 02:00 P.M. ET

Direct all inquiries concerning this RFP to:

Alicia Gaines

Alicia.Gaines@rockymountnc.gov

252-972-1227

Attendance of bidders at pre-bid meetings on the job site is required. No bids will be accepted from any vendor not represented at the pre-bid meeting.

Contents

EXECUTION PAGE: PROPOSAL/ACCEPTANCE FORM 3

I. PROGRAM INFORMATION..... 4

II. SCOPE OF WORK 4

III. PROJECT SCHEDULE 4

IV. MANDATORY SITE VISIT 4

V. QUESTIONS 5

VI. PROPOSAL SUBMITTAL..... 5

VII. AUTHORIZED SIGNATURE REQUIREMENT 5

VIII. REFERENCES 6

IX. CITY’S RIGHTS AND OPTIONS 6

ATTACHMENT A: PRICING 56

ATTACHMENT B: G E N E R A L C O N D I T I O N S 57

ATTACHMENT C: SUPPLEMENTAL GENERAL CONDITIONS 67

ATTACHMENT D: SUPPLEMENTAL VENDOR INFORMATION 68

EXECUTION PAGE: PROPOSAL/ACCEPTANCE FORM

In compliance with this Request for Quote, and subject to all the conditions herein, the undersigned Vendor offers and agrees to furnish and deliver any or all items upon which prices are quoted, at the prices set opposite each item within the time specified herein. By executing this quote, the undersigned Vendor certifies that this quote is submitted competitively and without collusion (G.S. 143-54), that none of its officers, directors, or owners of an unincorporated business entity has been convicted of any violations of Chapter 78A of the General Statutes, the Securities Act of 1933, or the Securities Exchange Act of 1934 (G.S. 143-59.2), and that it is not an ineligible Vendor as set forth in G.S. 143-59.1. False certification is a Class I felony. Furthermore, by executing this quote, the undersigned certifies to the best of Vendor's knowledge and belief, that it and its principals are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from covered transactions by any Federal or State department or City department. As required by G.S. 143-48.5, the undersigned Vendor certifies that it, and each of its sub-contractors for any Contract awarded as a result of this RFQ, complies with the requirements of Article 2 of Chapter 64 of the NC General Statutes, including the requirement for each employer with more than 25 employees in North Carolina to verify the work authorization of its employees through the federal E-Verify system. G.S. 133-32 and Executive Order 24 (2009) prohibit the offer to, or acceptance by, any City Employee associated with the preparing plans, specifications, estimates for public Contract; or awarding or administering public Contracts; or inspecting or supervising delivery of the public Contract of any gift from anyone with a Contract with the City, or from any person seeking to do business with the City. By execution of any response in this quote, you attest, for your entire organization and its employees or agents, that you are not aware that any such gift has been offered, accepted, or promised by any employees of your organization. **Do you have a financial interest or tangible personal benefit with a city of Rocky Mount employee, officer, or agent?** **Yes** **No** **If yes note the employee, officer, or agent; department; and the perceived or actual conflict of interest.** **Failure to execute/sign quote prior to submittal shall render quote invalid and it WILL BE REJECTED. Late quotes cannot be accepted.**

VENDOR:		
STREET ADDRESS:	P.O. BOX:	ZIP:
CITY & STATE & ZIP:	TELEPHONE NUMBER:	TOLL FREE TEL. NO:
PRINCIPAL PLACE OF BUSINESS ADDRESS IF DIFFERENT FROM ABOVE (SEE INSTRUCTIONS TO VENDORS ITEM #11):		
PRINT NAME & TITLE OF PERSON SIGNING ON BEHALF OF VENDOR:	RRP Certification? Circle one: Yes No	
VENDOR'S AUTHORIZED SIGNATURE:	DATE:	EMAIL:

Offer valid for at least 60 days from date of proposal opening, unless otherwise stated here: days. Project must begin within 60 days of the opening at the rates proposed in Attachment A.

ACCEPTANCE OF QUOTE

If any or all parts of this quote are accepted by the City of Rocky Mount, an authorized representative of the City of Rocky Mount shall affix his/her signature hereto and this document and all provisions of this Request for Quote along with the Vendor response and the written results of any negotiations shall then constitute the written agreement between the parties. A copy of this acceptance will be forwarded to the successful Vendor(s).

<p>FOR CITY USE ONLY: Offer accept, and Contract awarded this _____ day of _____, 20__ for properties _____ as indicated on the attached certification, by _____ Purchasing Manager.</p> <p>PRE-AUDIT: This instrument has been preaudited in the manner required by the Budget and Fiscal Control Act.</p> <p>_____ Finance Director</p> <p>_____ Date</p>

**CITY OF ROCKY MOUNT
STANDARD FORM OF INFORMAL CONTRACT
AND GENERAL CONDITIONS**

FOR

Project ID - RFP 320-051225AG

I. PROGRAM INFORMATION

The goal of this program is to promote neighborhood stability and preserve the existing supply of single-family homes by assisting moderate-income homeowners with repairs to their homes.

The max budget for this project is as follows:

- Workforce/Urgent Housing Repairs up to \$20,000
- H.O.M.E Project Repairs \$40,000 (Non-Lead) to \$50,000 (Lead)

II. SCOPE OF WORK

The scope of work includes but is not limited to the following: HVAC, Plumbing, Carpentry, Painting & Wallpaper, Drywall & Plaster, Floor Coverings, Electrical, and Roofing Repairs. The scope is specific to each home.

III. PROJECT SCHEDULE

Event	Responsibility	Date and Time
Issue RFP	City	Tuesday 12/30/2025
Mandatory Pre-bid/Site Visit	City	Tuesday 01/06/2026 10:00 am – 1:00 pm
Submit Written Questions	Contractor	Wednesday 01/07/2026 5:00 pm
Provide Response to Questions/Addendum Deadline	City	Friday 01/09/2026
Submit Proposals	Contractor	Tuesday 01/13/2026 2:00 pm
Contract Award	City	TBD
Estimated Completion Date	Contractor	TBD

IV. MANDATORY SITE VISIT

Mandatory Pre-Bid Meeting

Date: 01/06/2026
 Time: 10:00 am – 1:00 pm
 Contact: 252-972-1227

Instructions: It shall be MANDATORY that each Vendor representative be present for a pre-bid site visit on January 6, 2026. Attendees shall meet promptly at 10:00 a.m. Eastern Time at 331 S. Franklin Street, Rocky Mount, NC 27804. All attendees must sign in upon arrival and clearly indicate the prospective Vendor represented on the sign in sheet. LATE ARRIVALS WILL NOT BE ALLOWED TO SIGN IN, NOR SHALL THEIR BID BE CONSIDERED. Late arrivals may be excluded from the meeting room until all on-time attendees have completed sign-in, and the sign-in

sheet secured. Once the sign-in process is complete, all other persons wishing to attend may do so to the extent that space and circumstances allow. On-time attendance will be strictly enforced.

The purpose of this visit is for all prospective Vendors to apprise themselves with the conditions and requirements which will affect the performance of the work called for by this Request for Proposals. Vendors shall stay for the duration of the site visit. No allowances will be made for unreported conditions that a prudent Vendor would recognize as affecting the work called for or implied by this bid.

Vendors are cautioned that any information released to attendees during the site visit, other than that involving the physical aspects of the facility referenced above, and which conflicts with, supersedes, or adds to requirements in this Invitation for Bid, must be confirmed by written addendum before it can be considered to be a part of this bid.

V. QUESTIONS

Written questions shall be emailed to Alicia.Gaines@rockymountnc.gov prior to close of business on the date specified in the proposal schedule. Contractors will enter "RFP #320-051225AG – Questions" as the subject for the email.

Questions received prior to the submission deadline date, responses, and any additional terms deemed necessary by the City of Rocky Mount will be posted in the form of an addendum to the City of Rocky Mount <https://www.rockymountnc.gov/Bids.aspx> website(s), and the North Carolina Department of Administration website <https://evp.nc.gov/solicitations/> and shall become an Addendum to this RFP. No information, instruction, or advice provided orally or informally by any City personnel, whether made in response to a question or otherwise concerning this RFP, shall be considered authoritative or binding. Vendors shall rely only on written material contained in an Addendum to this RFP.

Inquiries submitted no later than the date and time noted in the project schedule. Questions answered verbally will be followed up by written addenda as deemed necessary; oral interpretations shall have no effect.

VI. PROPOSAL SUBMITTAL

Contractors interested in performing the services requested must submit the following information:

- a) One (1) copy of their RFP response including name, address, and phone number of contact person. Signed receipt pages of any addenda released in conjunction with this RFP.

1. RFP responses shall be addressed to:

Attn: RFP #320-051225AG
City of Rocky Mount
Purchasing- Alicia Gaines
331 S. Franklin Street
Rocky Mount, NC 27804

All RFP responses shall be received by the date and time noted in the schedule on page 4. RFP responses may be sent via US Mail, FedEx, UPS, or hand delivered. **Faxed and emailed RFP responses will not be accepted.**

VII. AUTHORIZED SIGNATURE REQUIREMENT

All proposals, bids, or other offers must be signed by an individual authorized to bind the firm contractually. The City reserves the right to request documentation showing evidence of signatory authority (e.g., corporate resolution, operating agreement, power of attorney, or other verification). Failure to provide such documentation upon request may result in disqualification of the offer or rejection of the executed contract.

VIII. REFERENCES

Vendors shall provide at least three (3) different references for which your company has provided services of similar size and scope to that proposed herein. The city of Rocky Mount may contact these users to determine the Services provided are substantially similar in scope to those proposed herein and Contractor’s performance has been satisfactory. The information obtained shall be considered in the evaluation of the quote. If city of Rocky Mount references are provided it cannot be counted towards your three (3) required references but may be included in addition to.

COMPANY NAME	CONTACT NAME	TELEPHONE NUMBER	EMAIL
Optional: City of Rocky Mount			

IX. CITY’S RIGHTS AND OPTIONS

The City reserves the following rights, which may be exercised at the City’s sole discretion:

- To supplement, amend, substitute or otherwise modify this RFP at any time;
- To cancel this RFP with or without the substitution of another RFP;
- To take any action affecting this RFP, this RFP process, or the Services or facilities subject to this RFP that would be in the best interests of the City;
- To issue additional requests for information;
- To require one or more Service Providers to supplement, clarify or provide additional information in order for the City to evaluate the Proposals submitted;
- To conduct investigations with respect to the qualifications and experience of each Service Provider;
- To waive any defect or irregularity in any Proposal received;
- To reject any or all Proposals;
- To share the Proposals with City employees other than the Evaluation Committee or City advisory committees as deemed necessary;
- To award all, none, or any part of the Services that is in the best interest of the City, with one or more of the Service Providers responding, which may be done with or without re-solicitation.
- To discuss and negotiate with selected Service Provider(s) any terms and conditions in the Proposals including but not limited to financial terms; and
- To enter into any Contract deemed by the City to be in the best interest of the City, with one or more of the Service Providers responding

**CITY OF ROCKY MOUNT
HOUSING REPAIR PROGRAM
BID DOCUMENT**

3405 Merrifield Rd



BRIEF DESCRIPTION & OWNER CONCERNS:

This is a 2,267 square foot, 2-story, brick, 3-bedroom, 2.5-bathroom house built in 1984. The primary concerns are as follows: replacing deteriorated siding, front door glass repair, replacing deck boards, steps, and railing on the rear deck, replacing front stoop railing, replacing a missing foundation vent, installing a new tub/shower unit in the upstairs bathroom, and conducting an electrical check.

SPECIFICATIONS DATED: September 14, 2025

INSPECTED BY: Brian Ashburn

DATE OF INSPECTION: August 29, 2025

ADDRESS: 3405 Merriman Rd Rocky Mount, NC 27804

General Conditions:

1. Contractors are to include all overhead and profit in the individual items.
2. The owner, after careful review, understands and accepts the scope of the work described and has initialed and dated each page of the work write-up.
3. Contractor certifies that he/she has reviewed and agrees to perform the scope of work described and has initialed and dated each page of the work write up.
4. The contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appears within one year from final payment by the City. All reported deficiencies or issues must be resolved by the Contractor whether the work of subcontractors or not. The City will not contact subcontractors to resolve issues. Further, the contractor shall furnish the owner with all manufactures and suppliers' written warranties covering items furnished under the contract prior to release of final payment. Roof replacement work requires a two-year warranty.
5. All lead-based paint renovation activities performed for compensation in target housing shall be conducted in accordance with North Carolina Renovate, Repair and Paint (RRP) Rule and, when using US Department of Housing and Urban Development (HUD) funds, 24 CFR 35 Subpart J. To bid on a pre-1978 property, the contractor's firm must provide all required Lead documents including RRP firm certification and renovator letter.
6. Remove from site all construction materials, tools, and debris. Sweeps clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags.
7. All painting must be of the highest quality. The surfaces must be prepared and inspected before painting.
8. The primer and topcoats must have the same tint.

9. Paint and Primer shall be the following or approved equal:
 - a. Sherwin Williams "Super Paint", "Resilience", "Duration" or "Emerald".

All work is to comply with current North Carolina State Building Code, City of Rocky Mount Rehabilitation Standards for Single-Family Structures, performance manual guidelines and or local building, electrical and plumbing codes with inspections and permits when applicable. All work will be done in quality and workmanlike manner. All material must be new, no re-used material.

When the Work Scope calls for an item to be removed and replaced, the contractor is to secure the owner's approval to dispose of the item rather than turning the item over to the owner.

GUIDELINES FOR RENOVATION FOR PROPERTIES IN A HISTORIC DISTRICT

The property described in the attached document is either in a local historic district (meaning that the local historic preservation ordinances apply to the exterior only), in a national historic district (meaning that the Secretary of the Interior's historic preservation standards apply to both exterior and interior work) or is an individually designated historically significant building under one of these two authorities. In any case, the following SHALL apply to the work under any contract to renovate this property and it is a condition of the use of our federal funds that these guidelines are followed.

The specifications have been written to meet these standards. If any work is added after the bids are submitted, the Contractor is eligible for a change order to cover additional costs.

In general, the following items and conditions apply to all work on historic properties:

1. Whenever possible the Contractor shall repair and reuse original materials and restore the original structure and details.
2. When new materials are specified, the Contractor shall assume (even if it is not specifically noted) that the new materials shall match as closely as possible either
 - (first choice) the existing damaged materials that are being replaced, or
 - (second choice) the original materials on adjacent surfaces.
3. If there are no original materials to match, the Contractor shall select new materials that are in line with the design period and style of the original structure - that is they shall "evoke" the feeling of the period of the structure. If in doubt, ask the Community Development Rehab Specialist for guidance.
4. When new work requires penetrating the exterior walls or roof - such as with a new vent stack, roof ventilation -- or hanging something modern on the outside of the structure -- such as a new electrical service panel -- penetrating pipes or modern appliances shall be located out of sight of the street or sidewalk whenever possible. Locations of new penetrations require approval of the C.D. Rehab Specialist BEFORE work begins.
5. When new equipment -- such as a new HVAC unit -- will set the equipment on the property outside of the house, the Contractor shall clear the location with the C.D. Rehab Specialist prior to beginning work on that location.
6. Where submittals are required, the Contractor shall submit materials, catalog cuts or color chips to the Rehab Specialist who will forward them to the proper historic authority for approval. Comments will be returned to the Contractor within 10 business days. The Contractor shall allow time for this process and anticipate this delay as part of his agreed schedule.

7. If the Contractor proceeds with work not in compliance with historic guidelines, without having consulted the C.D. Rehab Specialist, and the work is rejected by the agency with historic jurisdiction, the Contractor will be liable for removing and redoing the work to the historic guidelines at his own expense.

SPECIFICATIONS BY TRADE

EXTERIOR WALL, SOFFIT, AND FASCIA

Correct address numbers must be displayed
Seal around siding, soffit, fascia and foundation penetrations.
Telephone and cable TV connections, if existing and working must be working after exterior is complete.

Replace deteriorated Masonite exterior siding and wood trim: replace all deteriorated wood and/or siding with Hardie-plank material (stagger joints). Caulk and flash as applicable at all abutments.
Paint new material to match as close as possible
NOTE: approx. 1000 square feet including dormers

Bid Amount: _____

EXITS

All front entrance doors shall be 3'-0"
All side or rear entrance doors shall be 2'-8"
Doorbell signal button and alarm system connections, if existing and working must be working after new exterior door installation is complete.
All Exterior Doors shall be Energy Star Compliant and labeled as such
All Exterior doors shall be painted; door trim shall be wrapped with aluminum or painted if under a carport or porch roof

Replace the glass in the front entrance door with double pain safety glass, remove the Lexan.

Bid Amount: _____

PORCHES

Install new treated decking at the rear deck: remove existing flooring; repair/replace defective joists, girders and sills; install new pressure treated 5/4 decking and 4"x4" pressure treated posts.

Bid Amount: _____

Install new pressure treated guard-rail at the entire perimeter of the rear deck: install pressure treated 4" x 4" posts as applicable; railings to consist of top and bottom 2"x 4"s with 2"x 2"s pickets set on centers so that a 4" sphere cannot pass between any opening. Railing height to be 36".

Bid Amount: _____

Install white vinyl handrails at the front steps: Rails to consist of 4"x 4" posts with vinyl sleeves embedded in concrete and top and bottom 2"x 4"s with 2"x 2"s pickets set on centers so that a 4" sphere cannot pass between any opening. Install rails at both sides of steps.

Bid Amount: _____

Install white vinyl guard-rail at the front of the front porch: install pressure treated 4" x 4" posts with vinyl sleeves as applicable; railings to consist of top and bottom 2"x 4"s with 2"x 2"s pickets set on centers so that a 4" sphere cannot pass between any opening. Railing height to be 36".

Bid Amount: _____

Install new pressure treated steps at the rear deck: steps to consist of three 2" x 12" stringers; treads to consist of two 2" x 6" set 1/4" apart; maximum riser height to be 7 1/2" rises must be closed; minimum step width to be 36". Provide masonry or concrete base for stringers. Install pressure treated handrail at both sides of the steps to consist of 4" x 4" posts embedded in concrete and top and bottom 2" x 4"s with 2" x 2"s pickets set on centers so that a 4" sphere cannot pass between any opening.

Bid Amount: _____

FOUNDATIONS

Replace one foundation vent. Vents and vent wells shall be secured to the structure. Vent must be installed plumb and true. Install window wells as applicable. Close up any remaining voids in the foundation using masonry materials.

Bid Amount: _____

PLUMBING

All work shall be performed by a licensed plumbing contractor:

Seal around all floor, wall and ceiling penetrations.

If the scope of work includes the installation of a new bathroom or replacement of existing bathroom fixtures, all fixtures must meet clearance standards and must meet or exceed the water usage standards of the international residential building code

All Plumbing shall meet international residential building code

Install 5-foot fiberglass tub/shower set in the upstairs bathroom (1, 2 or 4 piece) complete; including 3 valve diverter or single lever (Delta or equivalent) type controls, tub filler with water saver (2 to 2.2 gal. per minute) shower head, tub waste and overflow face plate, trip lever and pop-up. Matching wall surround to have integrally molded soap dish. Install rigid air block material behind unit on all exterior walls.

Bid Amount: _____

ELECTRICAL

All work shall be performed by a licensed electrical contractor:

Seal around all floor, wall and ceiling penetrations.

New electrical items shall be Energy Star compliant & labeled, including but not limited to bath fans, range hoods, light fixtures, appliances, etc.

All light bulbs shall be LED

Conduct electrical system check. Check all circuits and repair/replace all defective wiring. Eliminate any wiring hazard. Conceal all exposed wiring per code. Supply PH with written report of any discovered deficiencies and copy of invoice.

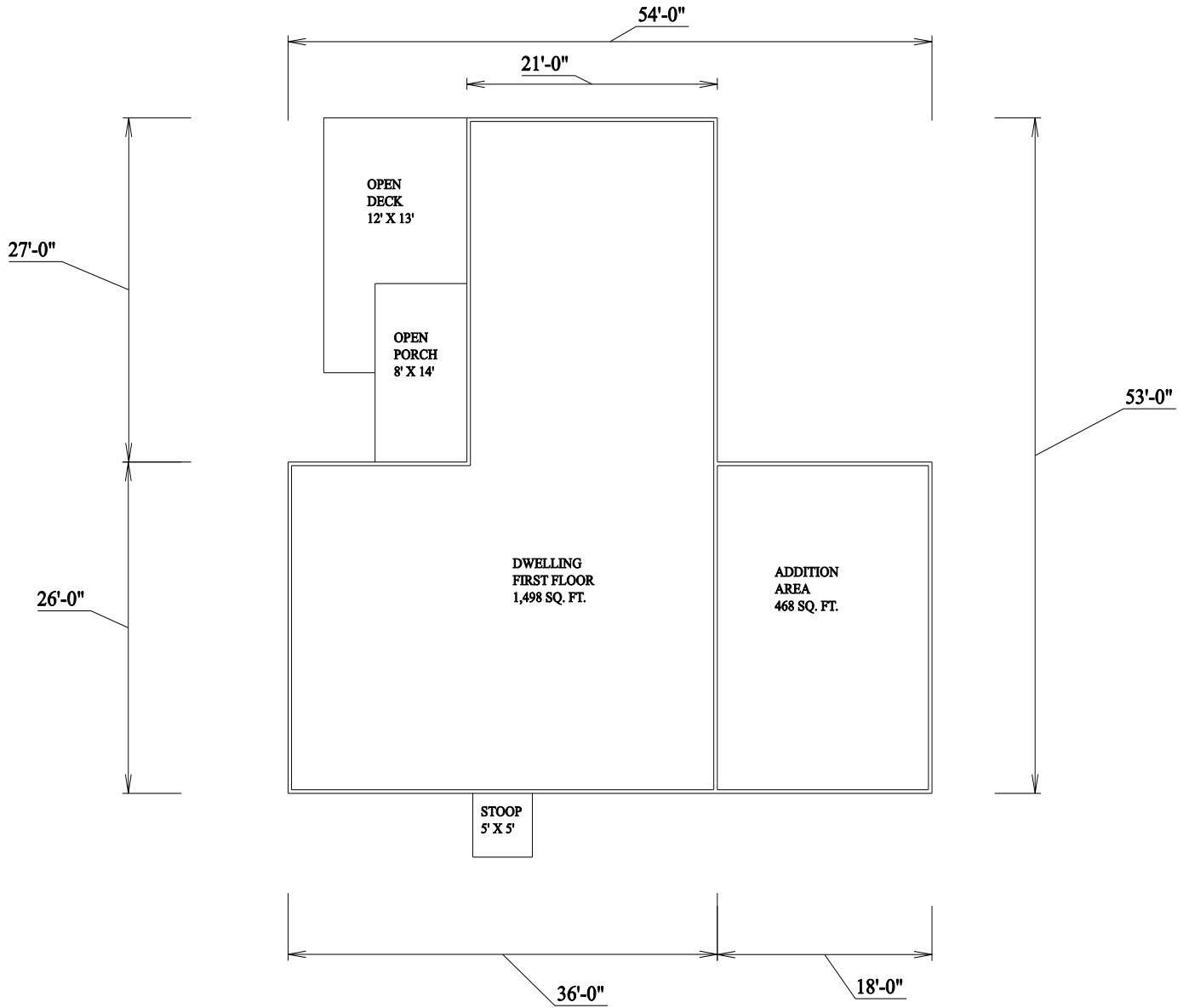
Bid Amount: _____

TOTAL BID: _____

NAME OF BIDDER: _____

AUTHORIZED SIGNATURE: _____

BUILDING FLOORPLAN SKETCH



FOOTPRINT

SCALE 1/4" = 1'-0"

**CITY OF ROCKY MOUNT
HOUSING REPAIR PROGRAM
BID DOCUMENT**

790 Cascade Avenue



BRIEF DESCRIPTION & OWNER CONCERNS:

Conventional ranch home built in 1963, consisting of 1154 heated square feet and two unheated porches. The owner's primary concerns include replacement of doors and windows, replacement of handrails at the door on the left side of the home, and repair of kitchen ceiling damage from a previous leak.

SPECIFICATIONS DATED: September 13, 2025

INSPECTED BY: Brian Ashburn

DATE OF INSPECTION: August 29, 2025

ADDRESS: 790 Cascade Ave Rocky Mount NC 27803

General Conditions:

1. Contractors are to include all overhead and profit in the individual items.
2. The owner, after careful review, understands and accepts the scope of the work described and has initialed and dated each page of the work write-up.
3. Contractor certifies that he/she has reviewed and agrees to perform the scope of work described and has initialed and dated each page of the work write up.
4. The contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appears within one year from final payment by the City. All reported deficiencies or issues must be resolved by the Contractor whether the work of subcontractors or not. The City will not contact subcontractors to resolve issues. Further, the contractor shall furnish the owner with all manufactures and suppliers' written warranties covering items furnished under the contract prior to release of final payment. Roof replacement work requires a two-year warranty.
5. All lead-based paint renovation activities performed for compensation in target housing shall be conducted in accordance with North Carolina Renovate, Repair and Paint (RRP) Rule and, when using US Department of Housing and Urban Development (HUD) funds, 24 CFR 35 Subpart J. To bid on a pre-1978 property, the contractor's firm must provide all required Lead documents including RRP firm certification and renovator letter.
6. Remove from site all construction materials, tools, and debris. Sweeps clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags.
7. All painting must be of the highest quality. The surfaces must be prepared and inspected before painting.
8. The primer and topcoats must have the same tint.
9. Paint and Primer shall be the following or approved equal:
 - a. Sherwin Williams "Super Paint", "Resilience", "Duration" or "Emerald".

All work is to comply with current North Carolina State Building Code, City of Rocky Mount Rehabilitation Standards for Single-Family Structures, performance manual guidelines and or local building, electrical and plumbing codes with inspections and permits when applicable. All work will be done in quality and workmanlike manner. All material must be new, no re-used material.

When the Work Scope calls for an item to be removed and replaced, the contractor is to secure the owner's approval to dispose of the item rather than turning the item over to the owner.

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The specifications have been written to meet these standards. If any work is added after the bids are submitted, the Contractor is eligible for a change order to cover additional costs.

In general, the following items and conditions apply to all work on historic properties:

1. Whenever possible the Contractor shall repair and reuse original materials and restore the original structure and details.
2. When new materials are specified, the Contractor shall assume (even if it is not specifically noted) that the new materials shall match as closely as possible either
 - (first choice) the existing damaged materials that are being replaced, or
 - (second choice) the original materials on adjacent surfaces.
3. If there are no original materials to match, the Contractor shall select new materials that are in line with the design period and style of the original structure - that is they shall "evoke" the feeling of the period of the structure. If in doubt, ask the Community Development Rehab Specialist for guidance.
4. When new work requires penetrating the exterior walls or roof - such as with a new vent stack, roof ventilation -- or hanging something modern on the outside of the structure -- such as a new electrical service panel -- penetrating pipes or modern appliances shall be located out of sight of the street or sidewalk whenever possible. Locations of new penetrations require approval of the C.D. Rehab Specialist BEFORE work begins.
5. When new equipment -- such as a new HVAC unit -- will set the equipment on the property outside of the house, the Contractor shall clear the location with the C.D. Rehab Specialist prior to beginning work on that location.
6. Where submittals are required, the Contractor shall submit materials, catalog cuts or color chips to the Rehab Specialist who will forward them to the proper historic authority for approval. Comments will be returned to the Contractor within 10 business days. The Contractor shall allow time for this process and anticipate this delay as part of his agreed schedule.
7. If the Contractor proceeds with work not in compliance with historic guidelines, without having consulted the C.D. Rehab Specialist, and the work is rejected by the agency with historic jurisdiction, the Contractor will be liable for removing and redoing the work to the historic guidelines at his own expense.

SPECIFICATIONS BY TRADE

EXITS

Doorbell signal button and alarm system connections, if existing and working must be working after new exterior door installation is complete.

Install two (2) lite fiberglass insulated Energy Star rated door unit(s) (half glass 9 lite or half-moon top glass): pre-hung, with keyed alike entrance and single- or double-cylinder deadbolt locksets (per owner's request). Install shims and screws long enough to catch framing on each hinge and keeper latch. drip-cap as applicable. Install hinge or baseboard mounted doorstops as needed.

Location(s): Front & left side

Note: Left side door unit use PVC brick molding, and rot proof jamb

Bid Amount: _____

WINDOWS

Alarm system connections, if existing and working, must be working after new window installation is complete. Install new shutters if existing shutters are removed.

Install eighteen (18) new vinyl replacement window unit(s): remove existing window units; replace with new vinyl units 1/1 double hung thermal pane low E units, complete, to include locks and screens. Windows shall have a maximum infiltration of .37 cfm per linear foot of edge of operable sash with an overall solar heat gain co-efficient (SHGC) of .30 or less and an overall U value of .35 or less.

(Contractor shall present manufacturer's specifications to demonstrate compliance) Window must be installed plumb and true, panes must be cleaned, and all affected adjacent surfaces repaired to match existing interior and exterior. Case complete including proper stool.

Location(s):

Front 7

Right side 3

Left side 5

Rear 3

Bid Amount: _____

PORCHES

Install pressure treated handrails at the left side steps: Rails to consist of 4"x 4" posts embedded in concrete and top and bottom 2"x 4"s with 2"x 2"s pickets set on centers so that a 4" sphere cannot pass between any opening. Install rails at both sides of steps.

Bid Amount: _____

INTERIOR CEILINGS

Repair Celotex ceiling: remove existing sections of damaged celotex; renail, repair/replace stripping and furr out as needed; install 12" acoustic celotex per manufacturer's specifications. Install new crown molding.

Location(s): Kitchen – 144 SQ FT

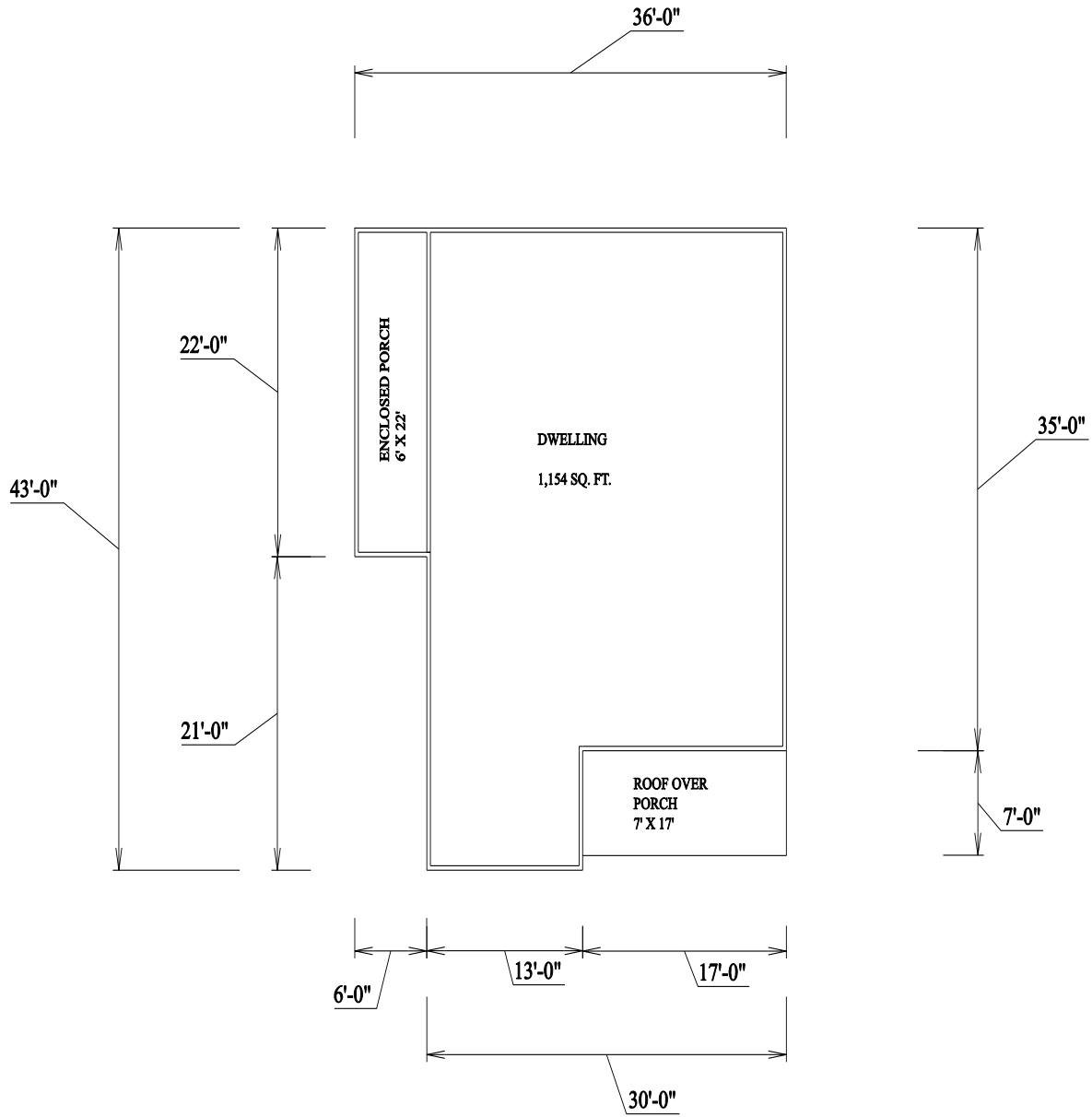
Bid Amount: _____

TOTAL BID: _____

NAME OF BIDDER: _____

AUTHORIZED SIGNATURE: _____

BUILDING FLOORPLAN SKETCH



FOOTPRINT

SCALE 1/4" = 1'-0"

**CITY OF ROCKY MOUNT
HOUSING REPAIR PROGRAM
BID DOCUMENT**

1804 Berkshire Road



BRIEF DESCRIPTION & OWNER CONCERNS:

Conventional brick-clad ranch home was built in 1968. Home consists of 1772 heated square feet with 3 bedrooms and 1 1/2 baths. Owner's primary repair concerns are gutters, railings and heating and cooling system replacement.

SPECIFICATIONS DATED: September 12, 2025

INSPECTED BY: Brian Ashburn

DATE OF INSPECTION: August 29, 2025

ADDRESS: 1804 Berkshire Road Rocky Mount, NC 27801

General Conditions:

1. Contractors are to include all overhead and profit in the individual items.
2. The owner, after careful review, understands and accepts the scope of the work described and has initialed and dated each page of the work write-up.
3. Contractor certifies that he/she has reviewed and agrees to perform the scope of work described and has initialed and dated each page of the work write up.
4. The contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appears within one year from final payment by the City. All reported deficiencies or issues must be resolved by the Contractor whether the work of subcontractors or not. The City will not contact subcontractors to resolve issues. Further, the contractor shall furnish the owner with all manufactures and suppliers' written warranties covering items furnished under the contract prior to release of final payment. Roof replacement work requires a two-year warranty.
5. All lead-based paint renovation activities performed for compensation in target housing shall be conducted in accordance with North Carolina Renovate, Repair and Paint (RRP) Rule and, when using US Department of Housing and Urban Development (HUD) funds, 24 CFR 35 Subpart J. To bid on a pre-1978 property, the contractor's firm must provide all required Lead documents including RRP firm certification and renovator letter.
6. Remove from site all construction materials, tools, and debris. Sweeps clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags.
7. All painting must be of the highest quality. The surfaces must be prepared and inspected before painting.
8. The primer and topcoats must have the same tint.
9. Paint and Primer shall be the following or approved equal:
 - a. Sherwin Williams "Super Paint", "Resilience", "Duration" or "Emerald".

All work is to comply with current North Carolina State Building Code, City of Rocky Mount Rehabilitation Standards for Single-Family Structures, performance manual guidelines and or local building, electrical and plumbing codes with inspections and permits when applicable. All work will be done in quality and workmanlike manner. All material must be new, no re-used material.

When the Work Scope calls for an item to be removed and replaced, the contractor is to secure the owner's approval to dispose of the item rather than turning the item over to the owner.

GUIDELINES FOR RENOVATION FOR PROPERTIES IN A HISTORIC DISTRICT

The property described in the attached document is either in a local historic district (meaning that the local historic preservation ordinances apply to the exterior only), in a national historic district (meaning that the Secretary of the Interior's historic preservation standards apply to both exterior and interior work) or is an individually designated historically significant building under one of these two authorities. In any case, the following SHALL apply to the work under any contract to renovate this property and it is a condition of the use of our federal funds that these guidelines are followed.

The specifications have been written to meet these standards. If any work is added after the bids are submitted, the Contractor is eligible for a change order to cover additional costs.

In general, the following items and conditions apply to all work on historic properties:

1. Whenever possible the Contractor shall repair and reuse original materials and restore the original structure and details.
2. When new materials are specified, the Contractor shall assume (even if it is not specifically noted) that the new materials shall match as closely as possible either
 - (first choice) the existing damaged materials that are being replaced, or
 - (second choice) the original materials on adjacent surfaces.
3. If there are no original materials to match, the Contractor shall select new materials that are in line with the design period and style of the original structure - that is they shall "evoke" the feeling of the period of the structure. If in doubt, ask the Community Development Rehab Specialist for guidance.
4. When new work requires penetrating the exterior walls or roof - such as with a new vent stack, roof ventilation -- or hanging something modern on the outside of the structure -- such as a new electrical service panel -- penetrating pipes or modern appliances shall be located out of sight of the street or sidewalk whenever possible. Locations of new penetrations require approval of the C.D. Rehab Specialist BEFORE work begins.
5. When new equipment -- such as a new HVAC unit -- will set the equipment on the property outside of the house, the Contractor shall clear the location with the C.D. Rehab Specialist prior to beginning work on that location.
6. Where submittals are required, the Contractor shall submit materials, catalog cuts or color chips to the Rehab Specialist who will forward them to the proper historic authority for approval. Comments will be returned to the Contractor within 10 business days. The Contractor shall allow time for this process and anticipate this delay as part of his agreed schedule.
7. If the Contractor proceeds with work not in compliance with historic guidelines, without having consulted the C.D. Rehab Specialist, and the work is rejected by the agency with historic jurisdiction, the Contractor will be liable for removing and redoing the work to the historic guidelines at his own expense.

SPECIFICATIONS BY TRADE

ROOF, CHIMNEYS

Install seamless aluminum guttering: location: the front eaves of structure only; guttering to have white or brown baked-on enamel finish; installation to include 3"x4" downspouts and pre-cast concrete or fiberglass splash blocks.

Bid Amount: _____

PORCHES

Install pressure treated handrails at the rear deck steps: Rails to consist of 4"x 4" posts embedded in concrete and top and bottom 2"x 4"s with 2"x 2"s pickets set on centers so that a 4" sphere cannot pass between any opening. Install rails at both sides of steps.

Bid Amount: _____

Install new pressure treated guard-rail at the entire perimeter of the rear deck: install pressure treated 4" x 4" posts as applicable; railings to consist of top and bottom 2"x 4"s with 2"x 2"s pickets set on centers so that a 4" sphere cannot pass between any opening. Railing height to be 36".

Bid Amount: _____

PLUMBING

All work shall be performed by a licensed plumbing contractor:
All Plumbing shall meet international residential building code

Replace 1- 3" cleanout cap on the side of the dwelling and 1- 4" cleanout cap in the yard

Bid Amount: _____

HEATING

All work shall be performed by a licensed HVAC contractor:

Install a new energy star compliant gas-fired central heating and cooling package system, complete, to include controls, automatic thermostat, fans, wiring, supply/return grilles and filter etc. Insulated metal plenum(s) with insulated metal or flex ductwork system, Duct insulation shall be R-8, (R-6 in conditioned space) and shall include a vapor barrier on the outside surface with a flame-spread rating not greater than 25 and a smoke density not greater than 50. Size in accordance with ACCA Manual J specifications. Do not use foil faced or batt insulation (commonly used for walls, ceiling, and floors) as duct insulation. Staples used to secure duct insulation shall be a minimum of 2-inch outward clinching heavy duty staples. All supply boots shall be sealed to the floor; all seams and returns shall be sealed with vapor barrier Mastic or approved equally durable alternative. There shall be No exposed wood inside the return(s) Minimum AFVE rating of 92%. Minimum SEER 2 rating of 15.2. Delivery system ductwork shall be designed in accordance with ACCA Manual D. Insulated plenum shall be a minimum of 15' long and flex duct shall be no longer than 15' with no sharp turns or compression. System capacity, copy of sizing calculations, and duct design calculations and drawings must be submitted to the PH for pre-approval. All work must be performed by a licensed HVAC contractor.

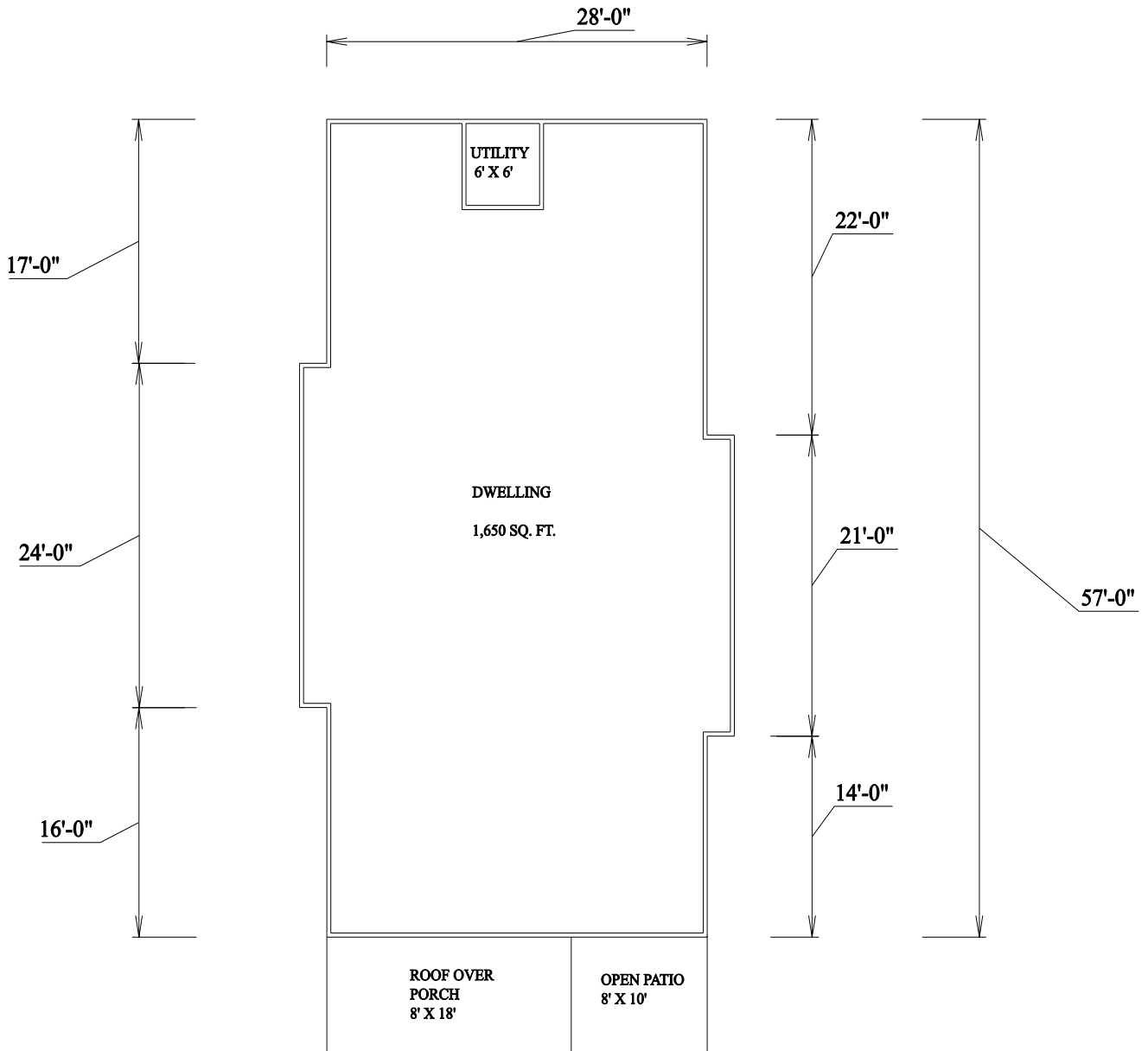
Bid Amount: _____

TOTAL BID: _____

NAME OF BIDDER: _____

AUTHORIZED SIGNATURE: _____

BUILDING FLOORPLAN SKETCH



FOOTPRINT

SCALE 1/4" = 1'-0"

**CITY OF ROCKY MOUNT
HOUSING REPAIR PROGRAM
BID DOCUMENT**

1210 Sycamore Street



BRIEF DESCRIPTION & OWNER CONCERNS:

Conventional single-family brick clad ranch on a crawlspace constructed in 1945. Home has 1464 heated square feet, three bedrooms and two baths. The owner’s primary concerns are flooring, heating, plumbing, electrical and minor porch repairs.

SPECIFICATIONS DATED: September 10, 2025

INSPECTED BY: Brian Ashburn

DATE OF INSPECTION: August 29, 2025

ADDRESS: 1210 Sycamore Street Rocky Mount NC 27801

General Conditions:

1. Contractors are to include all overhead and profit in the individual items.
2. The owner, after careful review, understands and accepts the scope of the work described and has initialed and dated each page of the work write-up.
3. Contractor certifies that he/she has reviewed and agrees to perform the scope of work described and has initialed and dated each page of the work write up.
4. The contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appears within one year from final payment by the City. All reported deficiencies or issues must be resolved by the Contractor whether the work of subcontractors or not. The City will not contact subcontractors to resolve issues. Further, the contractor shall furnish the owner with all manufactures and suppliers’ written warranties covering items furnished under the contract prior to release of final payment. Roof replacement work requires a two-year warranty.
5. All lead-based paint renovation activities performed for compensation in target housing shall be conducted in accordance with North Carolina Renovate, Repair and Paint (RRP) Rule and, when using US Department of Housing and Urban Development (HUD) funds, 24 CFR 35 Subpart J. To bid on a pre-1978 property, the contractor’s firm must provide all required Lead documents including RRP firm certification and renovator letter.
6. Remove from site all construction materials, tools, and debris. Sweeps clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags.
7. All painting must be of the highest quality. The surfaces must be prepared and inspected before painting.
8. The primer and topcoats must have the same tint.

9. Paint and Primer shall be the following or approved equal:
- a. Sherwin Williams "Super Paint", "Resilience", "Duration" or "Emerald".

All work is to comply with current North Carolina State Building Code, City of Rocky Mount Rehabilitation Standards for Single-Family Structures, performance manual guidelines and or local building, electrical and plumbing codes with inspections and permits when applicable. All work will be done in quality and workmanlike manner. All material must be new, no re-used material.

When the Work Scope calls for an item to be removed and replaced, the contractor is to secure the owner's approval to dispose of the item rather than turning the item over to the owner.

GUIDELINES FOR RENOVATION FOR PROPERTIES IN A HISTORIC DISTRICT

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The specifications have been written to meet these standards. If any work is added after the bids are submitted, the Contractor is eligible for a change order to cover additional costs.

In general, the following items and conditions apply to all work on historic properties:

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2. When new materials are specified, the Contractor shall assume (even if it is not specifically noted) that the new materials shall match as closely as possible either
 - (first choice) the existing damaged materials that are being replaced, or
 - (second choice) the original materials on adjacent surfaces.
3. If there are no original materials to match, the Contractor shall select new materials that are in line with the design period and style of the original structure - that is they shall "evoke" the feeling of the period of the structure. If in doubt, ask the Community Development Rehab Specialist for guidance.
4. When new work requires penetrating the exterior walls or roof - such as with a new vent stack, roof ventilation -- or hanging something modern on the outside of the structure -- such as a new electrical service panel -- penetrating pipes or modern appliances shall be located out of sight of the street or sidewalk whenever possible. Locations of new penetrations require approval of the C.D. Rehab Specialist BEFORE work begins.
5. When new equipment -- such as a new HVAC unit -- will set the equipment on the property outside of the house, the Contractor shall clear the location with the C.D. Rehab Specialist prior to beginning work on that location.
6. Where submittals are required, the Contractor shall submit materials, catalog cuts or color chips to the Rehab Specialist who will forward them to the proper historic authority for approval. Comments will be returned to the Contractor within 10 business days. The Contractor shall allow time for this process and anticipate this delay as part of his agreed schedule.

7. If the Contractor proceeds with work not in compliance with historic guidelines, without having consulted the C.D. Rehab Specialist, and the work is rejected by the agency with historic jurisdiction, the Contractor will be liable for removing and redoing the work to the historic guidelines at his own expense.

SPECIFICATIONS BY TRADE

PORCHES

Install pressure treated handrails at the rear steps: Rails to consist of 4"x 4" posts embedded in concrete and top and bottom 2"x 4"s with 2"x 2"s pickets set on centers so that a 4" sphere cannot pass between any opening. Install rails at both sides of steps.

Bid Amount: _____

INSULATION and ENERGY STANDARDS

Install an insulated air sealing attic access door; (scuttle hole) construct with 3/4" foam board insulation and 3/4" plywood/OSB. Unit access door must provide a continuous air barrier from the attic to the primary conditioned space.

Bid Amount: _____

PLUMBING

All work shall be performed by a licensed plumbing contractor:
All Plumbing shall meet international residential building code

Install energy efficient 40 gallon upright electric water heater with energy factor of 0.90, complete with T & P valve, expansion tank and necessary piping and wiring. Submit documentation of the brand, model number and Energy Factor for the water heater and set thermostat to 120 degrees Fahrenheit.

Bid Amount: _____

ELECTRICAL

All work shall be performed by a licensed electrical contractor:
All light bulbs shall be LED

Conduct electrical system check. Check all circuits and repair/replace all defective wiring. Eliminate any wiring hazard. Conceal all exposed wiring per code. Supply PH with written report of any discovered deficiencies and copy of invoice.

NOTE: microwave oven is tripping the circuit breaker

Bid Amount: _____

HEATING

All work shall be performed by a licensed HVAC contractor:

Install a new energy star compliant gas-fired or heat pump central heating and cooling package system, complete, including controls, automatic thermostat, fans, wiring, supply/return grilles and filter etc. Insulated metal plenum'(s) with insulated metal or flex ductwork system, Duct insulation shall be R-8, (R-6 in conditioned space) and shall include a vapor barrier on the outside surface with a flame-spread rating not greater than 25 and a smoke density

not greater than 50. Size in accordance with ACCA Manual J specifications. Do not use foil faced or batt insulation (commonly used for walls, ceiling, and floors) as duct insulation. Staples used to secure duct insulation shall be a minimum of 2-inch outward clinching heavy duty staples. All supply boots shall be sealed to the floor; all seams and returns shall be sealed with vapor barrier Mastic or approved equally durable alternative. There shall be No exposed wood inside the return'(s) Minimum AFVE rating of 92%. Minimum SEER rating of 15.2. Delivery system ductwork shall be designed in accordance with ACCA Manual D. Insulated plenum shall be a minimum of 15' long and flex duct shall be no longer than 15' with no sharp turns or compression. System capacity, copy of sizing calculations, and duct design calculations and drawings must be submitted to the PH for pre-approval. All work must be performed by a licensed HVAC contractor.

Bid Amount: _____

INTERIOR WALL

Telephone and cable TV connections, if existing and working must be working after interior is complete.

Install a triangle shape water stop at the valve end on top of the bathtub per manufacturer's specifications. Repair the water damaged sheetrock at the side of the bathtub.

Location(s): Master bathroom

Bid Amount: _____

FLOORS AND STAIRS (16)

Install vinyl plank flooring (standard in stock colors) featuring synthetic vinyl construction with minimum 6 mil wear layer and 25 yr warranty. Install per manufacture instructions. Underlayment not required for installation over smooth substrate. Flooring shall be installed before installation of other equipment. All Door jambs shall be undercut. Install transition strips at doorways located under the door when the door is shut.

NOTE: Contractor to give owner a choice of in stock colors

Locations: Hall bathroom

Bid Amount: _____

Repair/replace defective floor members: remove all defective flooring, sub-flooring, joists, band, girders/beams, ledgers, sills, piers, footings and replace with new materials. All replacement members within 12" of grade must be pressure treated.

Location(s): Hall bathroom

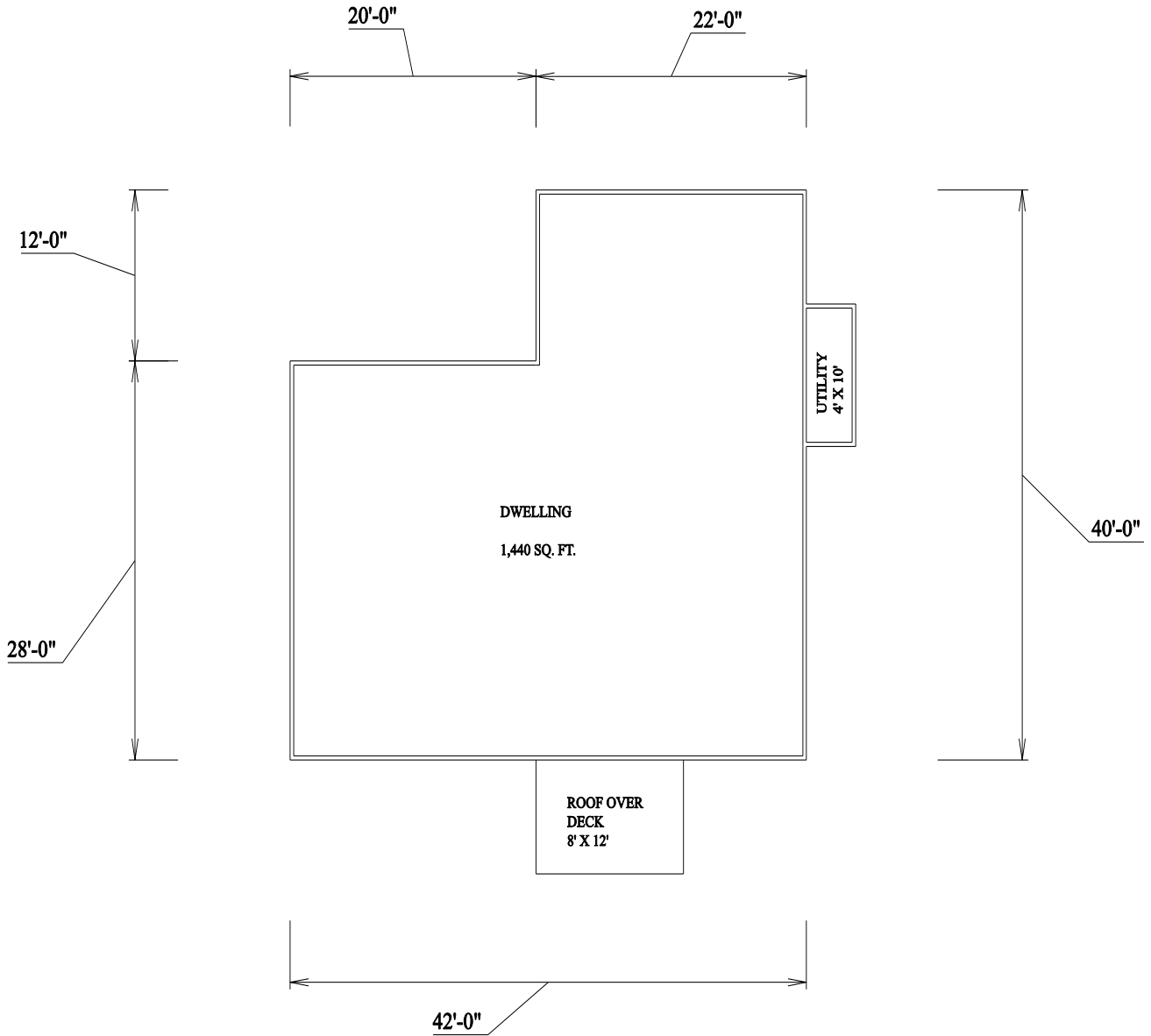
Bid Amount: _____

TOTAL BID: _____

NAME OF BIDDER: _____

AUTHORIZED SIGNATURE: _____

BUILDING FLOORPLAN SKETCH



FOOTPRINT

SCALE 1/4" = 1'-0"

**CITY OF ROCKY MOUNT
HOUSING REPAIR PROGRAM
BID DOCUMENT**

1021 Hill St



BRIEF DESCRIPTION & OWNER CONCERNS:

This property is a brick veneer home containing 1,297 sq. ft. with 2 bedrooms and 2 bathrooms with a covered front porch. There is an addition on the rear of the structure that is vinyl siding with a flat roof. Primary concerns are repairing the guttering on the rear, installing low-rise steps at the front porch, adding vapor barrier, replacing horizontal cast iron waste lines under the house and to the street, and replacing the HVAC system.

SPECIFICATIONS DATED: September 10, 2025

INSPECTED BY: Brian Ashburn

DATE OF INSPECTION: August 29, 2025

ADDRESS: 1021 Hill St Rocky Mount, NC 27801

General Conditions:

1. Contractors are to include all overhead and profit in the individual items.
2. The owner, after careful review, understands and accepts the scope of the work described and has initialed and dated each page of the work write-up.
3. Contractor certifies that he/she has reviewed and agrees to perform the scope of work described and has initialed and dated each page of the work write-up.
4. The contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appears within one year from final payment by the City. All reported deficiencies or issues must be resolved by the Contractor, whether the work of subcontractors or not. The City will not contact subcontractors to resolve issues. Further, the contractor shall furnish the owner with all manufactures' and suppliers' written warranties covering items furnished under the contract prior to release of final payment. Roof replacement work requires a two-year warranty.
5. All lead-based paint renovation activities performed for compensation in target housing shall be conducted in accordance with North Carolina Renovate, Repair and Paint (RRP) Rule and, when using US Department of Housing and Urban Development (HUD) funds, 24 CFR 35 Subpart J. To bid on a pre-1978 property, the contractor's firm must provide all required Lead documents including RRP firm certification and renovator letter.
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8. The primer and topcoats must have the same tint.
9. Paint and Primer shall be the following or approved equal:
 - a. Sherwin Williams "Super Paint", "Resilience", "Duration", or "Emerald".

All work is to comply with current North Carolina State Building Code, City of Rocky Mount Rehabilitation Standards for Single-Family Structures, performance manual guidelines, and or local building, electrical, and plumbing codes with inspections and permits when applicable. All work will be done in quality and workmanlike manner. All material must be new, no reused material.

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The property described in the attached document is either in a local historic district (meaning that the local historic preservation ordinances apply to the exterior only), in a national historic district (meaning that the Secretary of the Interior's historic preservation standards apply to both exterior and interior work), or is an individually designated historically significant building under one of these two authorities. In any case, the following SHALL apply to the work under any contract to renovate this property, and it is a condition of the use of our federal funds that these guidelines are followed.

The specifications have been written to meet these standards. If any work is added after the bids are submitted, the Contractor is eligible for a change order to cover additional costs.

In general, the following items and conditions apply to all work on historic properties:

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4. When new work requires penetrating the exterior walls or roof - such as with a new vent stack, roof ventilation -- or hanging something modern on the outside of the structure -- such as a new electrical service panel -- penetrating pipes or modern appliances shall be located out of sight of the street or sidewalk whenever possible. Locations of new penetrations require approval of the C.D. Rehab Specialist BEFORE work begins.
5. When new equipment -- such as a new HVAC unit -- will set the equipment on the property outside of the house, the Contractor shall clear the location with the C.D. Rehab Specialist prior to beginning work on that location.
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SPECIFICATIONS BY TRADE

ROOF, CHIMNEYS

Repair the existing seamless aluminum guttering at the rear over the HVAC unit.
NOTE: needs reattached

Bid Amount: _____

PORCHES

Install new pressure treated steps at the front entrance: steps to consist of low riser height; treads to consist of three 2" x 6" set 1/4" apart; maximum riser height to be 5 1/2" rises must be closed; minimum step width to be 36" match existing concrete step width. Install pressure treated handrail at both sides of the steps to consist of 4" x 4" posts embedded in concrete and top and bottom 2" x 4"s with 2" x 2"s pickets set on centers so that a 4" sphere cannot pass between any opening.

Bid Amount: _____

INSULATION and ENERGY STANDARDS

Install continuous 6-mil poly vapor barrier to 100% of accessible crawlspace area. Lap poly barrier up foundation wall a minimum of 4", lap seams a minimum of 6", secure with proper attachment. Accessible to be defined as one vertical foot. Work to include removal of all debris. To comply with local code requirements (consult with building inspector).

Bid Amount: _____

PLUMBING

All work shall be performed by a licensed plumbing contractor:
Seal around all floor, wall, and ceiling penetrations.

If the scope of work includes the installation of a new bathroom or replacement of existing bathroom fixtures, all fixtures must meet clearance standards and must meet or exceed the water usage standards of the International Residential Building Code.

All Plumbing shall meet the International Residential Building Code.

Repair/replace any defective plumbing pipe and/or supply and waste lines to achieve proper operation and to bring to NC Residential plumbing code. Work to include consolidation of all waste lines into main waste as needed and replace all galvanized pipe and/or supply lines. Work to include installation of a washer hook-up box or repair of existing, proper venting, and clean out (including a clean out exterior of the foundation if required) of all waste lines to sewer connection where necessary and applicable.

NOTE: Work shall include replacement of water line extending from the meter to the structural connection.

Bid Amount: _____

HEATING

All work shall be performed by a licensed HVAC contractor:

Seal around all floor, wall and ceiling penetrations. Install dryer venting to the exterior.

If the scope of work includes the installation of new HVAC equipment or replacement of existing HVAC equipment, the work shall include any item necessary to complete the installation of said equipment, including but not limited to removal of existing equipment, folding staircases, attic platforms, chase and chase walls, crawlspace doors, piers, and /or concrete slabs. Installation of a new Dryer vent or repair of existing dryer vent is required. All equipment must meet or exceed the International Residential Building Code. All new HVAC equipment must be Energy Star compliant.

Install a new Energy Star-compliant heat pump central heating and cooling split system complete to include controls, automatic thermostat, fans, wiring, supply/return grilles, and filter, etc. Insulated metal plenum'(s) with insulated metal or flex ductwork system. Duct insulation shall be R-8 (R-6 in conditioned space) and shall include a vapor barrier on the outside surface with a flame-spread rating not greater than 25 and a smoke density not greater than 50. Size in accordance with ACCA Manual J specifications. Do not use foil-faced or batt insulation (commonly used for walls, ceiling, and floors) as duct insulation. Staples used to secure duct insulation shall be a minimum of 2-inch outward clinching heavy-duty staples. All supply boots shall be sealed to the floor; all seams and returns shall be sealed with vapor barrier Mastic or an approved equally durable alternative. There shall be no exposed wood inside the return (s) Unit must have a minimum HSPF of 8.2 and a minimum SEER of 15.3. Delivery system ductwork shall be designed in accordance with ACCA Manual D. Insulated plenum shall be a minimum of 15' long, and flex duct shall be no longer than 15' with no sharp turns or compression. System capacity, copy of sizing calculations, and duct design calculations and drawings must be submitted to the PH for pre-approval.

Work must be performed by a licensed HVAC contractor. Submit plans to mechanical inspector for prior approval. Supply PH with all warranty information and a copy of the invoice.

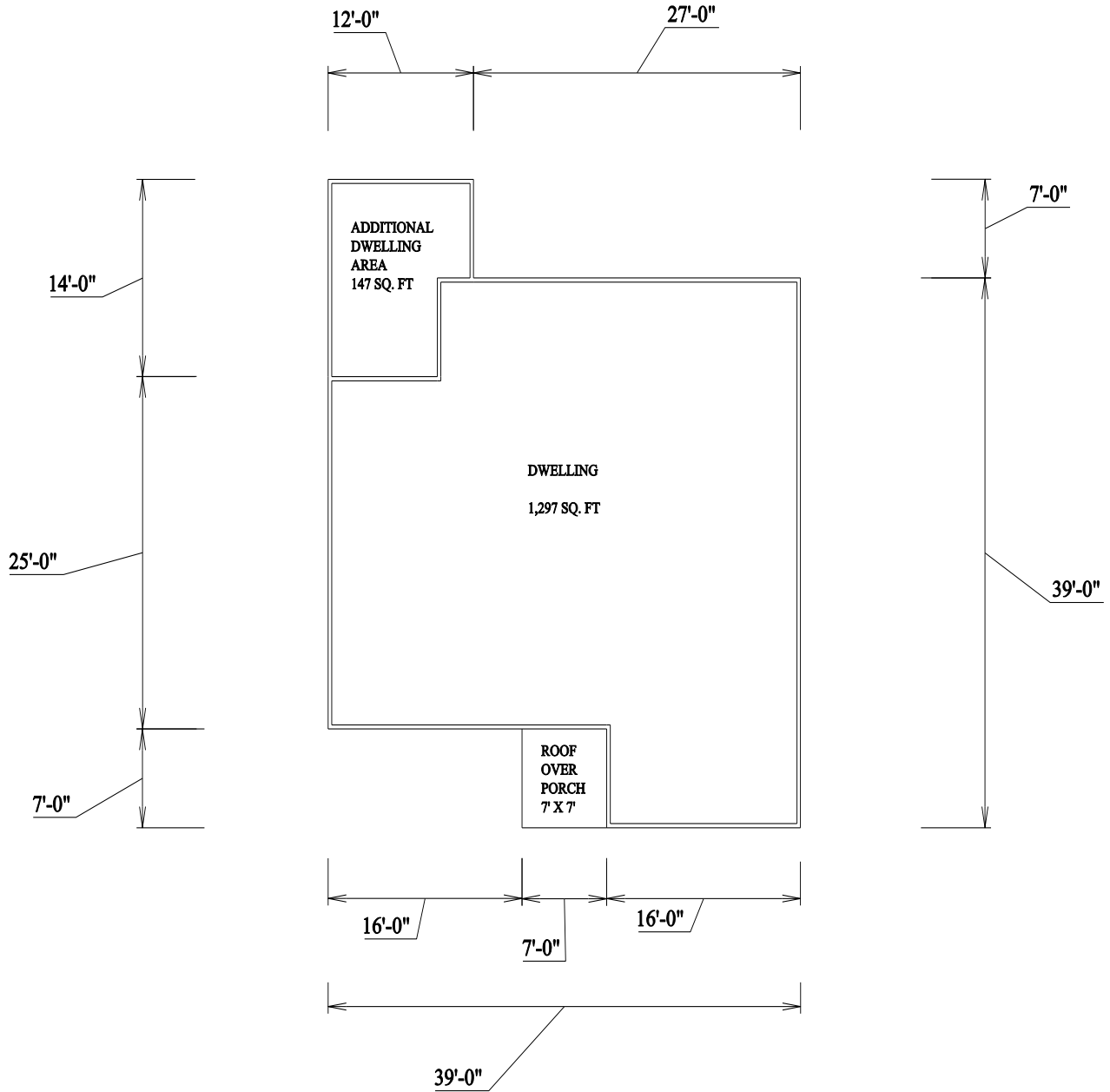
Bid Amount: _____

TOTAL BID: _____

NAME OF BIDDER: _____

AUTHORIZED SIGNATURE: _____

BUILDING FLOORPLAN SKETCH



FOOTPRINT

SCALE 1/4" = 1'-0"

**CITY OF ROCKY MOUNT
HOUSING REPAIR PROGRAM
BID DOCUMENT**

732 Redgate Avenue



BRIEF DESCRIPTION & OWNER CONCERNS:

Conventional ranch home built on a crawlspace in 1921. The home consists of 1651 heated square feet and contains three bedrooms and one bath. The owner's primary concerns were roof replacement, and water heater replacement.

SPECIFICATIONS DATED: September 11, 2025

INSPECTED BY: Brian Ashburn

DATE OF INSPECTION: August 29, 2025

ADDRESS: 732 Redgate Avenue Rocky Mount NC 27801

General Conditions:

1. Contractors are to include all overhead and profit in the individual items.
2. The owner, after careful review, understands and accepts the scope of the work described and has initialed and dated each page of the work write-up.
3. Contractor certifies that he/she has reviewed and agrees to perform the scope of work described and has initialed and dated each page of the work write up.
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5. All lead-based paint renovation activities performed for compensation in target housing shall be conducted in accordance with North Carolina Renovate, Repair and Paint (RRP) Rule and, when using US Department of Housing and Urban Development (HUD) funds, 24 CFR 35 Subpart J. To bid on a pre-1978 property, the contractor's firm must provide all required Lead documents including RRP firm certification and renovator letter.
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4. When new work requires penetrating the exterior walls or roof - such as with a new vent stack, roof ventilation -- or hanging something modern on the outside of the structure -- such as a new electrical service panel -- penetrating pipes or modern appliances shall be located out of sight of the street or sidewalk whenever possible. Locations of new penetrations require approval of the C.D. Rehab Specialist BEFORE work begins.
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SPECIFICATIONS BY TRADE

ROOF, CHIMNEYS

Install tear off roof: remove existing roofing down to sheathing; repair/replace all defective rafters; re-nail all loose sheathing; replace all defective sheathing up to 300 square feet; if additional sheathing needs replacement contact the PH. install new builders felt, cover the entire roof (comply with code requirements), and 230 lb. fiberglass, 30 year architectural shingles. All abutments to be step flashed under existing vertical material at abutment, brick exterior shall be step flashed, and counter flashed, counter flashing shall be cut into the brick. All flashing shall be painted black or matching roof color. Seal all flashing, vent stacks and flanges with roof cement. Roof to include all attached structures and be completed in a professional manner.

Note: Remove tree limbs within 7 ft of roof

Bid Amount: _____

Install flashing at all chimneys, step flashing and counter flashing, all counter flashing shall be cut into the brick. Counter flashing shall be painted black or matching roof color. All flashing shall be completed in a professional manner.

Bid Amount: _____

Install aluminum 3" drip edge at entire perimeter of roof. (white or brown) Mill finish or galvanized drip edge will not be accepted. Trim coil used to wrap fascia created on-site will not be accepted as drip edge.

Bid Amount: _____

Install continuous shingle over style ridge vent; ventilator to run length of structure: install per manufacturers specifications. Ridge vent shall terminate 8' from gable end where gable vents are existing.

Bid Amount: _____

PLUMBING

All work shall be performed by a licensed plumbing contractor:

All Plumbing shall meet international residential building code

Install energy efficient 40 gallon upright electric water heater with energy factor of 0.90, complete with T & P valve, expansion tank and necessary piping and wiring. Submit documentation of the brand, model number and Energy Factor for the water heater and set thermostat to 120 degrees Fahrenheit.

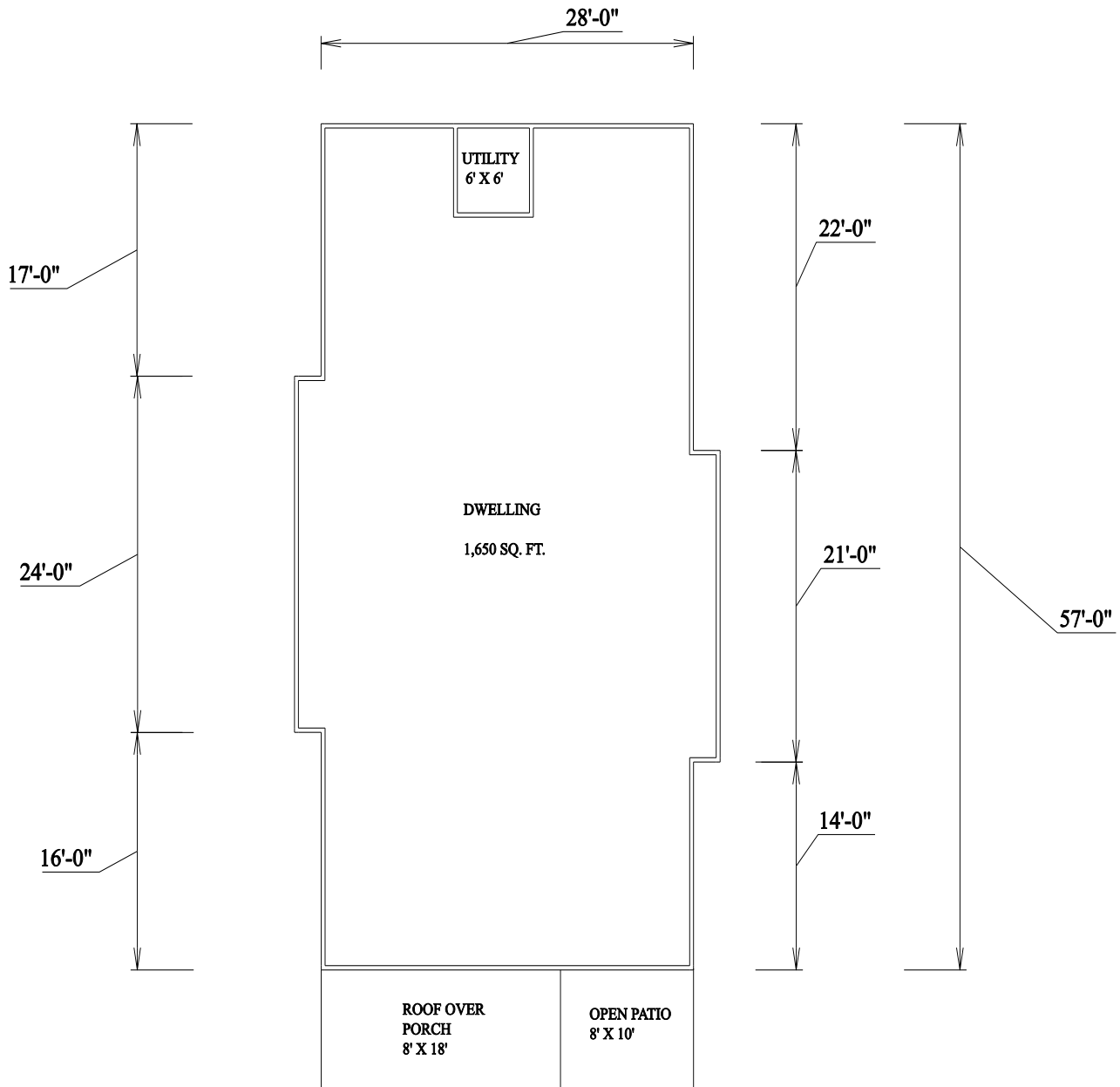
Bid Amount: _____

TOTAL BID: _____

NAME OF BIDDER: _____

AUTHORIZED SIGNATURE: _____

BUILDING FLOORPLAN SKETCH



FOOTPRINT

SCALE 1/4" = 1'-0"

**CITY OF ROCKY MOUNT
HOUSING REPAIR PROGRAM
BID DOCUMENT**

924 Shepard Dr



BRIEF DESCRIPTION & OWNER CONCERNS:

This is a brick veneer structure with 3 bedrooms, 2 bathrooms, and attached garage. The total square footage of the living area is 1,695 sq ft. The primary concerns are replacing the gas HVAC unit, adding attic insulation, adding a vapor barrier in the crawlspace, replacing the attic fold down steps, replacing the gas water heater, and replacing three stationary windows in the Living Room.

SPECIFICATIONS DATED: 11-10-2025

INSPECTED BY: Michael Kepley

DATE OF INSPECTION: 11-07-2025

ADDRESS: 924 Shepard Dr Rocky Mount, NC 27801

General Conditions:

1. Contractors are to include all overhead and profit in the individual items.
2. The owner, after careful review, understands and accepts the scope of the work described and has initialed and dated each page of the work write-up.
3. Contractor certifies that he/she has reviewed and agrees to perform the scope of work described and has initialed and dated each page of the work write up.
4. The contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appears within one year from final payment by the City. All reported deficiencies or issues must be resolved by the Contractor whether the work of subcontractors or not. The City will not contact subcontractors to resolve issues. Further, the contractor shall furnish the owner with all manufactures and suppliers' written warranties covering items furnished under the contract prior to release of final payment. Roof replacement work requires a two-year warranty.
5. All lead-based paint renovation activities performed for compensation in target housing shall be conducted in accordance with North Carolina Renovate, Repair and Paint (RRP) Rule and, when using US Department of Housing and Urban Development (HUD) funds, 24 CFR 35 Subpart J. To bid on a pre-1978 property, the contractor's firm must provide all required Lead documents including RRP firm certification and renovator letter.
6. Remove from site all construction materials, tools, and debris. Sweeps clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags.
7. All painting must be of the highest quality. The surfaces must be prepared and inspected before painting.
8. The primer and topcoats must have the same tint.
9. Paint and Primer shall be the following or approved equal:
 - a. Sherwin Williams "Super Paint", "Resilience", "Duration" or "Emerald".

All work is to comply with current North Carolina State Building Code, City of Rocky Mount Rehabilitation Standards for Single-Family Structures, performance manual guidelines and or local building, electrical and plumbing codes with inspections and permits when applicable. All work will be done in quality and workmanlike manner. All material must be new, no re-used material.

When the Work Scope calls for an item to be removed and replaced, the contractor is to secure the owner's approval to dispose of the item rather than turning the item over to the owner.

GUIDELINES FOR RENOVATION FOR PROPERTIES IN A HISTORIC DISTRICT

The property described in the attached document is either in a local historic district (meaning that the local historic preservation ordinances apply to the exterior only), in a national historic district (meaning that the Secretary of the Interior's historic preservation standards apply to both exterior and interior work) or is an individually designated historically significant building under one of these two authorities. In any case, the following SHALL apply to the work under any contract to renovate this property and it is a condition of the use of our federal funds that these guidelines are followed.

The specifications have been written to meet these standards. If any work is added after the bids are submitted, the Contractor is eligible for a change order to cover additional costs.

In general, the following items and conditions apply to all work on historic properties:

1. Whenever possible the Contractor shall repair and reuse original materials and restore the original structure and details.
2. When new materials are specified, the Contractor shall assume (even if it is not specifically noted) that the new materials shall match as closely as possible either
 - (first choice) the existing damaged materials that are being replaced, or
 - (second choice) the original materials on adjacent surfaces.
3. If there are no original materials to match, the Contractor shall select new materials that are in line with the design period and style of the original structure - that is they shall "evoke" the feeling of the period of the structure. If in doubt, ask the Community Development Rehab Specialist for guidance.
4. When new work requires penetrating the exterior walls or roof - such as with a new vent stack, roof ventilation -- or hanging something modern on the outside of the structure -- such as a new electrical service panel -- penetrating pipes or modern appliances shall be located out of sight of the street or sidewalk whenever possible. Locations of new penetrations require approval of the C.D. Rehab Specialist BEFORE work begins.
5. When new equipment -- such as a new HVAC unit -- will set the equipment on the property outside of the house, the Contractor shall clear the location with the C.D. Rehab Specialist prior to beginning work on that location.
6. Where submittals are required, the Contractor shall submit materials, catalog cuts or color chips to the Rehab Specialist who will forward them to the proper historic authority for approval. Comments will be returned to the Contractor within 10 business days. The Contractor shall allow time for this process and anticipate this delay as part of his agreed schedule.
7. If the Contractor proceeds with work not in compliance with historic guidelines, without having consulted the C.D. Rehab Specialist, and the work is rejected by the agency with historic jurisdiction, the Contractor will be liable for removing and redoing the work to the historic guidelines at his own expense.

SPECIFICATIONS BY TRADE

EXITS

Rework one (1) existing exit doors. Work to include installation of new weather-stripping and peep hole. Add another peep hole at Homeowner determined location. Adjust door to open and shut properly.

Location: Front door

Bid Amount _____

WINDOWS

If the scope of work includes the replacement of windows, all windows shall meet sections R303.1, R308, R310, R613 of the international residential building code.

Tempered glass is required for windows close to exits.

Alarm system connections, if existing and working, must be working after new window installation is complete.

Install three (3) new vinyl single hung Energy Star replacement window units: remove existing window units; replace with new vinyl units double hung thermal pane units, complete, to include locks and full screens. Windows shall be Low-E argon filled, with U-Factor of 0.30 or less and SHGC 0.40 or less. Windows shall have a maximum infiltration of .37 cfm per linear foot of edge of operable sash (Contractor shall present manufacturer's specifications to demonstrate compliance) Window must be installed plumb and true, panes must be cleaned, and all affected adjacent surfaces repaired to match existing interior and exterior. Remove the existing exterior aluminum trim and install new color matching aluminum trim once window installation is completed. Case complete including proper stool. Air seal around replacement unit and frame with window and door spray foam.

Remove stickers from windows and clean before final inspection.

Locations: Front Living Room stationary windows

Note: Homeowner to choose window and aluminum trim color.

Bid Amount _____

INSULATION and ENERGY STANDARDS

Furnish an insulation certification card and post at a conspicuous location such as inside the attic access door. This certification shall indicate the R-value, minimum thickness, maximum coverage and minimum weight per square foot of the insulation for wall, ceiling, and floor installations.

Add to the existing attic insulation with blown insulation to all conditioned space to achieve an R value of 38. Install blocking fire block around chimney(s) to include sheet metal with fire rated foam or caulk. Install attic baffles between each rafter along with an air block (cardboard or other rigid material) from the top of the top plate to the bottom of the baffle. Install depth markers: one for every 300 sq ft. Insulation shall not be fluffed.

*Note that air sealing shall be completed and inspected prior to attic insulation installation.

Bid Amount _____

Fill with non-expanding insulating foam sealant along each side of top plates in attic. Around electrical fixtures and circuit penetrations in attic and crawlspace. Around all plumbing vent pipes in attic. Install fire block around chimneys to consist of metal blocking and fire rated foam or caulk. Install rigid air block around large plumbing penetrations in crawl space and foam around small holes.

Bid Amount _____

Install continuous clear 6-mil poly vapor barrier to 100% of accessible crawlspace area. Lap poly barrier up foundation wall and piers a minimum of 4", overlap poly seams a minimum of 12-in, secure with landscape pins. Accessible to be defined as one vertical foot.

Note: Work to include removal of all debris in crawlspace.

Bid Amount _____

PLUMBING

All work shall be performed by a licensed plumbing contractor.

Install 40 gallon 35500-BTU gas fired water heater with energy factor of 0.60, complete with T & P valve, UL approved vent, and all necessary piping. Water heater shall have a 6-year warranty. Submit documentation of the brand, model number and Energy Factor for the water heater and set thermostat to 120 degrees Fahrenheit.

Note: Install a new expansion tank as required by code.

Bid Amount _____

HEATING

All work shall be performed by a licensed HVAC contractor:

Seal around all floor, wall and ceiling penetrations in affected areas.

If the scope of work includes the installation of new HVAC equipment or replacement of existing HVAC equipment: the work shall include any item necessary to complete the installation of said equipment, including but not limited to removal of existing equipment, folding staircases, attic access, attic platforms, crawlspace doors, piers and /or concrete slabs.

All equipment must meet or exceed the international residential building code.

Remove all existing heating equipment and dispose of same offsite.

Install a new gas-fired central heating and cooling split or package system, complete, to include controls, automatic thermostat, fans, wiring, supply/return grilles and filter etc. Size in accordance with ACCA Manual J specifications. Minimum AFUE rating of 92%. Minimum SEER 2 rating of 15.2. System capacity, copy of sizing calculations, and drawings must be submitted to the CDO for pre-approval. All work must be performed by a licensed HVAC contractor.

Note: Air seal between floor boot and subfloor

Bid Amount _____

INTERIOR CEILINGS

Replace the existing pull-down attic steps located in the garage. Install a new aluminum folding ladder unit with 375 lb. capacity. Install per the manufacturer's specifications. Carefully remove the existing ceiling trim and reuse for the new unit.

Location: Garage

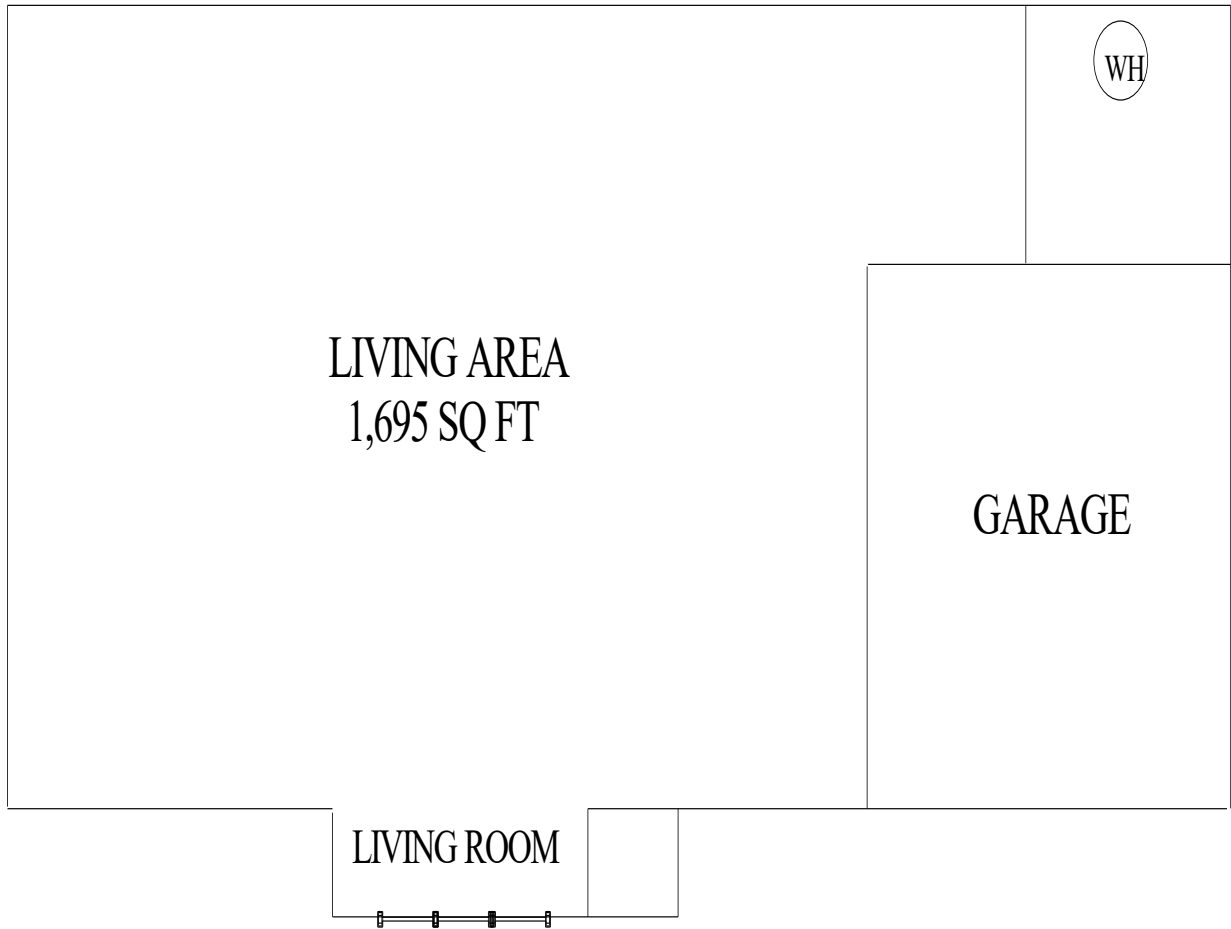
Bid Amount _____

TOTAL BID: _____

NAME OF BIDDER: _____

AUTHORIZED SIGNATURE: _____

BUILDING FLOORPLAN SKETCH



**CITY OF ROCKY MOUNT
HOUSING REPAIR PROGRAM
BID DOCUMENT**

1409 Pinehaven Drive



BRIEF DESCRIPTION & OWNER CONCERNS:

This is a brick veneer house built in 1962 with 3 bedrooms, 2 bathrooms, and attached garage. The main floor is 2,100 sq. ft and it has an unconditioned upper floor. The main concerns for this structure is replacing a leaking low pitch roof, HVAC unit replacement, and water heater replacement.

SPECIFICATIONS DATED: 11-10-2025

INSPECTED BY: Michael Kepley

DATE OF INSPECTION: 11-7-2025

ADDRESS: 1409 Pinehaven Drive Rocky Mount, NC 27803

General Conditions:

1. Contractors are to include all overhead and profit in the individual items.
2. The owner, after careful review, understands and accepts the scope of the work described and has initialed and dated each page of the work write-up.
3. Contractor certifies that he/she has reviewed and agrees to perform the scope of work described and has initialed and dated each page of the work write up.
4. The contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appears within one year from final payment by the City. All reported deficiencies or issues must be resolved by the Contractor whether the work of subcontractors or not. The City will not contact subcontractors to resolve issues. Further, the contractor shall furnish the owner with all manufactures and suppliers' written warranties covering items furnished under the contract prior to release of final payment. Roof replacement work requires a two-year warranty.
5. All lead-based paint renovation activities performed for compensation in target housing shall be conducted in accordance with North Carolina Renovate, Repair and Paint (RRP) Rule and, when using US Department of Housing and Urban Development (HUD) funds, 24 CFR 35 Subpart J. To bid on a pre-1978 property, the contractor's firm must provide all required Lead documents including RRP firm certification and renovator letter.
6. Remove from site all construction materials, tools, and debris. Sweeps clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags.
7. All painting must be of the highest quality. The surfaces must be prepared and inspected before painting.
8. The primer and topcoats must have the same tint.
9. Paint and Primer shall be the following or approved equal:
 - a. Sherwin Williams "Super Paint", "Resilience", "Duration" or "Emerald".

All work is to comply with current North Carolina State Building Code, City of Rocky Mount Rehabilitation Standards for Single-Family Structures, performance manual guidelines and or local building, electrical and plumbing codes with inspections and permits when applicable. All work will be done in quality and workmanlike manner. All material must be new, no re-used material.

When the Work Scope calls for an item to be removed and replaced, the contractor is to secure the owner's approval to dispose of the item rather than turning the item over to the owner.

GUIDELINES FOR RENOVATION FOR PROPERTIES IN A HISTORIC DISTRICT

The property described in the attached document is either in a local historic district (meaning that the local historic preservation ordinances apply to the exterior only), in a national historic district (meaning that the Secretary of the Interior's historic preservation standards apply to both exterior and interior work) or is an individually designated historically significant building under one of these two authorities. In any case, the following SHALL apply to the work under any contract to renovate this property and it is a condition of the use of our federal funds that these guidelines are followed.

The specifications have been written to meet these standards. If any work is added after the bids are submitted, the Contractor is eligible for a change order to cover additional costs.

In general, the following items and conditions apply to all work on historic properties:

1. Whenever possible the Contractor shall repair and reuse original materials and restore the original structure and details.
2. When new materials are specified, the Contractor shall assume (even if it is not specifically noted) that the new materials shall match as closely as possible either
 - (first choice) the existing damaged materials that are being replaced, or
 - (second choice) the original materials on adjacent surfaces.
3. If there are no original materials to match, the Contractor shall select new materials that are in line with the design period and style of the original structure - that is they shall "evoke" the feeling of the period of the structure. If in doubt, ask the Community Development Rehab Specialist for guidance.
4. When new work requires penetrating the exterior walls or roof - such as with a new vent stack, roof ventilation -- or hanging something modern on the outside of the structure -- such as a new electrical service panel -- penetrating pipes or modern appliances shall be located out of sight of the street or sidewalk whenever possible. Locations of new penetrations require approval of the C.D. Rehab Specialist BEFORE work begins.
5. When new equipment -- such as a new HVAC unit -- will set the equipment on the property outside of the house, the Contractor shall clear the location with the C.D. Rehab Specialist prior to beginning work on that location.
6. Where submittals are required, the Contractor shall submit materials, catalog cuts or color chips to the Rehab Specialist who will forward them to the proper historic authority for approval. Comments will be returned to the Contractor within 10 business days. The Contractor shall allow time for this process and anticipate this delay as part of his agreed schedule.
7. If the Contractor proceeds with work not in compliance with historic guidelines, without having consulted the C.D. Rehab Specialist, and the work is rejected by the agency with historic jurisdiction, the Contractor will be liable for removing and redoing the work to the historic guidelines at his own expense.

SPECIFICATIONS BY TRADE

ROOF, CHIMNEYS

Install a new .060 mil EPDM rubber roof on the flat area of the rear roof (~16 ft x 38 ft). Remove existing roofing and dispose of same. Replace up to three (3) sheets of roof sheathing. Any more will be a change order. Call Housing Rehab Specialist for approval. Pictures required for roof sheathing.
Install 1/2" polyiso rigid form board across the entire flat roof area and secure as directed by the manufacturer. Fully adhere the EPDM to the polyiso with manufacturer approved adhesive. Install a 1x2 shingle trim around the fascia of the flat roof area and install termination bar.

Price per sheet of additional roof decking _____

Bid Amount _____

Install flashing at all chimneys, step flashing and counter flashing, all counter flashing shall be cut into the brick. Counter flashing shall be painted black or matching roof color. All flashing shall be completed in a professional manner.

Bid Amount _____

PLUMBING

All work shall be performed by a licensed plumbing contractor:
Seal around all floor, wall, and ceiling penetrations in affected areas.

Install energy efficient 40 gallon upright electric water heater with energy factor of 0.93, complete with T & P valve and necessary piping and wiring. Submit documentation of the brand, model number and Energy Factor for the water heater and set thermostat to 120 degrees Fahrenheit.
Note: Install a new expansion tank

Bid Amount _____

HEATING

All work shall be performed by a licensed HVAC contractor:
If the scope of work includes the installation of new HVAC equipment or replacement of existing HVAC equipment: the work shall include any item necessary to complete the installation of said equipment, including but not limited to: removal of existing equipment, folding staircases, attic access, attic platforms, crawlspace doors, piers and /or concrete slabs.
All equipment must meet or exceed the international residential building code.
Remove all existing heating equipment and dispose of same.

Install a new gas-fired central heating and cooling split or package system, complete, to include controls, automatic thermostat, fans, wiring, supply/return grilles, and filter etc. Size in accordance with ACCA Manual J specifications. Minimum AFUE rating of 92%. Minimum SEER 2 rating of 15.2. System capacity, copy of sizing calculations, and drawings must be submitted to the CDO for pre-approval. All work must be performed by a licensed HVAC contractor.
Note: Air seal between floor boot and subfloor

Only first floor duct work is needed.

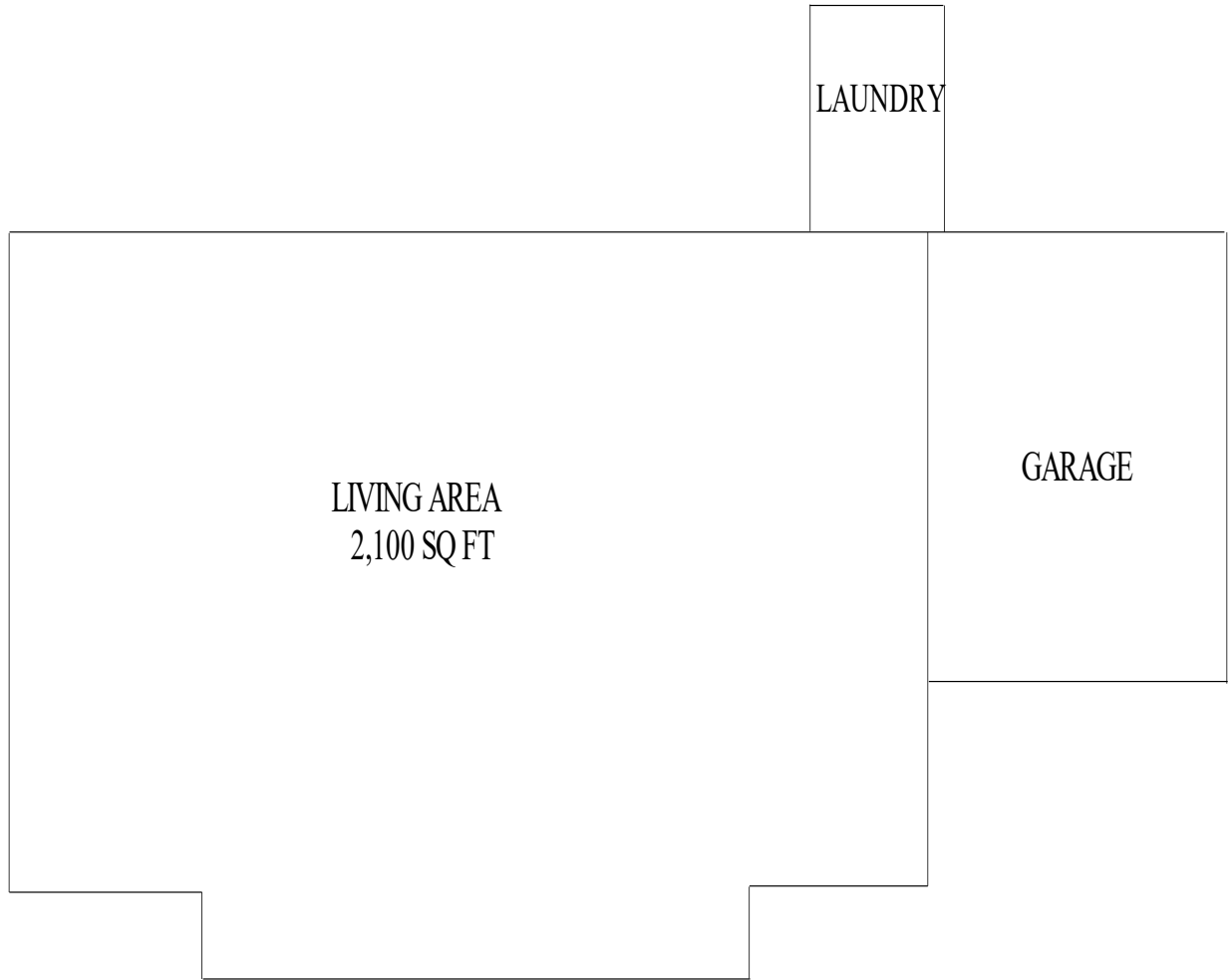
Bid Amount _____

TOTAL BID: _____

NAME OF BIDDER: _____

AUTHORIZED SIGNATURE: _____

BUILDING FLOORPLAN SKETCH



**CITY OF ROCKY MOUNT
HOUSING REPAIR PROGRAM
BID DOCUMENT**

309 E Battleboro Ave., Rocky Mount, NC 27809



BRIEF DESCRIPTION & OWNER CONCERNS:

This house was built in 1942 and has 1,040 sq ft of conditioned space. It has a covered front porch, attached covered carport, and low slope roofing over the front porch carport, and a small section on the rear of the house. Primary issues addressed are as follows: Roof shingle replacement and EPDM installation over the low slope areas, battery smoke detector installation, and gas HVAC replacement.

SPECIFICATIONS DATED: 10-14-2025

INSPECTED BY: Michael Kepley

DATE OF INSPECTION: 10-7-2025

ADDRESS: 309 E Battleboro Ave Rocky Mount, NC 27809

General Conditions:

1. Contractors are to include all overhead and profit in the individual items.
2. The owner, after careful review, understands and accepts the scope of the work described and has initialed and dated each page of the work write-up.
3. Contractor certifies that he/she has reviewed and agrees to perform the scope of work described and has initialed and dated each page of the work write up.
4. The contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appears within one year from final payment by the City. All reported deficiencies or issues must be resolved by the Contractor whether the work of subcontractors or not. The City will not contact subcontractors to resolve issues. Further, the contractor shall furnish the owner with all manufactures and suppliers' written warranties covering items furnished under the contract prior to release of final payment. Roof replacement work requires a two-year warranty.
5. All lead-based paint renovation activities performed for compensation in target housing shall be conducted in accordance with North Carolina Renovate, Repair and Paint (RRP) Rule and, when using US Department of Housing and Urban Development (HUD) funds, 24 CFR 35 Subpart J. To bid on a pre-1978 property, the contractor's firm must provide all required Lead documents including RRP firm certification and renovator letter.
6. Remove from site all construction materials, tools, and debris. Sweeps clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags.
7. All painting must be of the highest quality. The surfaces must be prepared and inspected before painting.
8. The primer and topcoats must have the same tint.
9. Paint and Primer shall be the following or approved equal:
 - a. Sherwin Williams "Super Paint", "Resilience", "Duration" or "Emerald".

All work is to comply with current North Carolina State Building Code, City of Rocky Mount Rehabilitation Standards

for Single-Family Structures, performance manual guidelines and or local building, electrical and plumbing codes with inspections and permits when applicable. All work will be done in quality and workmanlike manner. All material must be new, no re-used material.

When the Work Scope calls for an item to be removed and replaced, the contractor is to secure the owner's approval to dispose of the item rather than turning the item over to the owner.

GUIDELINES FOR RENOVATION FOR PROPERTIES IN A HISTORIC DISTRICT

The property described in the attached document is either in a local historic district (meaning that the local historic preservation ordinances apply to the exterior only), in a national historic district (meaning that the Secretary of the Interior's historic preservation standards apply to both exterior and interior work) or is an individually designated historically significant building under one of these two authorities. In any case, the following SHALL apply to the work under any contract to renovate this property and it is a condition of the use of our federal funds that these guidelines are followed.

The specifications have been written to meet these standards. If any work is added after the bids are submitted, the Contractor is eligible for a change order to cover additional costs.

In general, the following items and conditions apply to all work on historic properties:

1. Whenever possible the Contractor shall repair and reuse original materials and restore the original structure and details.
2. When new materials are specified, the Contractor shall assume (even if it is not specifically noted) that the new materials shall match as closely as possible either
 - (first choice) the existing damaged materials that are being replaced, or
 - (second choice) the original materials on adjacent surfaces.
3. If there are no original materials to match, the Contractor shall select new materials that are in line with the design period and style of the original structure - that is they shall "evoke" the feeling of the period of the structure. If in doubt, ask the Community Development Rehab Specialist for guidance.
4. When new work requires penetrating the exterior walls or roof - such as with a new vent stack, roof ventilation -- or hanging something modern on the outside of the structure -- such as a new electrical service panel -- penetrating pipes or modern appliances shall be located out of sight of the street or sidewalk whenever possible. Locations of new penetrations require approval of the C.D. Rehab Specialist BEFORE work begins.
5. When new equipment -- such as a new HVAC unit -- will set the equipment on the property outside of the house, the Contractor shall clear the location with the C.D. Rehab Specialist prior to beginning work on that location.
6. Where submittals are required, the Contractor shall submit materials, catalog cuts or color chips to the Rehab Specialist who will forward them to the proper historic authority for approval. Comments will be returned to the Contractor within 10 business days. The Contractor shall allow time for this process and anticipate this delay as part of his agreed schedule.
7. If the Contractor proceeds with work not in compliance with historic guidelines, without having consulted the C.D. Rehab Specialist, and the work is rejected by the agency with historic jurisdiction, the Contractor will be liable for removing and redoing the work to the historic guidelines at his own expense.

SPECIFICATIONS BY TRADE

ROOF, CHIMNEYS

Install a new Atlas Pinnacle Pristine, GAF Timberline HDZ, Certaineed Landmark, or Owens Corning TruDef Duration architectural shingle roof: remove existing roofing down to sheathing; replace all defective sheathing; renail all loose sheathing with ring shank nails; allow for a maximum of 50 LF of roof decking maximum (any extra will be change order- call Rehab Specialist for approval).

Install new shingle manufacturer recommended synthetic roofing underlayment to cover the entire roof. Install manufacturer recommended hip and ridge shingles over new manufacturer recommended shingle over ridge vent. Install all new pipe boots and exhaust vent roof flanges.

All abutments shall be step flashed, and counter flashed with black or dark bronze step and counter flashing. Install kick out flashing at the bottom of roof/wall intersections.

Seal all flashing, vent stacks and flanges with BASF NP1 black paintable caulk. The roof components shall be installed according to the manufacturer's specifications and be completed in a professional manner.

The Contractor shall submit the warranty information to the manufacturer and provide the Homeowner with warranty paperwork.

Price per LF of dimensional roof decking _____

Bid Amount _____

Install iso board and EPDM 0.060 mil rubber roofing on the low pitch areas of the roof. Install 1-in thick iso board over the entire low pitch area and secure to roof deck with fastener plates. Fully adhere the EPDM with manufacturer approved adhesive. Install termination bar around the fascia. The EPDM should extend under the shingles at the roof transition at least 12-in.

Location: Front porch roof and rear low pitch area

Bid Amount _____

Install flashing at all chimneys, step flashing and counter flashing, all counter flashing shall be cut into the brick. Counter flashing shall be painted black or matching roof color. All flashing shall be completed in a professional manner.

Bid Amount _____

Install white or black aluminum 4-in drip edge at entire perimeter of roof. The drip edge shall be installed straight and true with butt joints overlapping 1-in. Secure the drip with roofing tacks every 16-in. Install the synthetic underlayment on top of the drip edge along eaves.

Bid Amount _____

Install continuous shingle over style ridge vent and hip and ridge shingles; ventilator to run length of structure: install per manufacturers specifications.

Bid Amount _____

ELECTRICAL

Install 10-yr Lithium battery operated First Alert smoke detector in the structure. Smoke detector can be installed on the wall between 4-in and 12-in from ceiling or installed on the ceiling 4-in from the wall.

Bid Amount _____

HEATING

All work shall be performed by a licensed HVAC contractor:

Seal around all floor, wall and ceiling penetrations in affected areas, specifically floor boot and floor.

If the scope of work includes the installation of new HVAC equipment or replacement of existing HVAC equipment: the work shall include any item necessary to complete the installation of said equipment, including but not limited to removal of existing equipment, folding staircases, crawlspace doors, piers and /or concrete slabs.

All equipment must meet or exceed the international residential building code.

Install a new gas-fired central heating and cooling package system, complete, to include controls, automatic thermostat, fans, wiring, supply/return grilles and filter etc. Size in accordance with ACCA Manual J specifications. Minimum AFUE rating of 92%. Minimum SEER 2 rating of 15.2. System capacity, copy of sizing calculations, and drawings must be submitted to the CDO for pre-approval. All work must be performed by a licensed HVAC contractor.

Remove and dispose of existing system offsite. Connect to existing ductwork.

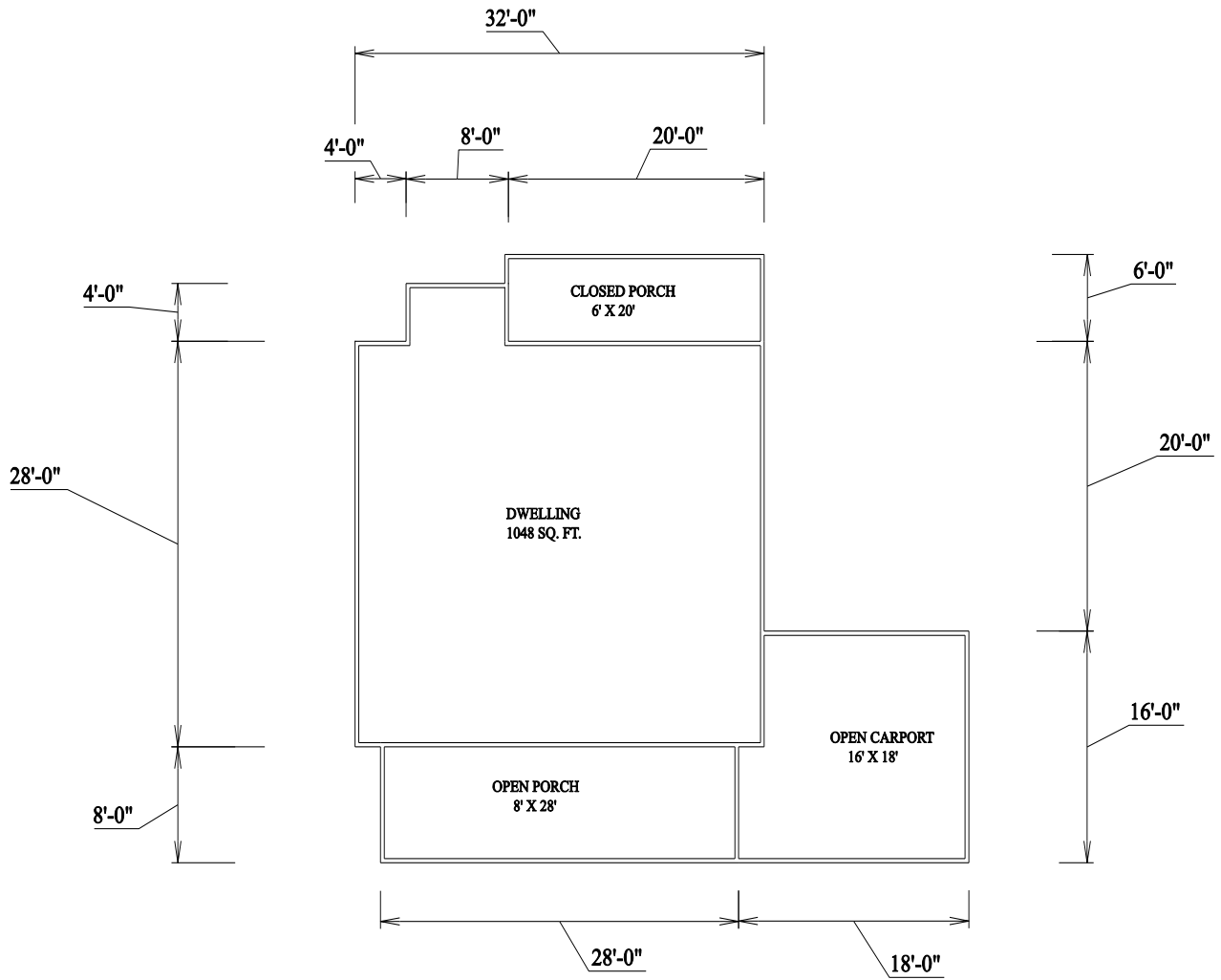
Bid Amount _____

TOTAL BID: _____

NAME OF BIDDER: _____

AUTHORIZED SIGNATURE: _____

BUILDING FLOORPLAN SKETCH



FOOTPRINT

SCALE 1/4" = 1'-0"

**CITY OF ROCKY MOUNT
HOUSING REPAIR PROGRAM
BID DOCUMENT**

815 Sunset Ave



BRIEF DESCRIPTION & OWNER CONCERNS:

This one story 4-bedroom, 2-bath house built in 1910, is 1,833 sq. ft of conditioned space with a wraparound porch. The homeowner is primarily concerned with replacing the metal roof with asphalt shingles. The roof deck will have to be entirely sheathed with new OSB sheathing.

SPECIFICATIONS DATED: September 13, 2025
INSPECTED BY: Brian Ashburn
DATE OF INSPECTION: August 29, 2025
ADDRESS: 815 Sunset Ave Rocky Mount, NC 27804

General Conditions:

1. Contractors are to include all overhead and profit in the individual items.
2. The owner, after careful review, understands and accepts the scope of the work described and has initialed and dated each page of the work write-up.
3. Contractor certifies that he/she has reviewed and agrees to perform the scope of work described and has initialed and dated each page of the work write up.
4. The contractor shall remedy any defect due to faulty material or workmanship and pay for all damage to other work resulting therefrom, which appears within one year from final payment by the City. All reported deficiencies or issues must be resolved by the Contractor whether the work of subcontractors or not. The City will not contact subcontractors to resolve issues. Further, the contractor shall furnish the owner with all manufactures and suppliers' written warranties covering items furnished under the contract prior to release of final payment. Roof replacement work requires a two-year warranty.
5. All lead-based paint renovation activities performed for compensation in target housing shall be conducted in accordance with North Carolina Renovate, Repair and Paint (RRP) Rule and, when using US Department of Housing and Urban Development (HUD) funds, 24 CFR 35 Subpart J. To bid on a pre-1978 property, the contractor's firm must provide all required Lead documents including RRP firm certification and renovator letter.
6. Remove from site all construction materials, tools, and debris. Sweeps clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags.
7. All painting must be of the highest quality. The surfaces must be prepared and inspected before painting.
8. The primer and topcoats must have the same tint.
9. Paint and Primer shall be the following or approved equal:
 - a. Sherwin Williams "Super Paint", "Resilience", "Duration" or "Emerald".

All work is to comply with current North Carolina State Building Code, City of Rocky Mount Rehabilitation Standards for Single-Family Structures, performance manual guidelines and or local building, electrical and plumbing codes with inspections and permits when applicable. All work will be done in quality and workmanlike manner. All material must be new, no re-used material.

When the Work Scope calls for an item to be removed and replaced, the contractor is to secure the owner's approval to dispose of the item rather than turning the item over to the owner.

GUIDELINES FOR RENOVATION FOR PROPERTIES IN A HISTORIC DISTRICT

The property described in the attached document is either in a local historic district (meaning that the local historic preservation ordinances apply to the exterior only), in a national historic district (meaning that the Secretary of the Interior's historic preservation standards apply to both exterior and interior work) or is an individually designated historically significant building under one of these two authorities. In any case, the following SHALL apply to the work under any contract to renovate this property and it is a condition of the use of our federal funds that these guidelines are followed.

The specifications have been written to meet these standards. If any work is added after the bids are submitted, the Contractor is eligible for a change order to cover additional costs.

In general, the following items and conditions apply to all work on historic properties:

1. Whenever possible the Contractor shall repair and reuse original materials and restore the original structure and details.
2. When new materials are specified, the Contractor shall assume (even if it is not specifically noted) that the new materials shall match as closely as possible either
 - (first choice) the existing damaged materials that are being replaced, or
 - (second choice) the original materials on adjacent surfaces.
3. If there are no original materials to match, the Contractor shall select new materials that are in line with the design period and style of the original structure - that is they shall "evoke" the feeling of the period of the structure. If in doubt, ask the Community Development Rehab Specialist for guidance.
4. When new work requires penetrating the exterior walls or roof - such as with a new vent stack, roof ventilation -- or hanging something modern on the outside of the structure -- such as a new electrical service panel -- penetrating pipes or modern appliances shall be located out of sight of the street or sidewalk whenever possible. Locations of new penetrations require approval of the C.D. Rehab Specialist BEFORE work begins.
5. When new equipment -- such as a new HVAC unit -- will set the equipment on the property outside of the house, the Contractor shall clear the location with the C.D. Rehab Specialist prior to beginning work on that location.
6. Where submittals are required, the Contractor shall submit materials, catalog cuts or color chips to the Rehab Specialist who will forward them to the proper historic authority for approval. Comments will be returned to the Contractor within 10 business days. The Contractor shall allow time for this process and anticipate this delay as part of his agreed schedule.
7. If the Contractor proceeds with work not in compliance with historic guidelines, without having consulted the C.D. Rehab Specialist, and the work is rejected by the agency with historic jurisdiction, the Contractor will be liable for removing and redoing the work to the historic guidelines at his own expense.

SPECIFICATIONS BY TRADE

ROOF, CHIMNEYS (1)

Install tear off roof: remove existing metal roofing and cedar Shake down to the board sheathing; repair/replace all defective rafters; re nail all loose boards; replace all defective boards. Install new OSB sheathing on the entire roof. Install new builders felt, cover the entire roof (comply with code requirements), and 230 lb. fiberglass, 30-year architectural shingles. All abutments to be step flashed under existing vertical material at abutment. All flashing shall be painted black or matching roof color. Seal all flashing, vent stacks and flanges with roof cement. Roof to include all attached structures and be completed in a professional manner.

NOTE: use ice & water shield on low pitch area at the rear

Bid Amount: _____

Install flashing at all 3 chimneys, step flashing and counter flashing, all counter flashing shall be cut into the brick. Counter flashing shall be painted black or matching roof color. All flashing shall be completed in a professional manner.

Bid Amount: _____

Install aluminum 3" drip edge at entire perimeter of roof. (white or brown) Mill finish or galvanized drip edge will not be accepted. Trim coil used to wrap fascia created on-site will not be accepted as drip edge

Bid Amount: _____

Install continuous shingle over style ridge vent including hip ridge vent; ventilator to run length of structure: install per manufacturers specifications.

Bid Amount: _____

TOTAL BID: _____

NAME OF BIDDER: _____

AUTHORIZED SIGNATURE: _____

ATTACHMENT A: PRICING

The undersigned hereby declares that he has carefully examined the Rehabilitation Specifications in the Contractors Handbook and the Work Write-Ups, and will provide all materials and equipment and perform all work in accordance with the Rehabilitation Specifications, the Work Write-Ups/Scope of Work, and the requirements under them for the following sum to with:

Property #	DESCRIPTION (Address)	Cost
A	3405 Merrifield Rd.	\$ _____
B	790 Cascade Ave.	\$ _____
C	1804 Berkshire Rd..	\$ _____
D	1210 Sycamore St.	\$ _____
E	1021 Hill St.	\$ _____
F	732 Redgate Ave.	\$ _____
G	924 Shepard Dr.	\$ _____
H	1409 Pinehaven Dr.	\$ _____
I	309 E. Battleboro Ave.	\$ _____
J	815 Sunset Ave.	\$ _____

TOTAL \$

ATTACHMENT B: GENERAL CONDITIONS

1. GENERAL

It is understood and agreed that by submitting a proposal that the Contractor has examined these contract documents, drawings and/or specifications and has visited the site of the Work and has familiarized himself relative to the Work to be performed.

2. DEFINITIONS

Owner: "Owner" shall mean, The City of Rocky Mount

Contractor: "Contractor" shall mean the entity that will provide the services for the Owner.

Housing Rehabilitation Specialist: The **Housing Rehabilitation Specialist(s)** are those referred to within this contract, or their authorized representatives. The Housing Rehabilitation Specialist(s), as referred to herein, shall mean architect and/or engineer responsible for preparing the project plans and specifications. They will be referred to hereinafter as if each were of the singular number, masculine gender.

Contract Documents: "Contract Documents" shall consist of the Standard Form of Informal Bidding; General Conditions of the Contract; special conditions if applicable; Supplementary General Conditions; the drawing and specifications, including all bulletins, addenda or other modifications of the drawings and specifications incorporated into the documents prior to their execution; the proposal; the contract; the performance bond if applicable; and insurance certificates. All of these items together form the contract.

INTENT AND EXECUTION OF DOCUMENTS

The drawings and specifications are complementary, one to the other. That which is shown on the drawings or called for in the specifications shall be as binding as if it were both called for and shown. The intent of the drawings and specifications is to establish the scope of all labor, materials, transportation, equipment, and any and all other things necessary to provide a complete job. In case of discrepancy or disagreement in the Contract Documents, the order of precedence shall be: Form of Contract, specifications, large-scale detail drawings, small-scale drawings.

In such cases where the nature of the work requires clarification by the Housing Rehabilitation Specialist/ Owner, the Housing Rehabilitation Specialist/ Owner shall furnish such clarification. Clarifications and drawings shall be consistent with the intent of the Contract Documents and shall become a part thereof.

4. AS-BUILT MARKED-UP CONSTRUCTION DOCUMENTS

Contractor shall provide one complete set of legible "as-built" marked-up construction drawings and specifications recording any and all changes made to the original design during the course of construction. In the event no changes occurred, submit construction drawings and specifications set with notation "No Changes." The Housing Rehabilitation Specialist/Owner must receive "As-built" marked-up construction drawings and specifications before the final pay request can be processed.

5. SUBMITTAL DATA

The Contractor awarded the contract shall submit all specified submittals to the Owner/Housing Rehabilitation Specialist. A minimum number of copies as specified by the owner, of all required submittal data pertaining to construction, performance and general dimensional criteria of the components listed in the technical specifications shall be submitted. No material or equipment shall be ordered or installed prior to written approval of the submittals by the Housing Rehabilitation Specialist/Owner. Failure to provide submittal data for review on equipment listed in the technical specifications will result in removal of equipment by the Contractor at his expense if the equipment is not in compliance with the specifications.

6. SUBSTITUTIONS

In accordance with the provisions of G.S. 133-3, material, product, or equipment substitutions proposed by the bidders to those specified herein can only be considered during the bidding phase until five (5) days prior to the receipt of proposals or by the date specified in the pre proposal conference, when submitted to the Housing Rehabilitation Specialist with sufficient data to confirm material, product, or equipment equality.

Submittals for proposed substitutions shall include the following information:

- a. Name, address, and telephone number of manufacturer and supplier as appropriate.
- b. Trade name, model or catalog designation.
- c. Product data including performance and test data, reference standards, and technical descriptions of material, product, or equipment. Include color samples and samples of available finishes as appropriate.
- d. Detailed comparison with specified products including performance capabilities, warranties, and test results.
- e. Other pertinent data including data requested by the Housing Rehabilitation Specialist to confirm product equality.

If a proposed material, product, or equipment substitution is deemed equal by the Housing Rehabilitation Specialist to those specified, all bidders of record will be notified by Addendum.

7. WORKING DRAWINGS AND SPECIFICATIONS AT THE JOB SITE

The contractor shall maintain, in readable condition at his job site one complete set of working drawings and specifications for his work including all shop drawings. Such drawings and specifications shall be available for use by the owner, Housing Rehabilitation Specialist or his authorized representative.

The contractor shall maintain at the job site, a day-to-day record of work-in-place that is at variance with the contract documents. Such variations shall be fully noted on project drawings by the contractor and submitted to the Housing Rehabilitation Specialist upon project completion and no later than 30 days after acceptance of the project.

8. MATERIALS, EQUIPMENT, EMPLOYEES

- a. The contractor shall, unless otherwise specified, supply and pay for all labor, transportation, materials, tools, apparatus, lights, power, fuel, heat, sanitary facilities, water, scaffolding and incidentals necessary for the completion of his work, and shall install, maintain and remove all equipment of the construction, other utensils or things, and be responsible for the safe, proper and lawful construction, maintenance and use of same, and shall construct in the best and most workmanlike manner, a complete job and everything incidental thereto, as shown on the plans, stated in the specifications, or reasonably implied therefrom, all in accordance with the contract documents.
- b. All materials shall be new and of quality specified, except where reclaimed material is authorized herein and approved for use. Workmanship shall at all times be of a grade accepted as the best practice of the particular trade involved, and as stipulated in written standards of recognized organizations or institutes of the respective trades except as exceeded or qualified by the specifications.
- c. Upon notice, the contractor shall furnish evidence as to quality of materials.

- d. Products are generally specified by ASTM or other reference standard and/or by manufacturer's name and model number or trade name. When specified only by reference standard, the Contractor may select any product meeting this standard, by any manufacturer. When several products or manufacturers are specified as being equally acceptable, the Contractor has the option of using any product and manufacturer combination listed. However, the contractor shall be aware that the cited examples are used only to denote the quality standard of product desired and that they do not restrict bidders to a specific brand, make, manufacturer or specific name; that they are used only to set forth and convey to proposals the general style, type, character and quality of product desired; and that equivalent products will be acceptable. Request for substitution of materials, items, or equipment shall be submitted to the Housing Rehabilitation Specialist for approval or disapproval; the Housing Rehabilitation Specialist prior to the opening of proposals shall make such approval or disapproval. Alternate materials may be requested after the award if it can clearly be demonstrated that it is an added benefit to the owner and the Housing Rehabilitation Specialist and owner approves.
- e. The Housing Rehabilitation Specialist is the judge of equality for proposed substitution of products, materials or equipment.
- f. If at any time during the construction and completion of the work covered by these contract documents, the language, conduct, or attire of any workman of the various crafts be adjudged a nuisance to the owner or Housing Rehabilitation Specialist, or if any workman be considered detrimental to the work, the contractor shall order such parties removed immediately from grounds.
- g. The Contractor shall cooperate with the Housing Rehabilitation Specialist and the owner in coordinating construction activities.
- h. The Contractor shall maintain qualified personnel and effective supervision at the site at all times during the project and exercise the appropriate quality control program to ensure compliance with the project drawings and specifications. The Housing Rehabilitation Specialist is responsible for determining compliance with the drawings and specifications.

9. CODES, PERMITS AND INSPECTIONS

The Contractor shall obtain the required permits, if required, give all notices, and comply with all laws, ordinances, codes, rules and regulations bearing on the conduct of the work under this contract. If the Contractor observes that the drawings and specifications are at variance therewith, he shall promptly notify the Housing Rehabilitation Specialist in writing. If the Contractor performs any work knowing it to be contrary to such laws, ordinances, codes, rules and regulations, and without such notice to the Owner, he shall bear all cost arising there from.

All work under this contract shall conform to the current North Carolina Building Code and other state and national codes as are applicable.

All fire alarm work shall be in accordance with the latest State Construction Office (SCO) *Guidelines for Fire Alarm Installation* (NFPA72). Where the contract documents are in conflict with the SCO guidelines, the SCO guidelines shall govern. The Contractor shall be responsible for all the costs for the correction of the work where he installs it in conflict with the latest edition of the SCO *Guidelines for Fire Alarm Installation*.

*Inspection and certification of compliance by local authorities is necessary if an architect or engineer was not employed on the project.

10. PROTECTION OF WORK, PROPERTY, THE PUBLIC AND SAFETY

- a. The contractors shall be jointly responsible for the entire site and the building or construction of the same and provide all the necessary protections, as required by the owner or Housing Rehabilitation Specialist, and by laws or ordinances governing such conditions. They shall be responsible for any damage to the owner's property or of that of others on the job, by them, their personnel, or their subcontractors, and shall make good such damages. They shall be responsible for and pay for any damages caused to the owner. All contractors shall have access to the project at all times, except as indicated in the Supplemental General Conditions.
- b. The contractor shall provide cover and protect all portions of the structure when the work is not in progress, provide and set all temporary roofs, covers for doorways, sash and windows, and all other materials necessary to protect all the work on the building, whether set by him, or any of the subcontractors. Any work damaged through the lack of proper protection or from any other cause, shall be repaired or replaced without extra cost to the owner.
- c. No fires of any kind will be allowed inside or around the operations during the course of construction without special permission from the Housing Rehabilitation Specialist and owner.
- d. The contractor shall protect all trees and shrubs designated to remain in the vicinity of the operations by building substantial boxes around it. He shall barricade all walks, roads, etc., as directed by the Housing Rehabilitation Specialist to keep the public away from the construction. All trenches, excavations or other hazards in the vicinity of the work shall be well barricaded and properly lighted at night.
- e. The contractor shall provide all necessary safety measures for the protection of all persons on the job, including the requirements of the A.G.C. *Accident Prevention Manual in Construction*, as amended, and shall fully comply with all state laws or regulations and North Carolina State Building Code requirements to prevent accident or injury to persons on or about the location of the work. He shall clearly mark or post signs warning of hazards existing, and shall barricade excavations, elevator shafts, stairwells and similar hazards. He shall protect against damage or injury resulting from falling materials and he shall maintain all protective devices and signs throughout the progress of the work.
- f. The contractor shall adhere to the rules, regulations and interpretations of the North Carolina Department of Labor relating to Occupational Safety and Health Standards for the Construction Industry (Title 29, Code of Federal Regulations, Part 1926, published in Volume 39, Number 122, Part II, June 24, 1974, *Federal Register*), and revisions thereto as adopted by General Statutes of North Carolina 95-126 through 155.
- i. In the event of emergency affecting the safety of life, the protection of work, or the safety of adjoining properties, the contractor is hereby authorized to act at his own discretion, without further authorization from anyone, to prevent such threatened injury or damage. Any compensation claimed by the contractor on account of such action shall be determined as provided for under Article 13(b).
- j. Any and all costs associated with correcting damage caused to adjacent properties of the construction site or staging area shall be borne by the contractor. These costs shall include but not be limited to flooding, mud, sand, stone, debris, and discharging of waste products.

11. SUBCONTRACTS AND SUBCONTRACTORS

The Contractor is and remains fully responsible for his own acts or omissions as well as those of any subcontractor or of any employee of either. The Contractor agrees that no contractual relationship exists between the subcontractor and the Owner in regard to the contract, and that the subcontractor acts on this work as an agent or employee of the Contractor.

12. CONTRACTOR-SUBCONTRACTOR RELATIONSHIPS

The Contractor agrees that the terms of these Contract Documents shall apply equally to each Subcontractor as to the Contractor, and the Contractor agrees to take such action as may be necessary to bind each Subcontractor to these terms. The Contractor further agrees to conform to the Code of Ethical Conduct as adopted by the Associated General Contractors of America, Inc., with respect to Contractor-Subcontractor relationships. The Owner reserves the right to limit the amount of portions of work to be subcontracted as hereinafter specified.

13. CHANGES IN THE WORK AND CLAIMS FOR EXTRA COST

- a. The owner may have changes made in the work covered by the contract. These changes will not invalidate and will not relieve or release the contractor from any guarantee given by him pertinent to the contract provisions.
- b. Except in an emergency endangering life or property, no change shall be made by the contractor except upon receipt of approved change order from the MWBE Coordinator, countersigned by the Housing Rehabilitation Specialist authorizing such change. No claim for adjustments of the contract price shall be valid unless this procedure is followed.

In the event of emergency endangering life or property, the contractor may be directed to proceed on a time and material basis whereupon the contractor shall proceed and keep accurately on such form as specified by the Purchasing Manager and Housing Rehabilitation Specialist, a correct account of costs together with all proper invoices, payrolls and supporting data. Upon completion of the work the change order will be prepared as outlined c.

- c. In determining the values of changes, either additive or deductive, contractors are restricted to the use of the following method:
 1. The contracting parties shall negotiate and agree upon the equitable value of the change prior to issuance of the change order, and the change order shall stipulate the corresponding lump sum adjustment to the contract price.
- e. The term "net cost" as used herein shall mean the difference between all proper cost additions and deductions. The "cost" as used herein shall be limited to the following:
 1. The actual costs of materials and supplies incorporated or consumed as part of the work;
 2. The actual costs of labor expended on the project site; labor expended in coordination, change order negotiation, record document maintenance, shop drawing revision or other tasks necessary to the administration of the project are considered overhead whether they take place in an office or on the project site.
 3. The actual costs of labor burden, limited to the costs of social security (FICA) and Medicare/Medicaid taxes; unemployment insurance costs; health/dental/vision insurance premiums; paid employee leave for holidays, vacation, sick leave, and/or petty leave, not to exceed a total of 30 days per year; retirement contributions; worker's compensation insurance premiums; and the costs of general liability insurance when premiums are computed based on payroll amounts; the total of which shall not exceed thirty percent (30%) of the actual costs of labor;
 4. The actual costs of rental for tools, excluding hand tools; equipment; machinery; and temporary facilities required for the work;
 5. The actual costs of premiums for bonds, insurance, permit fees and sales or use taxes related to the work.

- f. Should concealed conditions be encountered in the performance of the work below grade, or should concealed or unknown conditions in an existing structure be at variance with the conditions indicated by the contract documents, the contract sum and time for completion may be equitably adjusted by change order upon claim by either party made within thirty (30) days after the condition has been identified. The cost of such change shall be arrived at by one of the foregoing methods. All change orders shall be supported by a unit cost breakdown showing method of arriving at net cost as defined above.
- g. Change orders shall be submitted by the contractor in writing to the owner/Housing Rehabilitation Specialist for review and approval. The contractor will provide such proposal and supporting data in suitable format. The Housing Rehabilitation Specialist shall verify correctness. Delay in the processing of the change order due to lack of proper submittal by the contractor of all required supporting data shall not constitute grounds for a time extension or basis of a claim. Within fourteen (14) days after receipt of the contractor's accepted proposal including all supporting documentation required by the Housing Rehabilitation Specialist, the Purchasing Manager shall prepare the change order and forward to the contractor for his signature or otherwise respond, in writing, to the contractor's proposal. Within seven (7) days after receipt of the change order executed by the contractor, the Housing Rehabilitation Specialist shall, certify the change order by his signature, and forward the change order and all supporting data to the owner for the owner's signature. The owner shall execute the change order, within seven (7) days of receipt.

At the time of signing a change order, the contractor shall be required to certify as follows:

"I certify that my bonding company will be notified forthwith that my contract has been changed by the amount of this change order, and that a copy of the approved change order will be mailed upon receipt by me to my surety."

- h. A change order, when issued, shall be full compensation, or credit, for the work included, omitted or substituted. It shall show on its face the adjustment in time for completion of the project as a result of the change in the work.
- i. If, during the progress of the work, the owner requests a change order and the contractor's terms are unacceptable, the owner, may require the contractor to perform such work on a time and material basis whereupon the contractor shall proceed and keep accurately on such form as specified by the Housing Rehabilitation Specialist or owner, a correct account of cost together with all proper invoices, payrolls and supporting data. Upon completion of the work a change order will be prepared with allowances for overhead and profit. above and "net cost" and "cost" per paragraph d above. Without prejudice, nothing in this paragraph shall preclude the owner from performing or to have performed that portion of the work requested in the change order.

14. ANNULMENT OF CONTRACT

If the contractor fails to begin the work under the contract within the time specified, or the progress of the work is not maintained on schedule, or the work is not completed within the time specified, or fails to perform the work with sufficient workmen and equipment or with sufficient materials to ensure the prompt completion of said work, or shall perform the work unsuitably or shall discontinue the prosecution of the work, or if the contractor shall become insolvent or be declared bankrupt or commit any act of bankruptcy or insolvency, or allow any final judgment to stand against him unsatisfied for a period of forty-eight (48) hours, or shall make an assignment for the benefit of creditors, or for any other cause whatsoever shall not carry on the work in an acceptable manner, the owner may give notice in writing, sent by certified mail, return receipt requested, to the contractor and his surety (if applicable) of such delay, neglect or default, specifying the same, and if the contractor within a period of seven (7) days after such notice shall not proceed in accordance therewith, then the owner shall, declare this contract in default, and,

thereupon, the owner shall have full power and authority, without violating the contract, to take the prosecution of the work out of the hands of said contractor, to appropriate or use any or all contract materials and equipment on the grounds as may be suitable and acceptable and may enter into an agreement, either by public letting or negotiation, for the completion of said contract according to the terms and provisions thereof or use such other methods as in his opinion shall be required for the completion of said contract in an acceptable manner. All costs and charges incurred by the owner, together with the costs of completing the work under contract, shall be deducted from any monies due or which may become due said contractor. In case the expense so incurred by the owner shall be less than the sum which would have been payable under the contract, if it had been completed by said contractor, then the said contractor shall be entitled to receive the difference, but in case such expense shall exceed the sum which would have been payable under the contract, then the contractor shall be liable and shall pay to the owner the amount of said excess.

15. TERMINATION FOR CONVENIENCE

- a. Owner may at any time and for any reason terminate Contractor's services and work at Owner's convenience, after notification to the contractor in writing via email or certified mail. Upon receipt of such notice, Contractor shall, unless the notice directs otherwise, immediately discontinue the work and placing of orders for materials, facilities and supplies in connection with the performance of this Agreement.

16. OWNER'S RIGHT TO DO WORK

If, during the progress of the work or during the period of guarantee, the contractor fails to prosecute the work properly or to perform any provision of the contract, the owner, after seven (7) days' written notice sent by email or certified mail, return receipt requested, to the contractor from the Housing Rehabilitation Specialist, may perform or have performed that portion of the work. The cost of the work may be deducted from any amounts due or to become due to the contractor, such action and cost of same having been first approved by the Housing Rehabilitation Specialist. Should the cost of such action of the owner exceed the amount due or to become due the contractor, then the contractor shall be liable for and shall pay to the owner the amount of said excess.

17. REQUESTS FOR PAYMENT

Contractor shall refer to the Supplemental General Conditions for specific directions on invoicing, procedures and the name and address where to send applications for payments for this project. It is imperative that invoices be sent only to the above address in order to assure proper and timely delivery and handling.

18. PAYMENTS WITHHELD

The Compliance Administrator may withhold payment for the following reasons:

- a. Faulty work not corrected or failed inspection.
- b. To provide for sufficient contract balance to cover liquidated damages that will be assessed.
- c. The secretary of the Department of Administration may authorize the withholding of payment for the following reasons:
 - i. Claims filed against the contractor or evidence that a claim will be filed.
 - ii. Evidence that subcontractors have not been paid.

When grounds for withholding payments have been removed, payment will be released.

19. MINIMUM INSURANCE REQUIREMENTS

Requirements. Providing and maintaining adequate insurance coverage is a material obligation of the Contractor and is of the essence of The Contract. All such insurance shall meet all laws of the City of Rocky Mount. Such insurance coverage shall be obtained from companies that are authorized to provide such coverage and that are authorized by the Commissioner of Insurance to do business in North Carolina. The Contractor shall at all times comply with the terms of such insurance policies, and all requirements of the insurer under any such insurance policies, except as they may conflict with existing North Carolina laws or The Contract. The limits of coverage under each insurance policy maintained by the Contractor shall not be interpreted as limiting the Contractor's liability and obligations under the Contract.

Insurance. Contractor agrees to maintain **Commercial General Liability** in amount of \$1,000,000 each occurrence, \$1,000,000 each occurrence in Personal & Advertising Injury with \$2,000,000 General Aggregate, and \$2,000,000 Products/Completed Operations Aggregate. Contractor shall maintain \$1,000,000 in **automobile liability**, and other appropriate insurance, as well as Workers Compensation in the required statutory amount of \$500,000.00 for all employees participating in the provision of services under this Contract. The City of Rocky Mount shall be named by endorsement as an additional insured on the General and Automobile Liability policies. Certificates of such insurance shall be furnished by Contractor to the City and shall contain an endorsement to provide the City at least 30 days' written notice of any intent to cancel or terminate by either Contractor or the insuring company. Failure to furnish insurance certificates or maintain such insurance shall be a default under this contract and shall be grounds for immediate termination of this Contract.

20. ASSIGNMENT

No assignment of the Contractor's obligations or the Contractor's right to receive payment hereunder shall be permitted.

21. CLEANING UP AND RESTORATION OF SITE

The Contractor shall keep the sites and surrounding area reasonably free from rubbish at all times and shall remove debris from the site from time to time or when directed to do so by the Owner. Before final inspection and acceptance of the project, the Contractor shall thoroughly clean the sites, and completely prepare the project and site for use by the Owner.

At the end of construction, the contractor shall oversee and implement the restoration of the construction site to its original state. Restoration includes but not limited to walks, drives, lawns, trees and shrubs, corridors, stairs and other elements shall be repaired, cleaned or otherwise restored to their original state.

22. GUARANTEE

The contractor shall unconditionally guarantee materials and workmanship against patent defects arising from faulty materials, faulty workmanship or negligence for a period of twelve (12) months following the final acceptance of the work and shall replace such defective materials or workmanship without cost to the owner.

Where items of equipment or material carry a manufacturer's warranty for any period in excess of twelve (12) months, then the manufacturer's warranty shall apply for that particular piece of equipment or material. The contractor shall replace such defective equipment or materials, without cost to the owner, within the manufacturer's warranty period.

Additionally, the owner may bring an action for latent defects caused by the negligence of the contractor, which is hidden or not readily apparent to the owner at the time of beneficial occupancy or final acceptance, whichever occurred first, in accordance with applicable law.

Guarantees for roofing workmanship and materials shall be stipulated in the specifications sections governing such roof, equipment, materials, or supplies.

23. STANDARDS

All manufactured items and/or fabricated assemblies subject to operation under pressure, operation by connection to an electric source, or operation involving a connection to a manufactured, natural, or LP gas source shall be constructed and approved in a manner acceptable to the appropriate State or City inspector which customarily requires the label or re-examination listing or identification marking of appropriate safety standard organization, such as the American Society of Mechanical Engineers for pressure vessels; the Underwriters Laboratories and/or National Electrical Manufacturers Association for electrically operated assemblies; or the American Gas Association for gas operated assemblies, where such approvals of listings have been established for the type of device offered and furnished. Further, all items furnished shall meet all requirements of the Occupational Safety and Health Act (OSHA), and State and federal requirements relating to clean air and water pollution.

All equipment and products must be independent third party tested and labeled (UL, FM, or CTS) before final connections to Owner services or utilities.

24. EQUAL OPPORTUNITY CLAUSE

The non-discrimination clause contained in Section 202 (Federal) Executive Order 11246, as amended by Executive Order 11375, relative to equal employment opportunity for all persons without regard to race, color, religion, sex or national origin, and the implementing rules and regulations prescribed by the secretary of Labor, are incorporated herein.

The contractor(s) agree not to discriminate against any employee or applicant for employment because of physical or mental disabilities in regard to any position for which the employee or applicant is qualified. The contractor agrees to take affirmative action to employ, advance in employment and otherwise treat qualified individuals with such disabilities without discrimination based upon their physical or mental disability in all employment practices.

25. MINORITY BUSINESS PARTICIPATION

The Contractor has the responsibility to make a good faith effort to solicit minority proposals and to attain the aspirational ten percent (10%) goal. We encourage all Contractors even minority businesses to obtain the aspirational goal where sub-contracting and supplier opportunities exist.

26. MINORITY BUSINESS STATUTES

GS 143-128.2 establishes a ten percent (10%) goal for participation by minority businesses valued \$100,000.00 or more for each State funded building project.

For construction contracts with a value of less than \$300,000, the Owner has the responsibility to make a good faith effort to solicit minority proposals and to attain the goal. The contractor shall include with his proposal a completed Identification of HUB Certified/Minority Business Participation form. Contractor shall submit completed Appendix E MBE Documentation for Contract Payments form with final payment request. This form can be found at <https://ncadmin.nc.gov/document/appendix-e-mbe-documentation-contract-payments>

For construction contracts with a value of \$300,000 or greater, the contractor shall comply with the document *Guidelines for Recruitment and Selection of Minority Businesses for Participation in State Construction Contracts* including Identification of Minority Business Participation, Affidavits A, B, C, and D, and Appendix E. These forms provided herein are hereby incorporated and made a part of this contract. Forms can be found at <https://rockymountnc.gov/services-finance-vendor-registration/>

27. ACCESS TO PERSONS AND RECORDS

The State Auditor shall have access to persons and records as a result of all contracts or grants entered into by the Owner in accordance with General Statute 147-64.7. The Owner's internal auditors shall also have the right to

access and copy the Contractor's records relating to the Contract and Project during the term of the Contract and within two years following the completion of the Project/close-out of the Contract to verify accounts, accuracy, information, calculations and/or data affecting and/or relating to Contractor's requests for payment, requests for change orders, change orders, claims for extra work, requests for time extensions and related claims for delay/extended general conditions costs, claims for lost productivity, claims for lost efficiency, claims for idle equipment or labor, claims for price/cost escalation, pass-through claims of subcontractors and/or suppliers, and/or any other type of claim for payment or damages from Owner and/or its project representatives.

28. GOVERNING LAWS

This contract is made under and shall be governed and construed in accordance with the laws of the State of North Carolina, without regard to its conflict of laws rules, and within which State all matters, whether sounding in Contract or tort or otherwise, relating to its validity, construction, interpretation and enforcement shall be determined.

ATTACHMENT C: SUPPLEMENTAL GENERAL CONDITIONS

TIME OF COMPLETION

The Contractor shall commence work to be performed under this Contract on a date to be specified in a written order from the Housing Rehabilitation Specialist/Owner and shall fully complete all work hereunder within 90 consecutive calendar days from the Notice to Proceed. The project overrun, liquidated damages, shall be \$50.00 per day.

If the Contractor is delayed at any time in the progress of his work by any act or negligence of the Owner, his employees, or his separate contractor, by changes ordered in the work; by abnormal weather conditions; by any causes beyond the Contractor's control or by other causes deemed justifiable by Owner, then the contract time may be reasonably extended in a written order from the Owner upon written request from the contractor within ten days following the cause for delay. Time extensions for weather delays, acts of God, labor disputes, fire, delays in transportation, unavoidable casualties or other delays which are beyond the control of the Owner do not entitle the Contractor to compensable damages for delays. Any contractor claim for compensable damages for delays is limited to delays caused solely by the owner or its agents.

PAYMENTS

Payment will be provided following the completion of each contracted property. Failure to complete work or inspection failure will result in withheld payment. Pre-payment or progress payments are not allowed by this funding source.

UTILITIES

Owner may provide certain utilities such as power or water with connections and extensions by the Contractor.

USE OF SITE

May be restricted. Work hours may be limited. Parking permits may be required.

ATTACHMENT D: SUPPLEMENTAL VENDOR INFORMATION

HISTORICALLY UNDERUTILIZED BUSINESSES

Historically Underutilized Businesses (HUBs) consist of minority, women and disabled business firms that are at least fifty-one percent owned and operated by an individual(s) of the categories. Also included in this category are disabled business enterprises and non-profit work centers for the blind and severely disabled.

Pursuant to G.S. 143B-1361(a), 143-48 and 143-128.4, the State invites and encourages participation in this procurement process by businesses owned by minorities, women, disabled, disabled business enterprises and non-profit work centers for the blind and severely disabled. This includes utilizing subcontractors to perform the required functions in this RFP. Any questions concerning NC HUB certification, contact the [North Carolina Office of Historically Underutilized Businesses](#) at (919) 807-2330. The Vendor shall respond to questions a and b below.

- a) Is Vendor a Historically Underutilized Business? Yes No
- b) Is Vendor Certified with North Carolina as a Historically Underutilized Business? Yes No

If so, state HUB classification: _____

CONTRACTOR REGISTRATION

New vendors must complete a vendor registration form using the link below. If you are a current vendor that has not completed the online vendor registration, also complete the form. Once registration is complete, email a copy of your W9 and E-Verify Affidavit to the contact person listed on the coversheet.

<https://www.rockymountnc.gov/316/Vendor-Registration>